

CENTRAL PARK PRECINCT-WIDE GFA SUMMARY

GFA Table for Concept Plan Mod 11 (NO CHANGE FROM MOD10)

Residential Land Mix	Approved MOD 9 Precinct-Wide GFA Summary			Proposed MOD 10 Precinct-Wide GFA Summary			Variance (sqm)
	Non-Resi GFA (sqm)	Max Resi GFA (sqm)	Total GFA (sqm)	Non-Resi GFA (sqm)	Max Resi GFA (sqm)	Total GFA (sqm)	
Block 1 (split)	1,153	23,362	24,515	1,137	23,094	24,231	-284
Block 4N (split)	25,930	0	25,930	23,132	3,459	26,591	661
Block 4S	962	21,364	22,326	831	21,427	22,258	-68
Block 4B (BY)	3,898	0	3,898	3,898	0	3,898	0
Block 2	19,235	48,391	67,626	19,235	48,391	67,626	0
Block 3	5,000	6,043	11,043	5,000	6,043	11,043	0
Block 5	1,432	26,884	28,316	1,432	26,884	28,316	0
Block 6	2,000	0	2,000	2,000	0	2,000	0
Block 7	1,000	0	1,000	1,000	0	1,000	0
Block 8	135	14,744	14,879	135	14,740	14,875	-4
Block 9 (5C)	-	26,598	26,598	-	26,598	26,598	0
Block 10	303	1,541	1,844	303	1,541	1,844	0
Block 11	1,249	24,276	25,525	1,413	23,807	25,220	-305
Total	62,297	193,203	255,500	59,516	195,984	255,500	0

Rev.	Date	Reason For Issue	CK
25	26/06/15	S75W Amendments (MOD10) Rev	RP
24	10/11/14	S75W Amendments (MOD10)	RP
23	11/08/14	S75W Amendments (MOD9)	RP
22	19/06/14	S75W Amendments (MOD9)	RP
21	23/01/14	S75W Amendments (MOD 8)	RP
20	11/12/13	PAC RESPONSE	RP
19	18/09/13	S75W Amendments (MOD 8)	RP
18	09/09/13	S75W Amendments (MOD 8)	RP
17	05/09/13	S75W Amendments (MOD 8)	ML
16	12/02/13	S75W Amendments (MOD 8)	ML
15	11/02/13	S75W Amendments (MOD 8)	ML
14	31/01/13	S75W Amendments (MOD 8)	ML
13	19/12/12	S75W Amendments (MOD 8)	RP
12	14/05/12	RESUBMISSION CONCEPT PLAN	RP
26	12/08/15	S75W Amendments (MOD 11)	RP



Notes

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 11 granted on the 02/03/16

in respect to MP 06-0171

Signed MR

Sheet No. 1 of 23

FRASERS PROPERTY

Project: Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client: Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
T: 02 8623 8800 F: 02 8623 8801

