



St Vincent's Hospital, Caritas Site Ancillary Report

- Perimeter Walls and Fencing
- Rear Ablutions and Storage Block
- Old Kitchen Facility

299 Forbes Street, Darlinghurst

Considerations on Particular Heritage Items:
To be read in context with Heritage Impact
Statement for the same Site



December 2006

The Perimeter Fencing – Relevant Information and Observations

- The perimeter fencing and walls extend around three sides of the compound; along Forbes, Burton and Bourke Streets.
- As a whole the fencing and walls arrangement has local listing under Sydney Local Environmental Plan 2005 as a single item.
- An important historical consideration is that, from its inception in 1887, the facility was intended to present as an 'open' rather than a 'closed' facility.
- The walls and fencing comprise stone, metal and face brick components.
- They were constructed at different times. The oldest elements would seem to be the stone and metal components dating from the later 19th century (1880s). This older area is located along the Forbes Street section immediately in front of the old main building. This section is about 40 m long and includes the entrance gates by the Caritas Cottage.
- As is evidenced by style and composition, newer similar fencing has been placed along the Forbes Street property boundary since the mid 1960s. This newer fencing meets the older fencing, and is also part of a security compound. It extends from the older section down to the brickwork corner at Burton Street.
- A wall comprising stone foundations with face brick wall upper section also lies along Bourke Street, extending from the line of the former Darlinghurst Police Station. It comprises similar brick and stone work to the perimeter of the Police Station.
- The Bourke Street perimeter Wall appears to have been constructed in stages. The earliest was the stone foundational work, which also serves as a retaining wall. The upper brick work and associated re-configuration for garage and drive entries would seem, from style and plan evidence (1935), to have been constructed between 1920 and 1940.
- The boundary wall along the Burton Street side appears to date from the 1960s and this would be consonant with the extensive building works undertaken at that time. It would seem that, apart from possible older footings, this section has little heritage value.



Figure 1
View from top floor of Main House towards Forbes Street, showing the oldest portion of the external perimeter fence
(Source: Graham Brooks & Associates, July 2008)

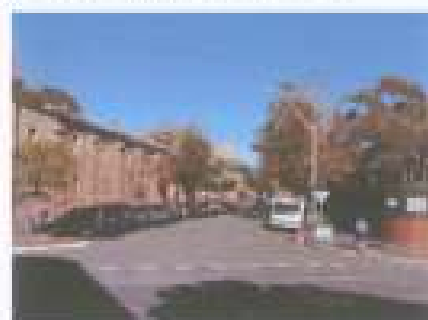


Figure 2
View looking south from Burton Street, along Forbes Street towards Taylor Street, with Caritas on the right
(Source: Graham Brooks & Associates, July 2008)



Figure 3
View looking north down Bourke Street with the perimeter wall of Caritas on the right
(Source: Graham Brooks & Associates, July 2008)

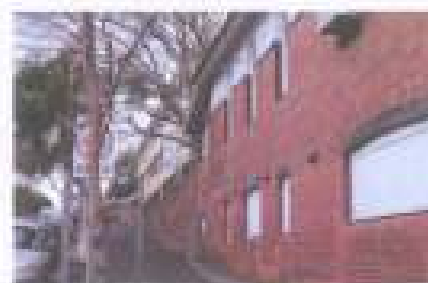


Figure 4
View looking east up Burton Street with the old main facility and the boundary wall of Caritas on the right
(Source: Graham Brooks & Associates, July 2008)

The Perimeter Fencing – Forbes Street



Figure 6:
Exterior of perimeter stone column with arch intersecting the stone, face brick and iron fencing at some points around the perimeter of the compound.
(Source: Graham Brooks & Associates, July 2006)



Figure 7:
View from the foot (west) of the main building towards Forbes Street, and showing the two sections (old and new) of the front perimeter fencing.
(Source: Graham Brooks & Associates, July 2006)



Figure 8:
View from the top floor of the main building showing the Forbes Street perimeter fencing and the driveway between the old and the newer sections.
(Source: Graham Brooks & Associates, July 2006)



Figure 9:
The northwest corner of the site at the corner of Forbes and Burton Streets looking down Burton Street and at seeing the nearest buildings and boundary fencing.
(Source: Graham Brooks & Associates, July 2006)



