

FSR

To provide an appropriate density of development across the site.



Objective

To provide for a Floor Space Ratio (FSR) consistent with the overall objectives and other principles for the site. To ensure that the FSR proposed is based on the site's capability identified through site analysis and consistent with the vision to create a destination with a desire to maximise public access, pedestrian linkages, vistas, setbacks, open space and landscaping opportunities.

Guidelines

6.1. The proposed FSR of 0.8:1 was established through the design review process and the combination of building heights, building footprints, setbacks and open space has been established, in consideration also of site context, constraints and opportunities such as topography and tree heights, the adjoining public road system and housing and the important site features such as the cultural area of Bluff Point and the perimeter lake edge, and in consideration of the desire to provide high amenity vistas and public access through the site. The FSR was determined out of the design process rather than identified as an up front number.



Figure 51

Proposed floor space ratio.

BUILDING MATERIALS & COLOURS

Provide materials and colours that respond to the surrounding environment and that create interest and patterns.



Objective

To achieve a high standard of visual appearance that will be aesthetically pleasing to future occupants and visitors but that reflects the existing nature of the area. The objective is to use colours and materials that will contribute to the Trinity Point experience.

Guidelines

- 7.1. Buildings should incorporate materials that respond to the surrounding environment as well as create visual interest.
- 7.2. Proposed materials will be a selection of recessive materials and colours including sandstone, zinc, timber, render, with fixed and operable screens for sun shading and to assist in reducing the buildings into a series of smaller forms.
- 7.3. Rather than monolithic blocks, all buildings are proposed as both vertically and horizontally articulated, with a base contrasting to the levels above and in most cases a recessive upper most level clad in recessive colours to reduce their visual impact when viewed from the lake as well as from the land.
- 7.4. Drawing inspiration from the stone stratification of Bluff Point, the buildings are conceived as a series of horizontal layers, with a stone base reading as a continuation of the landscaped terraces of the surrounding gardens. The mid levels above this are articulated into smaller elements with recessive screens and the upper levels are recessive roof elements.
- 7.5. Materials of the tourist hospitality precinct exhibit a similar logic, with the more prominent upper levels of the function room and the hotel proposed in recessive colours. Again, these floor levels will contrast to the floors below in order to articulate the facades of individual buildings.

