

Client

Achieve Australia

Project

Crowle Gardens Development Proposal

Community Engagement Outcomes
Summary

Date

21 February 2012

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Contents

1	Introduction	4
2	Objectives of the consultation	4
3	Consultation Process	4
4	Consultation Outcomes	5
5	Appendices	7
5.1	Notification area	7
5.2	Advertisement / Flyer	8
5.3	Story boards	9

1 Introduction

In accordance with the Department of Planning and Infrastructure, major project guidelines and the Director General's Requirements, Achieve Australia has undertaken appropriate consultation activities in support of its Concept Plan for the property at 74-76 Belmore Street Ryde, otherwise referred to as the Crowle Gardens Development Proposal. These activities were scheduled within the exhibition period from 24 August to 23 September 2011.

2 Objectives of the consultation

The main objective of the consultation event was to make information accessible to the surrounding residents and wider community and provide them with an opportunity to ask questions of the consultant team to help inform their understanding of the proposal. In this context the main stakeholders were the residents, local school and the Meadowbank West Ryde Progress Association. The notification area mirrored that of the DP&I's distribution area which in-turn was established by Ryde City Council.

Government agencies, residents of the Crowle site and their families were identified as stakeholders. Consultation with relevant local and state agencies was undertaken separately. Similarly consultation with existing residents on the site and their families was and still is being undertaken in a very targeted manner by Achieve Australia.

3 Consultation Process

The principal consultation activity consisted of a community information session hosted at the Meadowbank Public School on 8 September 2011 from 6pm to 8pm.

On Thursday 25 August 2011, approximately 2300 residences surrounding the site were letter boxed with a leaflet advertising the community information session. The primary targets of the letter box leaflet were residents in the area surrounding the proposed development site. The delivery area mirrored that of the Department of Planning and Infrastructure's distribution area for its leaflet to residents (appendix 5.1) In order to capture a broader range of interested parties, newspaper advertisements were also placed in the Northern District Times and The Weekly Times (copy of flyer/advertisement is at appendix 5.2)

The format for the evening was a drop-in style community information session. This technique is a standard consultation approach and has been utilised by Elton Consulting on a number of Part 3a and other development proposals.

Achieve Australia assembled a team of project experts for the evening to answer questions from the public about the Concept Plan, covering architecture, landscaping, planning and traffic. Achieve Australia staff were also available for questions.

The consultation occurred in the meeting hall of the Meadowbank Public School. Signs were placed at the Thistle Street entrance to the school and within the grounds, to direct interested members of the public to the hall. The hall featured 13 large story boards (appendix 5.3) describing the context and detail of the Concept Plan. Copies of the Department of Planning and Infrastructure advertisement describing how members of the public could make a submission were also made available.

In addition to the information, Achieve Australia and members of the Crowle Gardens project team presented to a meeting of the Meadowbank West Ryde Progress Association on 14 September 2011. The project team has also had ongoing discussions with Meadowbank Public School.

Through a separate process Achieve Australia has been working with clients and their families on:

- Implementing the NSW Government's devolution policy
- Longer term accommodation arrangements arising from the cessation of Large Residential Centres programs in 2018 and the potential redevelopment of Crowle Home.

Details of this process can be found in the Social Impacts Review prepared by Elton Consulting.

4 Consultation Outcomes

The following issues summary covers outcomes from the community information session. A total of 65 people attended the session and a number of issues were raised concerning the Concept Plan, including:

- History of Crowle Home
- The opportunities for potential business or retail on-site
- Maintenance of trees and heritage
- Planning process – clarification of the respective roles of Ryde Council and State Government and next steps
- Timing of construction and staging
- The appointment of a builder/developer
- Explanation of Council's strategic direction and their new Local Environment Plan (LEP).

Particular issues related to the development proposal included:

- Overshadowing to Porter Street houses
- Traffic along Porter Street
- Height and the variations between the proposal and Council's controls
- Dwelling mix – the number of 1, 2 and 3 bedroom dwellings
- The number or percentage of dwellings to be retained by Achieve Australia
- Distribution of traffic to the surrounding road network
- Adequacy of parking rates for residents and visitors
- Management of construction impacts
- There were comments received that the proposal seemed reasonably consistent with other new developments within the area and that parking provision struck a

balance between not facilitating car ownership and not creating a parking burden on surrounding streets.

In addition to local residents, a number of families of Crowle Home residents, and families of people with disability receiving services through day programs from Achieve Australia, were in attendance. An impromptu meeting was staged at the half-way point of the community information session and family members raised a number of issues relating to operational matters and the general well being of residents at Crowle Home.