Figure 10:
The entrance gate to the Carfax cottage, showing the closed portion of the perimeter fence with its stone pillar gateposts.
(Source: Graham Brooks & Associates, July 2006)

The Perimeter Fencing – Bourke Street



Figure 11:
Typical stone corner column at intersection of Bourke and Butler Streets, (deducted to white).
(Source: Graham Brooks & Associates, July 2008)



Figure 18:
View looking south down Bourke Street showing brick wall and stone foundation retaining wall. The wall in the foreground and to the right is the perimeter wall of the former Darlinghurst Police Station.
(Source: Graham Brooks & Associates, July 2008)



Figure 12:
The original stone retaining walls, capped to brick, having probably existed in the 1820s. It seems to have already been in place when the interventions were made for the garage and driveways along this side.
(Source: Graham Brooks & Associates, July 2008)



Figure 12:
View looking south up Bourke Street showing brick wall and stone foundation retaining wall. The brick wall is probably 1820s and was already in place when the 1870 plans were drawn up.
(Source: Graham Brooks & Associates, July 2008)



Figure 16:
The point at which three different walls meet along Bourke. The left stone retaining wall with its brick wall above is the precursor of the former Darlinghurst Police Station. The garage with its surrounding wall to the left is the Curtis property and this portion was positioned in the 1930s plans.
(Source: Graham Brooks & Associates, July 2008)



Figure 19:
View of the west facade of the property where the 1888 intervention in the wall was checked for the garage and showing the c. 1930 building additions for skillets, stone etc.
(Source: Graham Brooks & Associates, July 2008)



Figure 1:
The point where the Carfax wall meets the walls of the former Darlington Police Station.
(Source: Graham Brooks & Associates, July 2006)



Figure 16:
Intersection of two walls along Bourke Street: the upper and lower of the Police land, the upper and lower of the Carfax land and the Carfax garage wall intervention.
(Source: Graham Brooks & Associates, July 2006)



SECTION 16 TO GARAGE INTERVENTION IN
BOURKE STREET
10000 10000 10000



Figure 18:
The state of repair on the perimeter wall is at some points quite poor and sections built on the support further additions over time.
(Source: Graham Brooks & Associates, July 2006)



Figure 21:
View of the Bourke Street (rear) of the brick wall from inside the property. Note the up-lamp. It appears that there has been substantial fill along the portion of the property.
(Source: Graham Brooks & Associates, July 2006)

Figures 16 and 22 Left:
Plans for the garage intervention in Bourke Street. In these plans the brick wall is indicated as already being present.
(Source: Graham Brooks & Associates, July 2006)

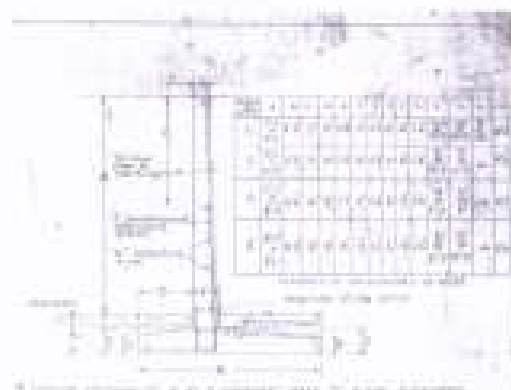


Figure 21:
Data taken from the 1955 plans showing typical fill and reinforcement of the walls along Bourke Street.
(Source: Graham Brooks & Associates, July 2006)



Figure 22:
Detail showing joint along the Bourke Street wall
(Source: Graham Brooks & Associates, July 2008)



Figure 23:
Detail of the meeting between a number of wall arrangements on the Clontarf property at the place where the intervention for the garage was created following upon the 1935 plan
(Source: Graham Brooks & Associates, July 2008)

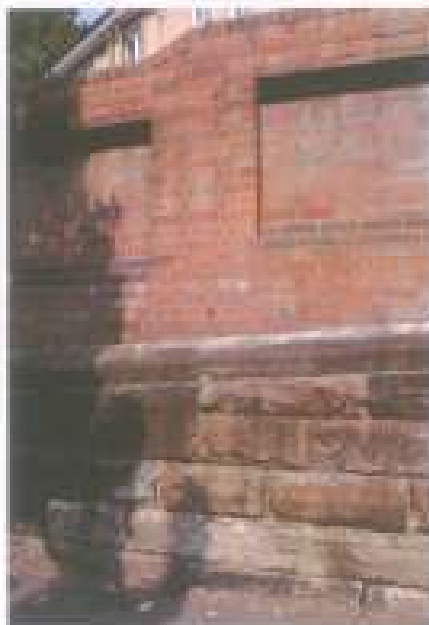


Figure 24:
Detail of the Bourke Street wall showing the upper stone structural retaining component with the brick work above
(Source: Graham Brooks & Associates, July 2008)