Tourist Hospitality



Accommodation

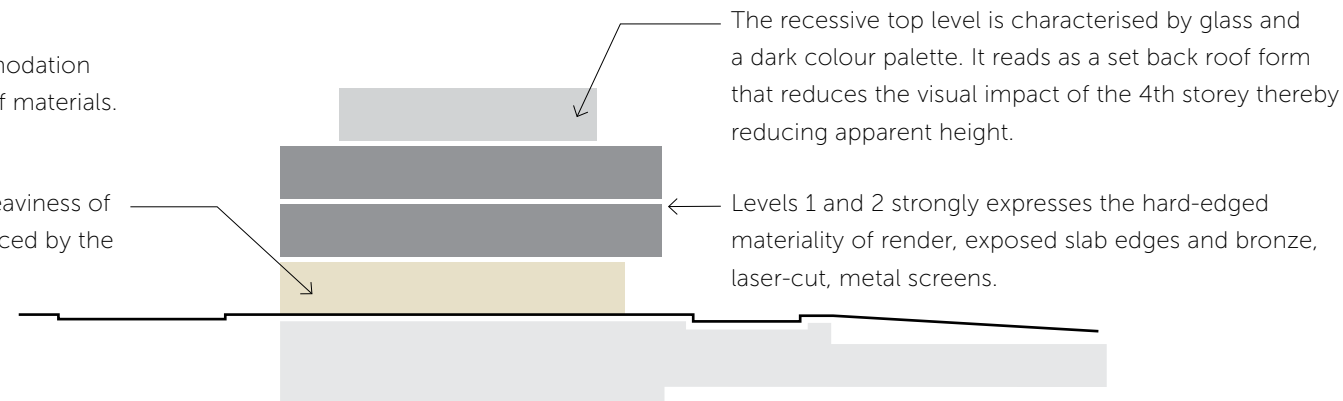


BUILDING MATERIALS & COLOURS

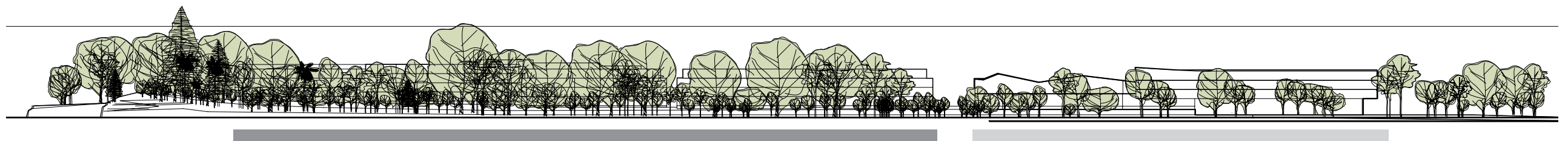
Figure 52

Simplified section through typical accommodation building showing the use and influences of materials.

The upper levels rest on the rigidity and heaviness of the stone base at the ground floor, influenced by the stone stratification at Bluff Point.

**Figure 53**

Northeast elevation photomontage showing proposed materiality of the hotel, restaurant and accommodation buildings and the recessive palette in receding the top levels among the existing tree line.

**Figure 54**

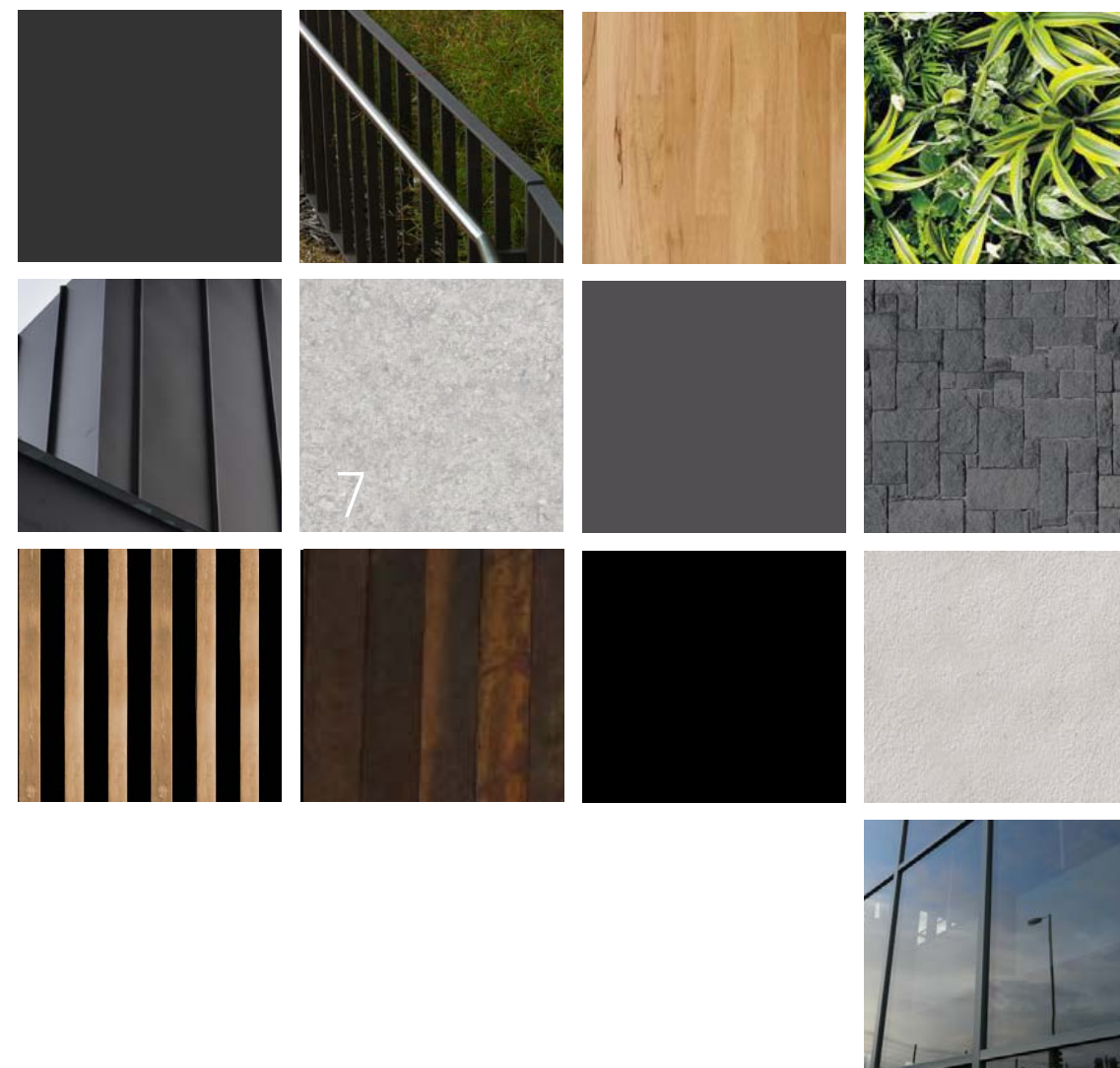
East elevation showing darker materials schemes to the restaurant/function room and hotel where they are more exposed, and lighter materials to the accommodation buildings where they are obscured by the tree line.