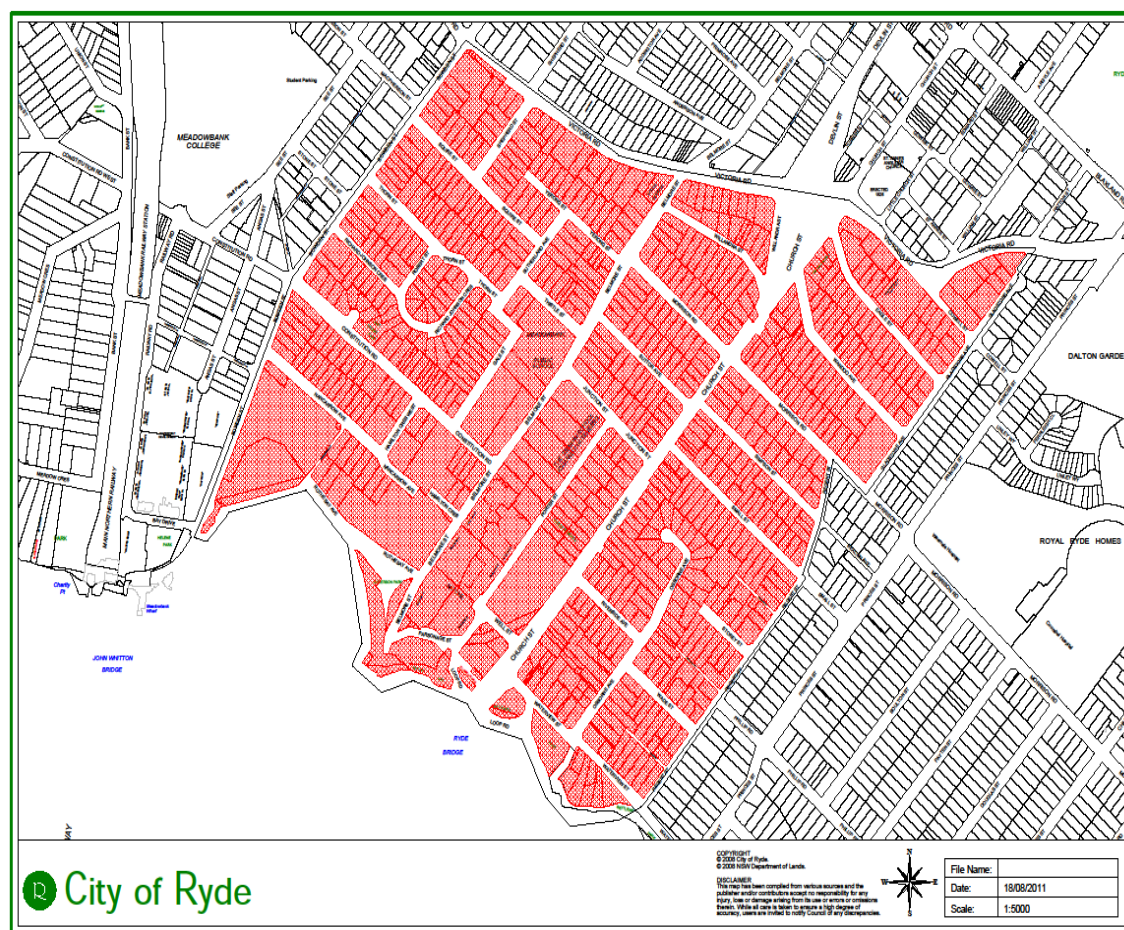
Questions were answered by Achieve Australia concerning the merits of the Concept Plan and how that would benefit residents of Crowle Home. There was opposition to the proposal expressed by those families present and alternate development strategies were proposed.

How issues are being addressed

The issues raised during the information sessions are being addressed in a separate response to the agency and public submissions being prepared by Don Fox Planning.

5 Appendices

5.1 Notification area



5.2 Advertisement / Flyer

Crowle Gardens

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building community, one person at a time

Community Information Session Thursday 8 September 2011

Interested in the redevelopment of the old Crowle Home site on Belmore Street, Ryde?

The Crowle Gardens development proposal has been placed on exhibition by the NSW Department of Planning and Infrastructure from 24 August 2011 to 23 September 2011.

The development is being proposed by Achieve Australia, a community based not-for-profit organisation operating in the north and west areas of Sydney. We are keen to tell you about the project and listen to your views.

Achieve Australia is a provider of high quality services to people with disability. This proposal is about ensuring that the people we support have accessible, quality accommodation.

A Community Information Session has been organised for you to find out more about the project and plans to enable people with disability to live in the community.