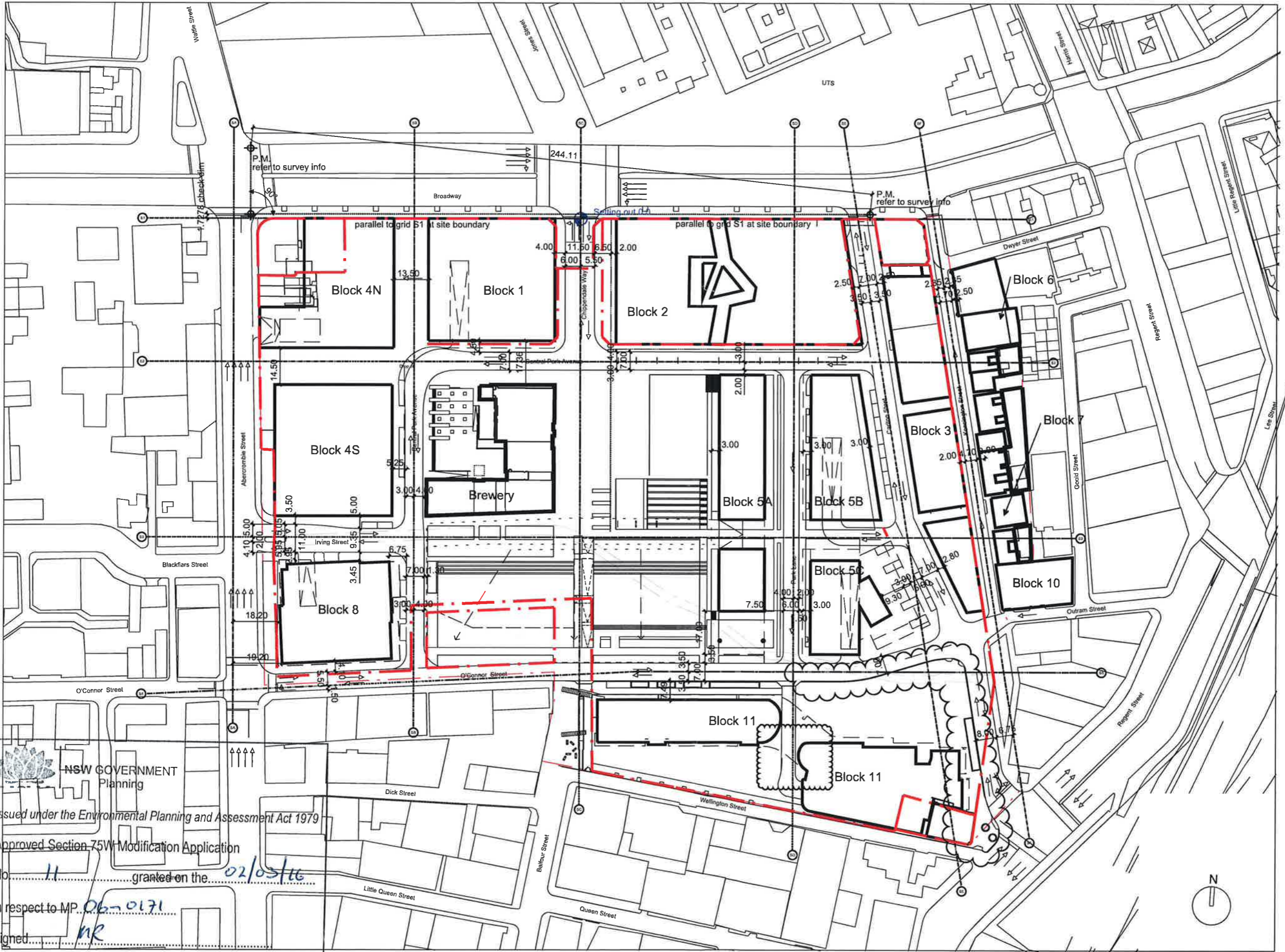
Foster + Partners

Riverside, 22 Hester Road
London SW11 4AN
T +44 (0)20 7738 0455
F +44 (0)20 7738 1107

Title:
Concept Plan Areas

Project No. 1645	Scale @ A3 NTS	Date 14/03/08	Drawn By
Number A-1002			Revision 26

W:\CADD\14100\14100.dwg



- General Notes
1. Do not scale drawings. Dimensions govern.
 2. All dimensions are in millimetres unless noted otherwise.
 3. All dimensions shall be verified on site before proceeding with the work.
 4. Factor + Partners shall be notified in writing of any discrepancies.
 5. Any areas indicated on this sheet are approximate and indicative only.

Drawing to be read in conjunction with current site grid drawings by Dioguardo, Smith & Partners Dwg-Nr. 31420/03.dwg Issue E

Position of grid line in relation to existing buildings/road layouts to be checked, verified and confirmed on site prior to construction.

Rev	Date	Reason For Issue
01		
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Rev	Date	Reason For Issue
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Notes

- Development boundary

FRASERS PROPERTY

Project: Frasers Brewery
20 - 162 Broadway Sydney NSW 2000

Client: Frasers Brewery
L11, 488 Kent Street Sydney NSW 2000
T: 02 8823 8800 F: 02 8823 8801

Foster + Partners

Principal: 22 Hunter Road
London SW1E 1AN
T +44 (0)20 7738 0455
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PTW Architects

Level 17, 8 Casborough St
Sydney NSW 2000 Australia
T +61 (0)2 92325677
F +61 (0)2 9221 4138
www.ptw.com.au