The accommodation precinct is largely concealed by the existing tree line prompting the use of a lighter, passive and more recessive architectural language. Glass, darker finishes and increased setbacks to the top floor help to reduce its apparent mass.

The tourist hospitality precinct is largely exposed to the views and functions as the active zone of the site. The material palette here is thus darker in order to recede the architecture into the tree line as to not exemplify its presence in the landscape.



Proposed external colour schedule for the restaurant and function building.

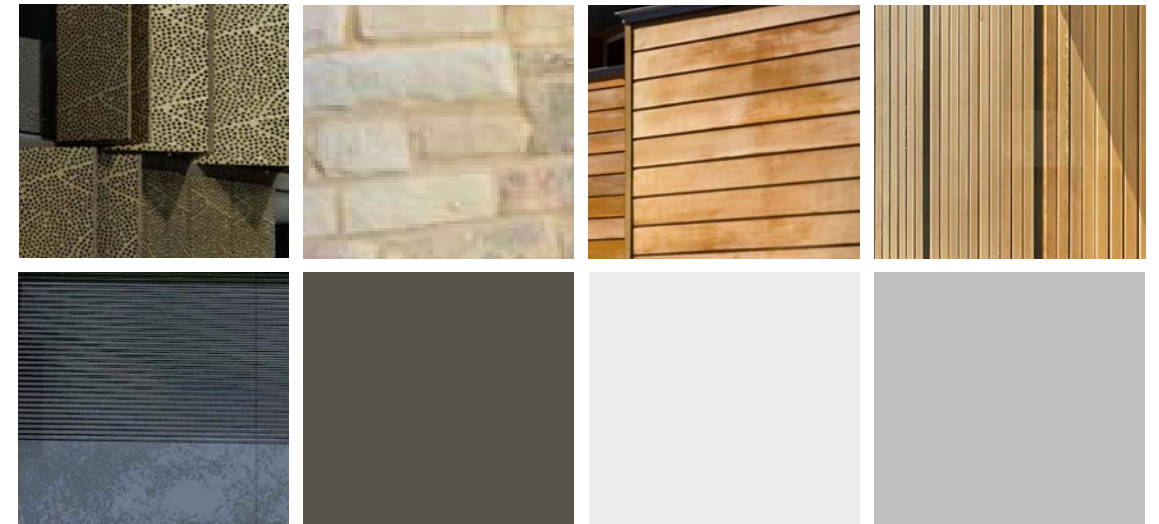


BUILDING MATERIALS & COLOURS

**Figure 56**

Proposed external colour schedule for the hotel.

BUILDING MATERIALS & COLOURS

**Figure 57**

Proposed external colour schedule for a typical accommodation building.

VEGETATION

To provide for reinstatement and rehabilitation of vegetation to mitigate against any proposed removal of endangered ecological communities as a result of the Concept plan proposal.



Objective

To acknowledge that it is appropriate to demonstrate no nett loss of biodiversity against an improve or maintain outcome where any clearing of endangered ecological communities is proposed.