Community Information Session

When: 8 September 2011 6pm to 8pm
Where: Meadowbank Public School
Thistle Street Ryde

For more information, contact the community consultation team

P: 1800 281 280
E: crowlegardens@elton.com.au
W: www.achieveaustralia.org.au



Proposed development boundary

5.3 Story boards



Crowle Gardens

DEVELOPMENT PROPOSAL

WELCOME

A Concept Plan application has been lodged with the Department of Planning and Infrastructure. This information session is to provide the community with an opportunity to learn about the Concept Plan proposed for the site.

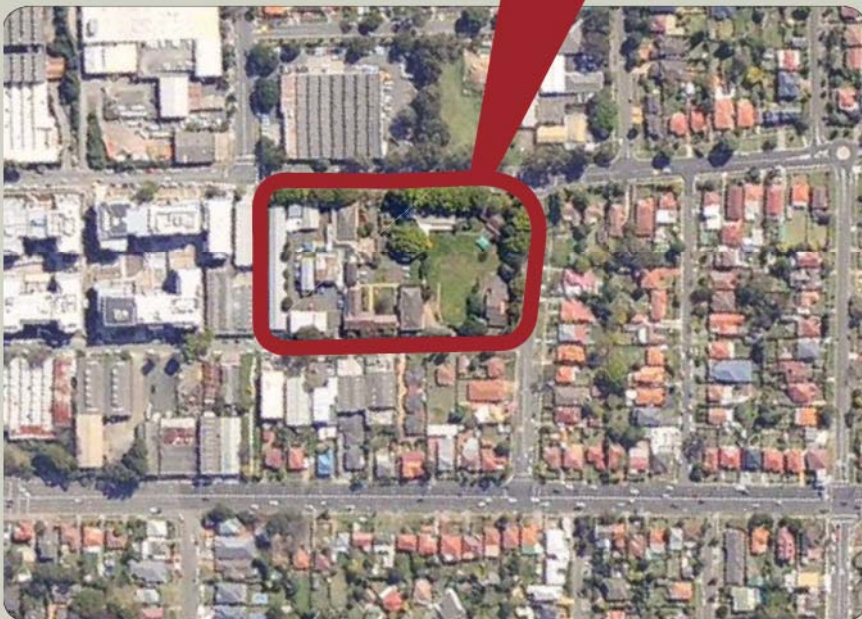
This is the beginning of the community engagement about our plans.

Your time, interest and feedback is important to us and will help us to make informed decisions about our exciting new project.

Achieve Australia has a 59 year history in the area and values the community spirit and involvement that has been carried out on the site over the years. It is our aim to capture the essence of that community through this development by maintaining the historic and aesthetic surrounds on the property.



PROPOSED SITE



Existing Site Features





ABOUT ACHIEVE AUSTRALIA

Achieve Australia is a community based not-for-profit organisation operating in the north and west areas of Sydney.

We support approximately 550 people with disability; across accommodation, employment and day services on the basis of achieving social inclusion. In 2011/12, we plan to commence a respite service.

Our driving principle is to support people with disability to learn and maintain life and work skills, develop relationships, make choices about their lives and participate in community activities.

Our Services are flexible, person-centred and encourage independence.

Our Commercial Enterprises provide supported employment opportunities in a variety of workplaces for more than 100 people with disabilities and our Disability Employment Services assists over 180 people to plan their career and to find employment. In total, Achieve Australia employs over 450 staff including supported employees and 170 volunteer workers assisting with our fundraising and social enterprises.

Achieve Australia is funded and supported by NSW Government Department of Family & Community Services | Ageing, Disability & Home Care; and the Australian Government Department of Education, Employment and Workplace Relations and the Department of Families, Housing, Community Services and Indigenous Affairs.

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WHAT IS THE CROWLE GARDENS PROJECT AND WHY?



Development at 96 Belmore St.



Development at Porter St.

Achieve Australia has an exciting future with plans being explored with the NSW Department of Planning & Infrastructure and the City of Ryde Council for a major project to develop the site at 76 Belmore Street.

Achieve Australia is a community business that aims to secure the future for the people we support in a way that looks after individual needs, and provides choice, security and stability.

Achieve Australia is exploring a co-housing (or intentional community) model which would see people with disability living alongside other residents in the community and fits with the organisation's aim to achieve social inclusion.

Our intention is to become less dependent on rentals and increase the ownership of our properties. We are moving towards 'purpose built' properties that offer the best possible service. The current facilities on the site are in poor condition and no longer meet the individual needs of the people who live there.

The proposal could yield substantial investment into much needed facilities and enable the expansion of our services for people with disability.

In December 2010, the NSW Government announced an historic \$2billion investment in disability services as part of the Stronger Together Stage 2. One of the components of that funding will be used to assist Disability Service providers to close large residential centres across NSW and transition residents of those centres into homes in the community by 2017/18.