Figure 25:
Detail of the stone gate post pillar at the corner of Burke and Burke Streets
(Source: Graham Brooks & Associates, July 2008)

The Perimeter Fencing – Burton Street



Figure 26:
View of the 1980s building, and showing a perimeter fencing/wall arrangement which seems consistent with that era. It is not clear what complicates the foundation for this wall.
(Source: Graham Brooks & Associates, July 2008)



Figure 27:
View at the intersection of Burton and Forbes Streets. It would appear that the older fencing foundations were demolished to make way for the portion of the site in the mid-1990s.
(Source: Graham Brooks & Associates, July 2008)



Figure 28:
View looking west up Burton Street from the corner of the old kitchen facility.
(Source: Graham Brooks & Associates, July 2008)



Figure 29:
View looking west down Burton Street with the CarMa complex on the left and showing what seems to be a 1990s fencing/wall arrangement.
(Source: Graham Brooks & Associates, July 2008)

Ablutions and Store – Rear of Main Building Relevant Information and Observations

- This addition to the old main building is built around a previously existing courtyard area, to the back and to the sides. It incorporated some additional accommodation, dining and ablutions areas, as well as a large basement area for storage, workshops boiler room, fuel store etc. It is two full levels tall at the rear, with the top level abutting onto, and generally interwoven with the old main building to the east (front).

- It is of double brick construction with iron and tile roofing. The walls are dressed in rendered concrete, as faux stone, to match the old main building.

- The building generally evidences an enlargement of the facility with greater confinement arrangements, including single rooms and padded cells and a larger dining area.

- The plans for the alterations and additions were drawn up in 1935, although the buildings as found present with some modification from the original plans. The original specified a slate roof and presents with a higher level of fine detail.

- The 1935 plans detail in 16 sheets a large number of alterations and additions, including substantial modifications to the front facade of the old main building, as well as the addition of a third story. 10 of the 16 sheets have survived and are resent in the St Vincents hospital archives.

- As the buildings currently present, they have undergone much interior adaptation. The main bathroom/ablutions area is still present, and there is a restricted access kitchen facility. Many of the other spaces have now been given over to records storage, administration and staff rooms. Many of the interior walls and ceilings appear to have undergone substantial renovation since the 1980s, and generally present in clean simple functional manner.

- The land at the rear has had substantial fill, probably since the mid 1930s. It is extensively concrete paved and bordered by retaining walls. The level at the rear falls away sharply to Bourke Street, which gives the buildings an artificially higher more imposing appearance. They look larger taller and more important than their size and actual use.

- It appears from the plans that there was substantial excavation undertaken for their erection.

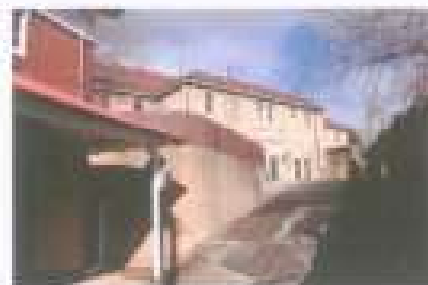


Figure 30
View from the northwest corner of the site (corner of Dutton and Bourke Streets) adjacent to the old McAlister building, and looking up the concrete ramp in the later 1930s additions at the rear of the Caritas House
(Source: Graham Brooks & Associates, July 2008)



Figure 31
The later 1930s extensions, looking north inside the property boundary. The roof is a rendered concrete faux stone with corrugated steel roof
(Source: Graham Brooks & Associates, July 2008)



Figure 32
Inside the rear extensions adjacent to the southwest toilet facility which comprises a large part of the corner of the building. The interior finish is very simple and appears to have had a number of columns supporting
(Source: Graham Brooks & Associates, July 2008)