Guidelines

To achieve the vegetation objective, the following measures are to be incorporated into requirements for the project:

- 8.1. Provide complimentary and generous landscaping in and around the built form to create a connectivity with the surrounding vegetation topography.
- 8.2. Retain as much existing vegetation as possible encircling the site and along the foreshore, ensuring visual dominance of the tree line external to the site is maintained.
- 8.3. Conduct ongoing monitoring of the Vegetation Management Area with particular attention paid to ecologically sensitive areas of the site in order to preserve, protect and restore existing native vegetation communities.
- 8.4. Conduct weed control throughout the vegetation in the remaining public foreshore open space zoned lands adjacent to the site. This will encourage natural regeneration within these communities (which are also endangered ecological communities).
- 8.5. Should any existing vegetation be impacted upon, then include further infill planting of native ground cover, shrubs and trees throughout the vegetation in the identified part of the public foreshore open space zoned lands, primarily around the unnamed bay and the eastern foreshore beyond the tourist hospitality precinct. This work is to be carried out by a qualified bushland regenerator working under guidelines set out in a Vegetation Management Plan. The Vegetation Management Plan will provide detailed information on weed control, access control, rubbish control, planting, monitoring and timing of any revegetation works to be conducted within the retained vegetation and any areas to be revegetated. Revegetation must be done in accordance with best practice measures, principles and specifications as outlined in nationally accepted guidelines (where appropriate). Any replanting of native species must use specimens of local provenance.
- 8.6. A landscape plan shall be provided with the first development application for the marina which incorporates an appropriate level of screening along the northern boundary of the marina car park. Screening should be comprised Casuarina Glauca Open Forest as a minimum



Existing trees



New mass planting



New lawn



Existing public open space zoned land

Figure 58

Proposed vegetation plan showing existing trees generally to be retained and the areas of new landscaping to be introduced. The majority of native vegetation now sits in Council reserve. As per the guidelines, the landscape strategy of the site is to provide additional vegetation in and around the built form and to retain and preserve most of the existing vegetation outside the site along the foreshore.



LANDSCAPE

Provide a landscaped outcome that enhances the existing site conditions and proposed future development of the site.



Objective

Build on the existing landscape opportunities that are available as well as create new opportunities to provide a high level of amenity to future occupants and users of the site and that protects and augments the landscape quality of the locality. The landscape to be fully integrated with the development to create a harmonious outcome that considers the built form and the natural environment.

Design Rationale

The proposed landscaping scheme preserves the natural environment in the public foreshore open space zoned land and introduces significant landscaping in and around the buildings, integrating built form with the landscape to create a seamless transition into the site.

Overall the proposal seeks to draw together the various existing landscape elements of the site, such as cultural planting above Bluff Point, existing lake front tree planting and new proposed planting around and between the new buildings to create a harmonious landscape responding to the unique site.

Refer to the landscape report [Section 75 Submission: Landscape Analysis & Design Principles](#), dated October 2014, prepared by [Terras Landscape Architects](#).

Guidelines

The following landscape principles and strategies are to be incorporated and detailed in Development Applications.

Foreshore Zone

- 9.1. The proposed marina access is to be provided in a manner that ensures any desired works by public authorities within the public open space zoned land (such as the lineal pathway) are not precluded or compromised.
- 9.2. Provide a foreshore public pedestrian pathway extending from the north of the site at the marina's entry point down south along the eastern foreshore to Bluff Point, around to Trinity Point Drive and to the former sea baths along the southern foreshore. This path, partly located within the site and partly in the foreshore reserve where agreed to by Council, maximises opportunities for the public to access and enjoy the foreshore edge around the entire site.
- 9.3. Sundial and grotto to be retained and restored.
- 9.4. Low fencing may be provided within vegetation around Bluff Point to minimise access to steep edges.
- 9.5. The proposed development is to be sensitive to the native vegetation edging the shallow unnamed bay.
- 9.6. Where agreed to by Council, landscaping may extend into the foreshore zone.
- 9.7. To be consistent with Principle 8.