The funding will enable Achieve Australia to progress our current plans to transition the residents with their friends into homes in the community. Depending on their individual needs, some of those residents may return to the developed site.

Specific team members and their responsibilities are as follows.

NBRS+PARTNERS	- Architects and Heritage Architects
Don Fox Planning	- Town Planners
Richard Lamb	- Visual Impact Assessors
McGregor & Coxall	- Landscape Architects
Halcrow	- Traffic Engineering Assessment
Amberol	- Flora and Fauna Assessment
A H M S	- Aboriginal Heritage Assessment
Tree Wise Man	- Aboricultural Assessment
GML Social Research	- Social Impact assessment
Sparks and Partners	- Hydraulic Infrastructure assessment
Haron Robson	- Electrical Data Infrastructure
Vipac Engineers	- Wind Consultant



Houses on Junction Rd.



DESIGN PRINCIPLES

EXISTING SITE

In September 2010 the then Department of Planning accepted this Concept Plan application under Part 3A of the Environmental Planning and Assessment Act. The application has been identified as one that will continue to be assessed under Part 3A. A Concept Plan application has been lodged with the Department of Planning and Infrastructure. The submission is proposing the following redevelopment parameters:

- The existing heritage house "Tellaraga" and the Remembrance Garden will be retained and refurbished within a heritage precinct.
- All other existing buildings on the site will be demolished.
- Existing feature trees within the site will be retained.
- Existing perimeter trees will be retained.
- Topography will remain substantially the same.



Well preserved heritage building



Extensive large tree growth



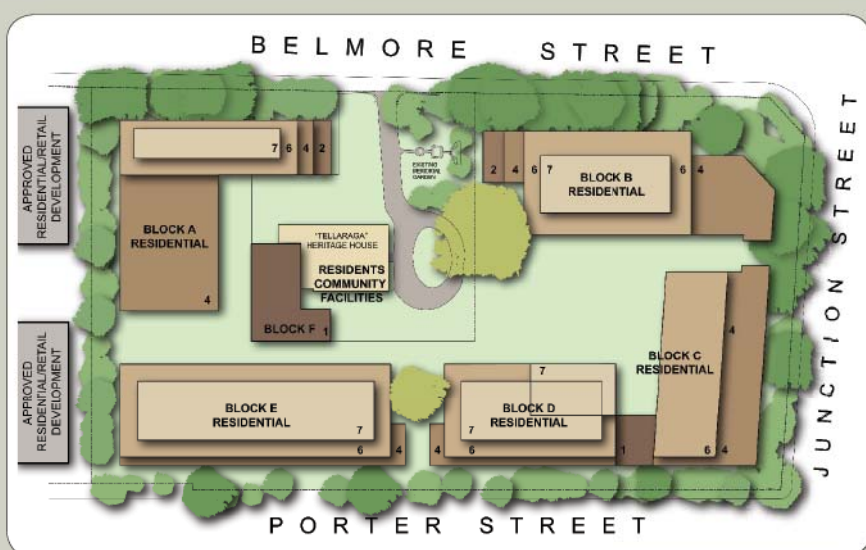
Existing dilapidated buildings



Existing Site Features



DESIGN PRINCIPLES



Proposed Building Envelopes showing number of stories



View south east to building envelope from corner of Belmore and Junction Street



View south east to building envelope from corner of Junction and Porter Street

KEY FEATURES

- Construction of up to 470 dwellings in a combination of one, two and three bedroom apartments.
- Boundary perimeter heights limited to 4 stories to allow transition to surrounding properties.
- Building heights from one to seven stories with heights stepped to reduce visual impact.
- Sustainability design objectives for water, energy, waste minimisation and recycling.
- Planning and design to encourage integration into the existing community.
- Retention of existing perimeter trees.
- Central landscaped courtyard space.
- Pedestrian connections to surrounding streets and adjoining commercial development.
- Parking will be provided for residents and visitors on site.
- Private green spaces.
- Safe people access design principles.
- Building materials to reflect and perform as modern and low maintenance.
- Green star accredited for low energy conservation.