Figure 35:
Image taken from the 1935 plans showing the steep fall of the property with the roof following road and garage levels, off Ryeview Street. It appears that extensive excavations were undertaken for these extensions and shopfronts.
(Source: Graham Brooks & Associates, July 2008)



Figure 36:
Image taken from the 1935 plans shows the way in which the proposed extensions were introduced with the existing building and around the courtyard area, so that it kept the central area (and the related parking) to the north-west of the site.
(Source: Graham Brooks & Associates, July 2008)

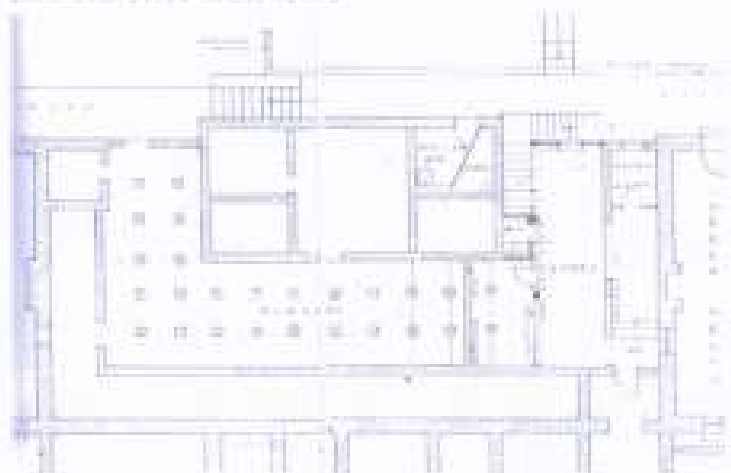


Figure 37:
Image taken from the 1935 plans shows the basement area of the proposed building. It is here mostly used for storage and storage.
(Source: Graham Brooks & Associates, July 2008)



Figure 38:
Rear of the addition, showing two doors at the west end, with basement area being the lower level.
(Source: Graham Brooks & Associates, July 2008)



Figure 39:
Detail of the face stone work/courtyard wall.
(Source: Graham Brooks & Associates, July 2008)



Figure 38
View outside the later 1900s additions at the south side of the property adjacent to the Pullen lane. The ground is elevated at this point but falls away steeply to the rear, at the right of the image.
(Source: Graham Brooks & Associates, July 2008)



Figure 39
View
(Source: Graham Brooks & Associates, July 2008)



Figure 40
View of the 1930s additions along the west facade. The ground level is flat and concrete paved but falls away steeply towards the rear (pictured next).
(Source: Graham Brooks & Associates, July 2008)



Figure 38
View outside the later 1900s additions at the north-east side of the property towards Pullen and Butten Streets
(Source: Graham Brooks & Associates, July 2008)



Figure 41
The later 1900s additions at the west side (rear) of the property
(Source: Graham Brooks & Associates, July 2008)



Figure 43
Interior of the later 1930s unit at the south side, showing the opposite of recent disposal
which are typical of much of the interior of the building
(Source: Graham Brooks & Associates, July 2008)



Figure 44
Interior view of the later 1930s unit where older single rooms have been reconfigured as
office space
(Source: Graham Brooks & Associates, July 2008)



Figure 45
Conversion of basement space into storage rooms and office space
(Source: Graham Brooks & Associates, July 2008)



Figure 46
The washroom facilities, which in their original location and take up a considerable portion of the interior space
(Source: Graham Brooks & Associates, July 2008)



Figure 47
Interior of the washroom facilities
(Source: Graham Brooks & Associates, July 2008)



Figure 48
A portion of the disused basement area with various equipment and plumbing, such as water fittings, toilets etc.
(Source: Graham Brooks & Associates, July 2008)

The Former Kitchen Building

Relevant Information and Observations

- The old kitchen facility is located on the north west corner of the property and borders directly on to Burton Street
- It is not subject to any individual heritage listing
- No plans of the building itself have so far been located. However in older plans of the site it is marked back previous to 1920 and in the 1935 ground plans it is noted as a kitchen facility. It seemed to fulfil this function until the later 1950s
- It is of brick construction with an iron and timber roof. It has some handsome features including its generally contained size and form, and its roof pitch.
- Its style and general finish evidence a construction year of about 1910-1912 and it has a number of detail federation features, including the under-eave detailing and some window treatment. Its construction may have been in response to increased numbers after the opening of the 1907 ward at the northeast corner of the property.
- Some of the building has now been covered by paving, earth works and retaining walls, particularly at its south side
- The building has had substantial modifications over time including the incorporation of a flat for visiting medical officers. As the building currently presents it has undergone much interior adaptation and its largest space is taken up by vehicle garaging.