Pathways

- 9.8. Provide a publicly accessible pathway (generally 2.5m wide) between the water and the edge of built form to extend around the southern and eastern edge of development through to the tourist hospitality precinct. This path will be partly located within the site and partly located in the public foreshore reserve where agreed to by Council.
- 9.9. The pathway will provide for the first time on this site physical public access to the lake view. From the tourist hospitality precinct, the pathway moves gently along the foreshore up the sloping ground to the important viewing point of Bluff Point. The pathway experience will build upon the already unique lakeside character and will move relative to the adjacent built form and provide full access for the public that enriches and informs (heritage, culture and environment). Detailed design will include pause points, lookouts, seating, ramps, landscape elements and provisions for pedestrians and cyclists to share the facility.
- 9.10. Pathway to provide universal access.
- 9.11. Pedestrian access to be provided through the site linking to the reserve at key points.
- 9.12. Passive recreation space created between foreshore and built form, with landscaping in these areas to facilitate public use and recreation.
- 9.13. Cultural planting between built form and foreshore in the southern part of site to be retained.



LANDSCAPE

Tourist Hospitality Precinct

9.14. The landscaped strategy across the precinct is to position and articulate built form within a large, open landscaped setting.

9.15. The landscaped forecourt will have full public access and is proposed as a combination of trees, low planting and hard paved pedestrian pathways allowing access to the various buildings placed around it. This planting sits on a podium, with car parking located beneath it. The proposed planting will be tiered to allow a variety of plant species that will emphasise the concept of the buildings being located within a landscaped garden, with sufficient deep planters to allow significant tree planting along the pedestrian main east-west link separating the tourist hospitality and tourist residential accommodation precinct.

9.16. The restaurant/function building located on eastern edge of the site is to provide an active waterfront zone which links up with the waterside reserve walkway. This landscape includes low planting surrounding an arrangement of trees, stepped paving, sand gardens and pool. Pathways from this active waterfront zone will also link to the marina and site perimeter boardwalk.

Trinity Point Drive Streetscape

9.17. The Concept Plan is to inform an integrated streetscape design of Trinity Point Drive (which forms the western edge to the site).

9.18. Vehicular entry to the site is available from the west via Trinity Point Drive, through two access points at the accommodation precinct and an access point from the roundabout at the tourist hospitality precinct. Refer to Principle 10.

9.19. The total streetscape is to incorporate carriageway, street tree planting, parking and pedestrian paths. Detail design will need to integrate the grade change edges into the streetscape.

9.20. Planting along Trinity Point Drive and the new internal accessway of the tourist residential accommodation precinct should emphasise the street edge, with formal street planting combining with planting at the base of the accommodation buildings.

Internal Accessways

9.21. A primary north-south axis is to be established between east and west accommodation buildings comprising a combination of landscaping, pedestrian pathways and three separate vehicular access driveways from Trinity Point Drive. This axis ensures both a physical and visual connection between the northern tourist hospitality precinct and the southern public and foreshore spaces surrounding Bluff Point.

9.22. The internal accessway, accessible via Trinity Point Drive should facilitate visitor and resident access to the basement car parks underneath the accommodation buildings.

9.23. Extensive landscaping between the accommodation buildings will create east-west pedestrian links across the site linking the accommodation zones and internal access driveways to the lakefront reserve. The major east-west pedestrian link in this precinct will run between the predominantly short stay and the permanent accommodation buildings; a space that will primarily be a deep soil zone. Other landscaped spaces between the accommodation buildings will be part deep soil and part planting over basement car parking below.

9.24. Development Applications are to document the accessway including vehicle carriageway, pedestrian pathways, landscape and apartment access. The design intent is low-speed shared use zones (with narrow carriageway, minimal kerbs and mix of materials). The landscape is to reinforce the lake landscape character with diversity and interest.

9.25. Publicly accessible pathways are to be provided as part of internal open space ensuring links are created along both north-south and east-west directions as one moves through the site. Refer to Principle 4.

Planting

9.26. The soft landscaping design for the site needs to create a distinctive yet harmonious landscape style whilst addressing a number of design constraints.

9.27. The landscape theme consists of two plant palettes. The first planting palette is essentially native plants, typically endemic that would be used for the areas where the site interfaces with the adjoining protected foreshore areas. This will allow the development to blend into the existing landscape and minimise any visual disparity.