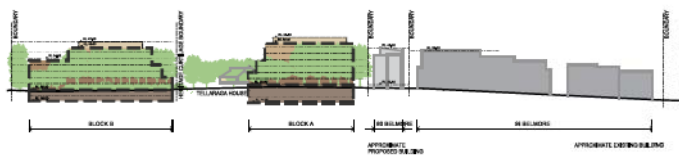
Crowle Gardens

DEVELOPMENT PROPOSAL

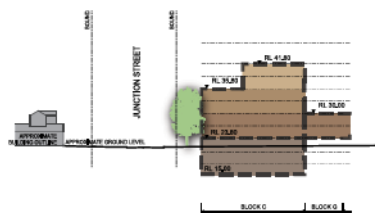
DESIGN PRINCIPLES



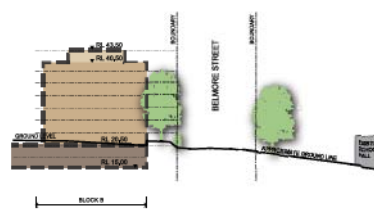
Porter Street - East elevation



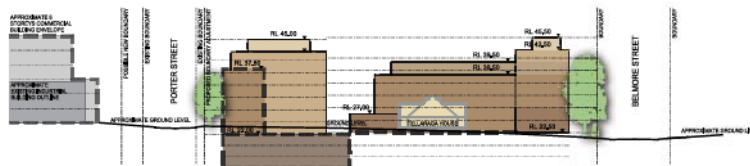
Belmore Street - West elevation



Junction Street section



Belmore Street section



Porter Street section



DEC 9am



DEC 12pm



DEC 3pm



JUNE 12am



JUNE 2pm



JUNE 3pm

Shadow Diagrams



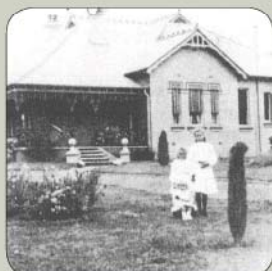
Crowle Gardens

DEVELOPMENT PROPOSAL

SITE HISTORY



view of the site 1863



"Tellaraga" House 1915

The Crowle Home site at Ryde is located on part of an original 30 acre Crown Grant to Richard Cheers, known as The Eastern Farms site on the Parramatta River adjoining the Field of Mars. The grant was made on 2 September 1792 by Governor Phillip.

In 1901, Lots 10 and 11 of the Blanch Estate were subsequently purchased by George Australia Denning, a retired civil servant, who built a substantial single storey house named Tellaraga. The house is well preserved. Following his death in 1943, the land passed by inheritance to his wife, Julia Margaret Denning and sold soon after to Reverend John Hope and William Alfred Leopold Crowle.

The Crowle Home was established at Meadowbank in 1952 by the Sub-Normal Children's Welfare Association later to be known as The Crowle Foundation.

Achieve Australia was formed as a result of a merger of The Crowle Foundation and Hornsby Challenge (Achieve Foundation) on 1 January 2009. Both organisations of similar backgrounds had supported people with disability across Sydney for decades.

Much history is attached to the site. Any final plans will include the retention of the historical house now known locally as Crowle Home as well as the name Crowle.

Over the years, a range of accommodation, day and community access programs, education, recreational, employment and business services for people with intellectual disability have operated on and been accessed from the site.

The efforts of many dedicated family members, friends and volunteers who have engaged in fundraising enterprises and annual events at Crowle Home have provided tangible improvements in the lives of people accessing these services.

Achieve Australia is excited by the boundless opportunities to capture the site's rich history and community connections throughout the design and development of the property.



Aerial Photograph in 1942



Site Entrance 1946



THE DEVELOPMENT & APPROVAL PROCESS

In 2010, the Crowle Gardens Project was identified as a Major Project under Part 3A of the Environmental Planning and Assessment Act 1979.

As a result, the Minister for Planning & Infrastructure has the responsibility to determine the Concept Plan application for this site.

Assuming the Concept Plan is approved, the next steps will be the detailed design and planning of the buildings and landscape. Development applications will be prepared and lodged with Ryde Council for the detailed buildings.

NOVEMBER 2008	Ryde Council advertises a revised Local Environment plan (LEP) for public comment.
MAY 2009	Discussions commence with Ryde Council for consideration of inclusion of the lands in the revised LEP.
OCTOBER 2009	Ryde Council advises the project should be referred to NSW Planning as a Part 3A Major Project application.
MAY/JULY 2010	NSW Planning (DOP&I) agree to accept an application as a Part 3A major project & lodge application.
SEPTEMBER 2010	DOP&I confirms Director General Requirements for site development.
SEPTEMBER 2010 – FEBRUARY 2011	Achieve Australia prepare concept plans for submission.
AUGUST-SEPTEMBER 2011	DOP&I places EA on public exhibition and seeks submissions.
SEPTEMBER 2011	Community Information session.
	DOP&I undertake assessment of the EA and submissions received and determines approval and conditions.
	Minister of Planning & Infrastructure considers the recommendations and makes a determination.
	Preparation & submission of Development Application to Ryde Council
	Exhibition of DA.
	Assessment of DA by Ryde Council

WE ARE
HERE

If you wish to make a submission regarding this development proposal please send your comments to: Department of Planning and Infrastructure, Crowle Garden Development Proposal MP10_0110, GPO Box 39, Sydney NSW 2001 - Email: information@planning.nsw.gov.au This exhibition process concludes 23 September 2011.