Figure 99.
View of the north-west corner of the site with the old kitchen facility and entrance gate
(Source: Graham Brooks & Associates, July 2008)



Figure 100.
Detail view of the north side of the old kitchen facility taken from Burton Street and showing intersection with brick wall
(Source: Graham Brooks & Associates, July 2008)

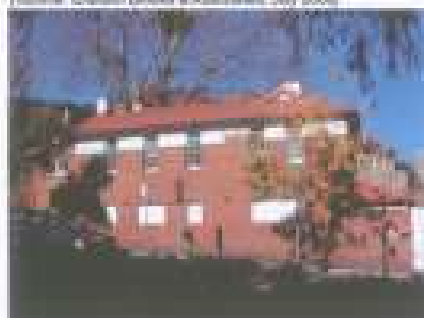


Figure 101.
Side of the old kitchen facility as it presents along Burton Street (north facade)
(Source: Graham Brooks & Associates, July 2008)



Figure 52:
View of the southwest corner, old kitchen facility, adjacent to security entrance gate
(Source: Graham Brooks & Associates, July 2006)



Figure 53:
View of the west facade and adjacent existing wall and compound. The building would have originally been freestanding at this level unencumbered by the southwest wall and retaining walls.
(Source: Graham Brooks & Associates, July 2006)



Figure 54:
The level of the ground at the top of the ramp and at the first floor level of the old kitchen facility, which served as a flat for individual tenement for some time.
(Source: Graham Brooks & Associates, July 2006)



Figure 55:
View down the ramp to Burton Street
(Source: Graham Brooks & Associates, July 2006)

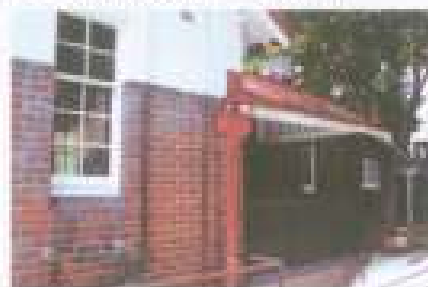


Figure 56:
Detail of the south face of the building showing the small lower wall, with face brick and stone combinations.
(Source: Graham Brooks & Associates, July 2006)



Figure 57:
Window along the Burton Street (north) side
(Source: Graham Brooks & Associates, July 2006)



Figure 58:
Former window along the Burton Street (north) side
(Source: Graham Brooks & Associates, July 2006)



Figure 60
The alleyway down to Butler Street, looking north, with the retaining wall to the right. The wall is in poor condition
(Source: Graham Brooks & Associates, July 2006)

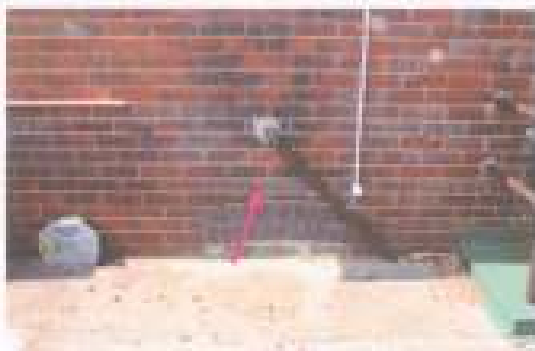


Figure 61
Example of the way in which land 1000 has covered most of the south side of the first floor of the old kitchen facility. Future workers are indicated by the arrow
(Source: Graham Brooks & Associates, July 2006)



Figure 62
The curved retaining wall counting wheel up from Butler Street
(Source: Graham Brooks & Associates, July 2006)



Figure 63
Lower level of the old kitchen facility showing the connection to garage
(Source: Graham Brooks & Associates, July 2006)



Figure 64
Interior view of the lower level, near a car garage
(Source: Graham Brooks & Associates, July 2006)



Figure 65
Interior lower level garage space. Nothing appears to connect from former area
(Source: Graham Brooks & Associates, July 2006)