9.28. The second planting palette is a more stylised theme to create using distinctive 'architectural' plant forms that include natives but have a wider range of plant types. All the plants need to be suited to windy exposed condition.

LANDSCAPE

Architecture

9.29. Each building is to incorporate landscaping that integrates with its design, boundaries and interfaces. Careful design consideration is to be given to interface edges by ensuring an active contribution to streetscape with landscaping continuing to the road or path edge from built edge.

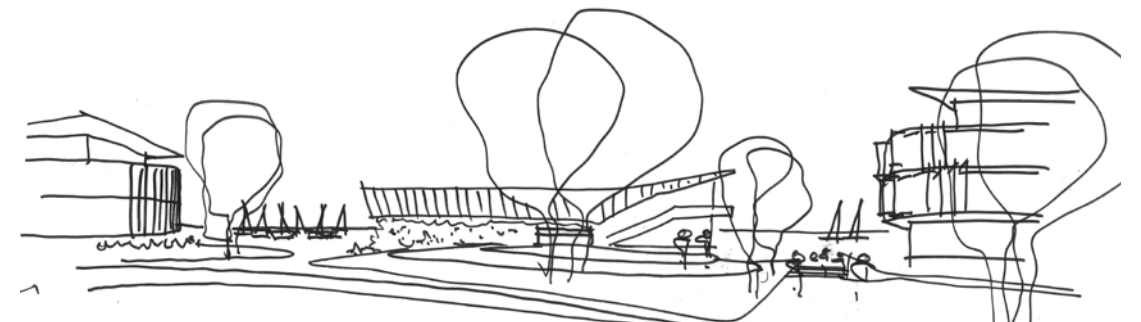
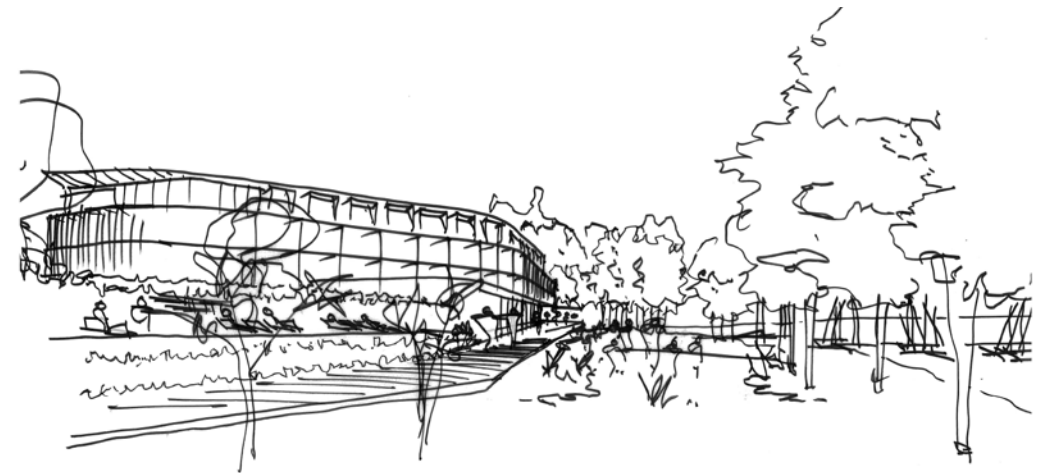
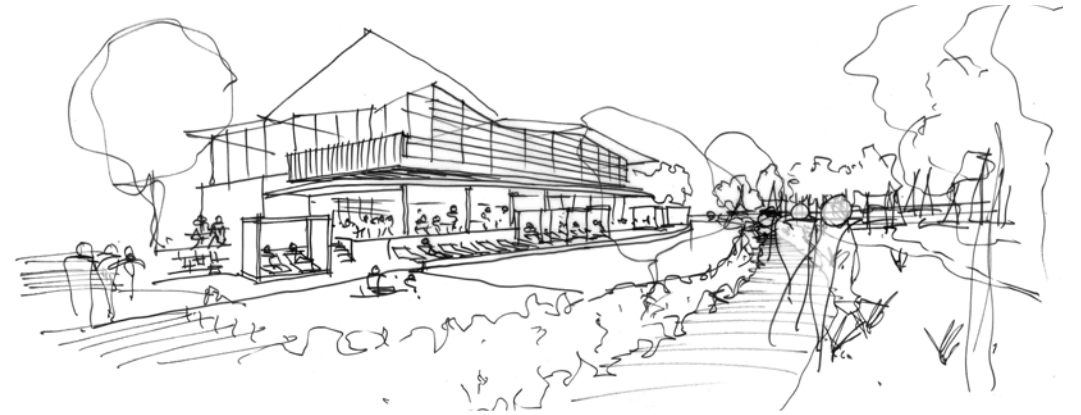
Materials & Hard Landscaping