RYDE COUNCIL'S STRATEGIC DIRECTION

CURRENT CONTROLS

- Ryde LEP 2010
 - Zoned – Mixed Business.
 - Height – 9.5m
 - Floor Space Ratio 0.5:1
- Concept Plan is permissible development within the zone.
- Council has commenced the process to prepare a new Ryde LEP 2011.

DRAFT INNER NORTH SUBREGIONAL STRATEGY

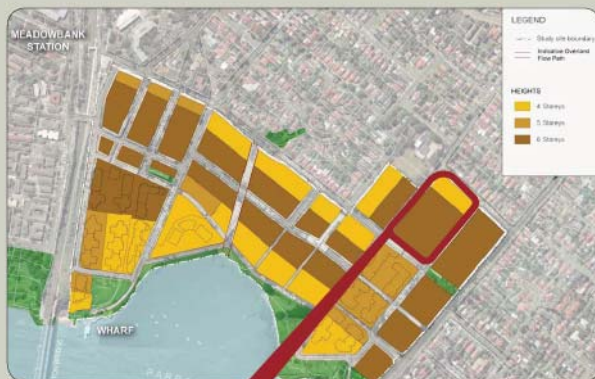
- The Subregional Strategy sets a housing target of an additional 12,000 dwellings for the Ryde LGA by 2031.
- The Subregional Strategy requires Councils to prepare local strategies to identify how to address the actions relevant to their LGA such as zoning sufficient land to accommodate housing targets for their LGA.
- Council has prepared the City of Ryde Local Planning Strategy 2010 in response to the Subregional Strategy.
- Ryde Local Planning Strategy 2010 was adopted by Council on 7 December 2010.
- The Ryde Strategy includes a Centres and Corridors Study relevant to this site.

CENTRES AND CORRIDORS STUDY

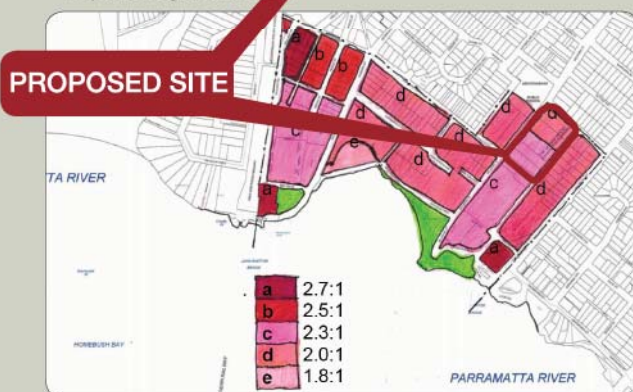
- The Centres and Corridors Study recommends that the planning controls in the Meadowbank Employment Area need to be reviewed to promote urban renewal.
- The Study recommends that the future LEP and DCP "permit development between 4 to 6 storeys generally and 8 storeys on specific sites close to the railway station and Ryde Bridge. FSRs will vary between 1.8:1 and 2.7:1."
- The Concept Plan generally responds to the Study and future planning direction being taken by Council. Heights vary from 1 to 7 storeys. Proposed FSR is approximately 2.16:1

DRAFT RYDE LEP 2011

- Council has prepared a draft Ryde LEP 2011 which reflects the recommendations of the Local Strategy
- Council resolved on 2 November 2010 to refer the draft Ryde LEP 2011 and Local Strategy to the agencies for comment and to the DoP to seek authorisation to exhibit the draft LEP for public comment.



Proposed Height Control Map



Proposed FSR Map



Crowle Gardens

DEVELOPMENT PROPOSAL

LANDSCAPE

- 1. INTERNAL STREETS** - active & passive
 - internal pedestrian streets for community interaction, connections & links to surrounding communities
- 2. THE VILLAGE GREEN** - active
 - a place for community gatherings and celebrations
 - a space for active recreation and play
 - a habitat for the native fauna community
 - a place to display water as part of the water sensitive urban design strategy
- 3. TELLARAGA HERITAGE GARDENS** - active & passive
 - a meeting place and a connection to the site's history
 - a place for active and passive recreation for the community
- 4. MEMORIAL GARDEN** - passive
 - existing garden to be retained and restored as a connection to the past
- 5. GREEN ENVELOPE TO BUILDINGS** - passive
 - existing mature trees retained
 - a vegetation link to fauna corridors
 - private open space for ground floor apartments
 - reinstatement of streetscape
- 6. TERRACE**
 - private soft landscape