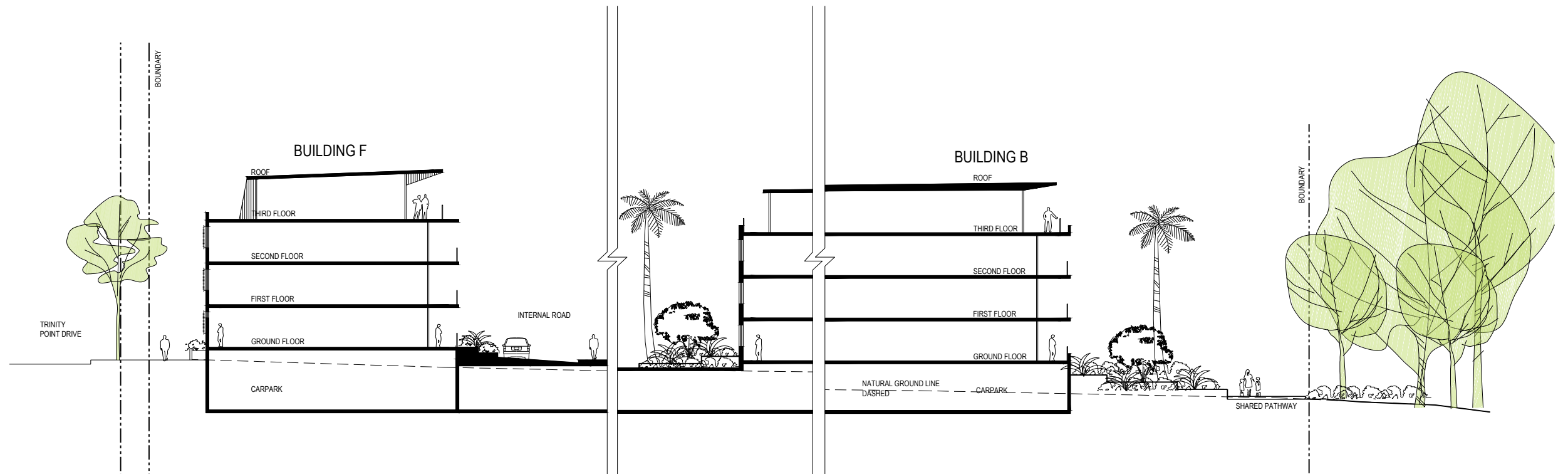
9.30. Material palette to define consistent sense of space through public domain.

9.31. Provide consistent signposting / way finding, interpretative signage, seating, furniture, litter bins, bicycle parking, handrails and the like throughout the site.

9.32. Lighting strategies to provide indirect subtle lighting.

9.33. Develop a site interpretation strategy that will assist in creating a sense of place and responsibility for environmental and indigenous and cultural heritage of the site.



**Figure 59**

East-west section through accommodation precinct showing the relationship between built form and landscape, between individual accommodation buildings, and between the public/private spaces where built form and the shared perimeter foreshore pathway are nearest.

LANDSCAPE

Landscape Design Concept Plan

Prepared by

**4** Trinity Point Marina & Mixed Use Development

Prepared by



Deep soil planting zones



LANDSCAPE

Mass Planting Open Space

Prepared by



- Foreshore Land
- Turf grass area
- Mass Planting
- Pathways

LANDSCAPE

Landscape Look & Feel



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LANDSCAPE

Landscape Look & Feel



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9

PROPOSED - SITE PRINCIPLE 9

LANDSCAPE

3

Landscape Look & Feel



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