Internal Streets



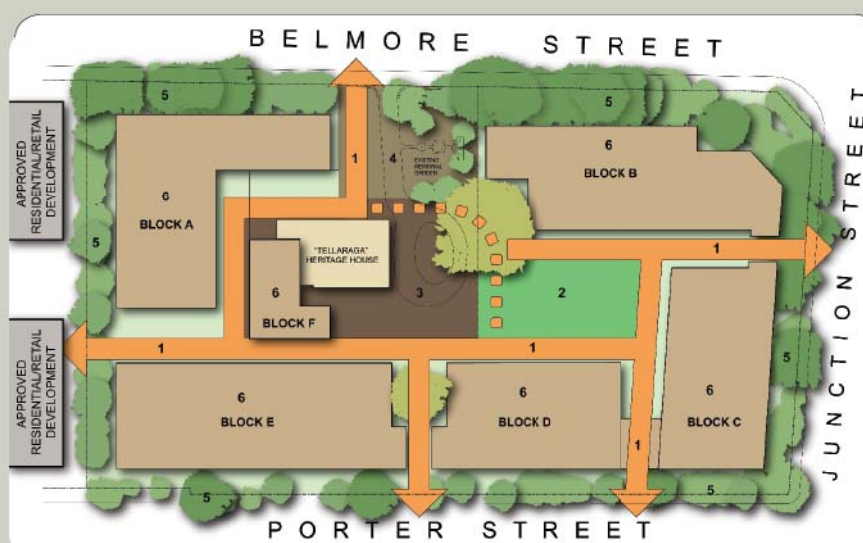
The Village Green



Heritage Gardens



Memorial Garden





Crowle Gardens

DEVELOPMENT PROPOSAL

SUSTAINABILITY

1. BIORETENTION SYSTEM FOR STORMWATER - Overland

- the bioretention system will treat overland stormwater by filtration through a vegetated soil filter, it is integrated into the design of the street or a linear garden bed
- it will remove pollutants via filtration, absorption and biological uptake and also forms part of the landscape design
- the linear garden bed will treat stormwater runoff from the southern part of the site and the street trees will treat stormwater runoff from Porter St
- Overall the conceptual water management strategy will be designed to treat stormwater runoff, removing 85% of total suspended solids, 65% of total phosphorus and 45% of total nitrogen exported from the site.

2. WETLAND - Stormwater Treatment

- a wetland that forms part of the landscape will treat stormwater by settling and interaction with aquatic vegetation
- the wetland will treat stormwater runoff from the northern part of the site and will remove pollutants via settling, absorption and biological uptake

3. WETLAND - Greywater Treatment

- greywater is the waste water from the swimming pool

- the greywater wetland is a vegetated gravel bed that will be integrated into the landscape design
- there is permanent water but it is always beneath the surface of the gravel
- the greywater is treated via filtration, absorption and biological uptake and the water can be reused for irrigation of the open space

4. RAINWATER TANKS

- rainwater tanks are proposed for each building to harvest roofwater for supply to a non potable water supply for apartments
- collects water from only the roof which has the highest quality of water and will be located in each building's basement

5. WATER FLOW RIDGE LINE

- Splits the site into a northern and southern catchment

6. ROOF RAINWATER CATCHMENT

- Roof areas draining to rainwater tanks

7. NORTHERN STORMWATER CATCHMENT AREA

- Northern catchment which will be treated in the wetland

8. SOUTHERN STORMWATER CATCHMENT AREA

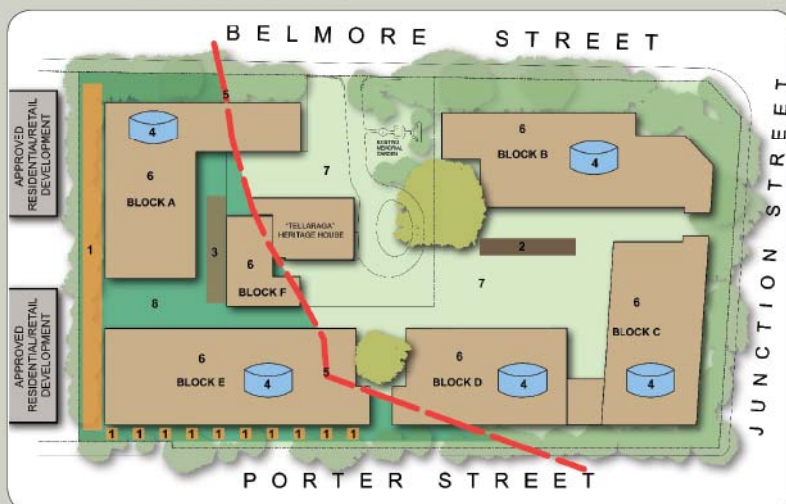
- Southern catchment which will be treated in the bioretention system



Street Tree Bioretention System



Bioretention System for Stormwater



Wetland for Greywater Treatment



Wetland for Stormwater Treatment



PUBLIC TRANSPORT

PUBLIC TRANSPORT

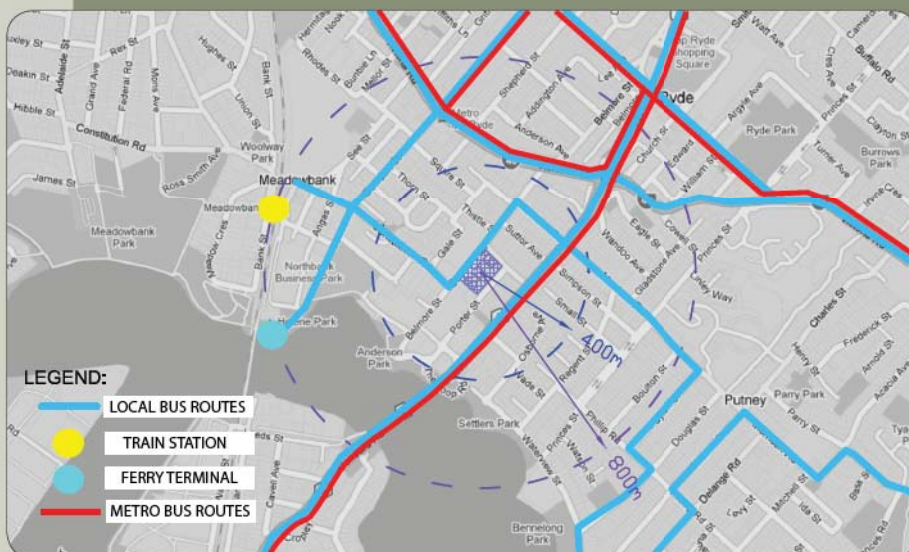
A key feature of the site is its excellent access to public transport which will provide strong incentives for potential residents to leave their cars at home. The site is within walking distance to three modes of public transport with direct access to the CBD, Parramatta and Macquarie Park, including:

Sydney Ferries - The service from Meadowbank accessing McMahon's Point, Darling Harbour, Circular Quay, Sydney Olympic Park and other points along the route (insert Ferry Graphic)

City Rail - the station at Meadowbank has direct services to the Sydney CBD and through the rail network commuters can also access many other localities, including, Parramatta and Macquarie Park (insert Rail graphic)

Sydney Buses - The immediate area is serviced by local and Metro bus services that provide commuters with a number of options, including direct services to the Sydney CBD and Macquarie Park and connections with other public transport services (insert Bus Graphic)

The map below illustrates the close proximity of public transport services to the site. In keeping with the principle of sustainability, the project is keen to encourage and educate potential residents about the desirability of using readily accessible public transport.





TRANSPORT & ACCESS

One of Australia's leading traffic engineering firms, Halcrow Pacific, has conducted studies of the site and surrounding areas, as part of the preparation of a detailed Transport and Accessibility Impact Assessment of the project.

These studies have found that the Crowle Gardens project will generate additional vehicle movements. However, the project, combined with proposed infrastructure improvements in the area, will mean that the local street network will be able to accommodate the extra traffic.

Halcrow undertook traffic surveys of built apartments in Belmore Street and the Loop Road. These surveys indicated that these residential developments generate about 1 vehicle trip per every 3 apartments in the AM and PM peak hour periods. This rate is significantly lower than the RTA guidelines and the rate used in the Meadowbank Employment Area Master Plan Transport Assessment which both use a generation rate of 1 vehicle trip for every 2.5 apartments.

The survey results reflect the area's convenient access to public transport. Based on survey results, the proposed Crowle Gardens residential project is estimated to generate between 141 and 155 vehicle trips in the morning and evening peak hour periods. This would represent an additional 111-125 vehicle trips above the site's existing traffic generation.

Although the site is well-served by public transport all parking needs for residents and visitors will be provided on-site in basement and grade parking areas.

The Director General of the Department of Planning and Infrastructure requires the proponent "...to demonstrate a minimal approach to on-site car parking having regards to the site's access to public transport...." In keeping with this requirement the Concept Plan makes provision for 584 parking spaces, including 490 resident spaces and 94 visitor spaces.

Basement car parking will be accessed via Porter Street. Only limited or emergency service vehicle access will be accommodated via Belmore Street.



LEGEND:

-  RESIDENTIAL VEHICULAR ACCESS
-  PEDESTRIAN ACCESS
-  EMERGENCY VEHICULAR ACCESS