Title: Master Plan
Site Set Out Plan

Project No.	Scale @ A0	Date	Drawn By
1645	1:500	30/06/08	

Sheet No. **A-1030** of **07**

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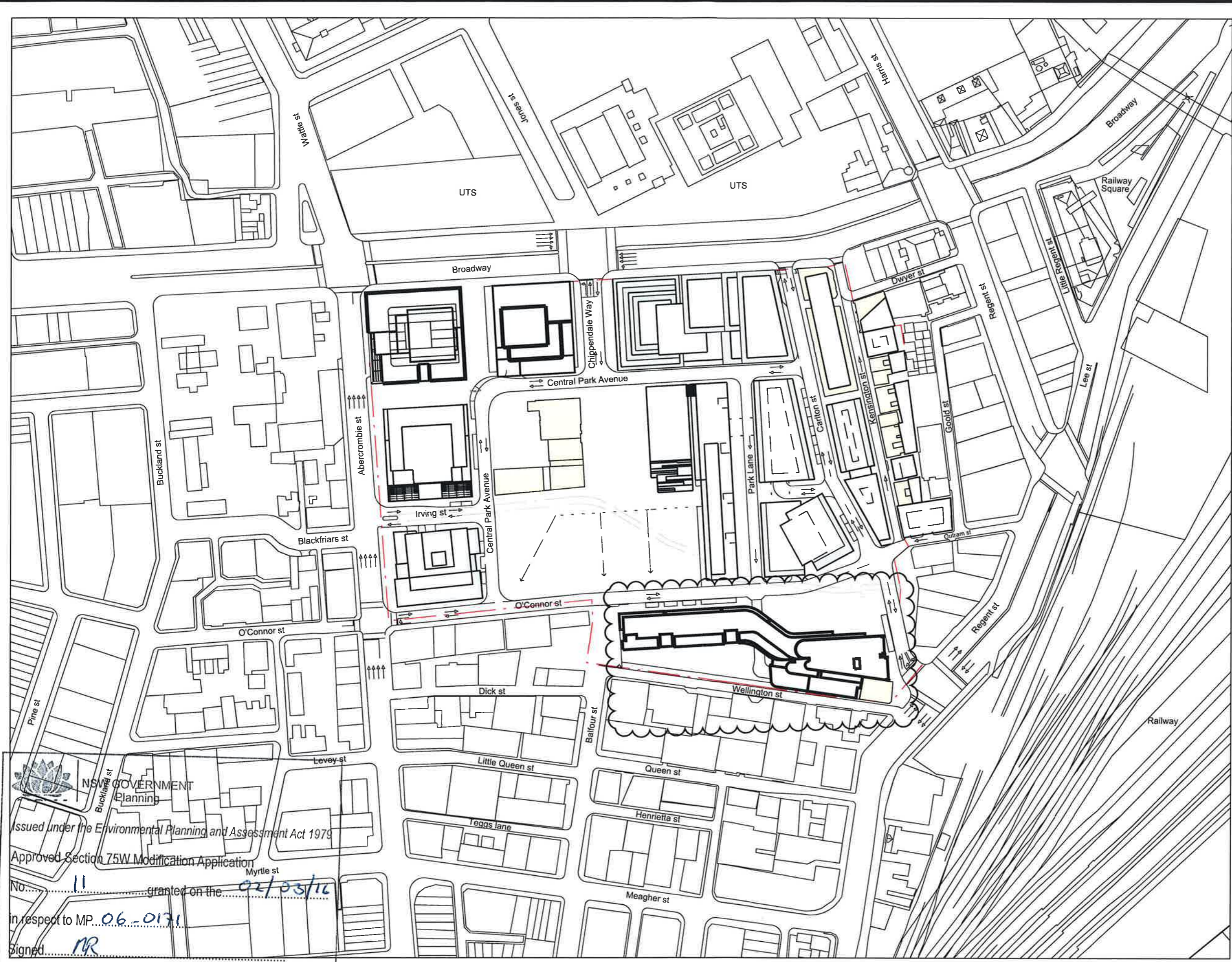
Approved Section 75W Modification Application

No. 11 granted on the 02/05/16

in respect to MP 06-0171

Signed NR

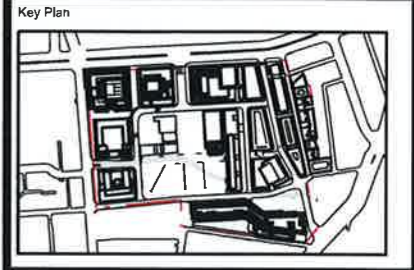
Sheet No. 2 of 23



General Notes

1. Do not scale drawings. Dimensions govern.
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3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	CK
10	11/12/09	Amended Street Names	
09	04/12/08	Submission DoP	
08	15/10/08	Submission DoP	
07	14/10/08	Submission DoP	
06	27/05/08	Submission amended DoP	
05	15/05/08	Submission DoP	
04	07/05/08	Submission amended CP	
15	12/08/15	S75W Amendments (MOD 11) Rev.	RP
14	28/11/14	S75W Amendments (MOD 11)	RP
13	10/11/14	S75W Amendments (MOD 10)	RP
12	23/01/14	S75W Amendments (MOD 9)	RP
11	19/11/11	S75W Amendments (MOD 8)	RP



Notes

	Heritage Buildings
	Proposed Buildings
	Balcony Zone/ Articulated Facade Zone
	Development Boundary

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
T: 02 8523 8800 F: 02 8623 8801

Foster + Partners

Riverside, 22 Hester Road
London SW11 4AN
T +44 (0)20 7738 0455
F +44 (0)20 7738 1107

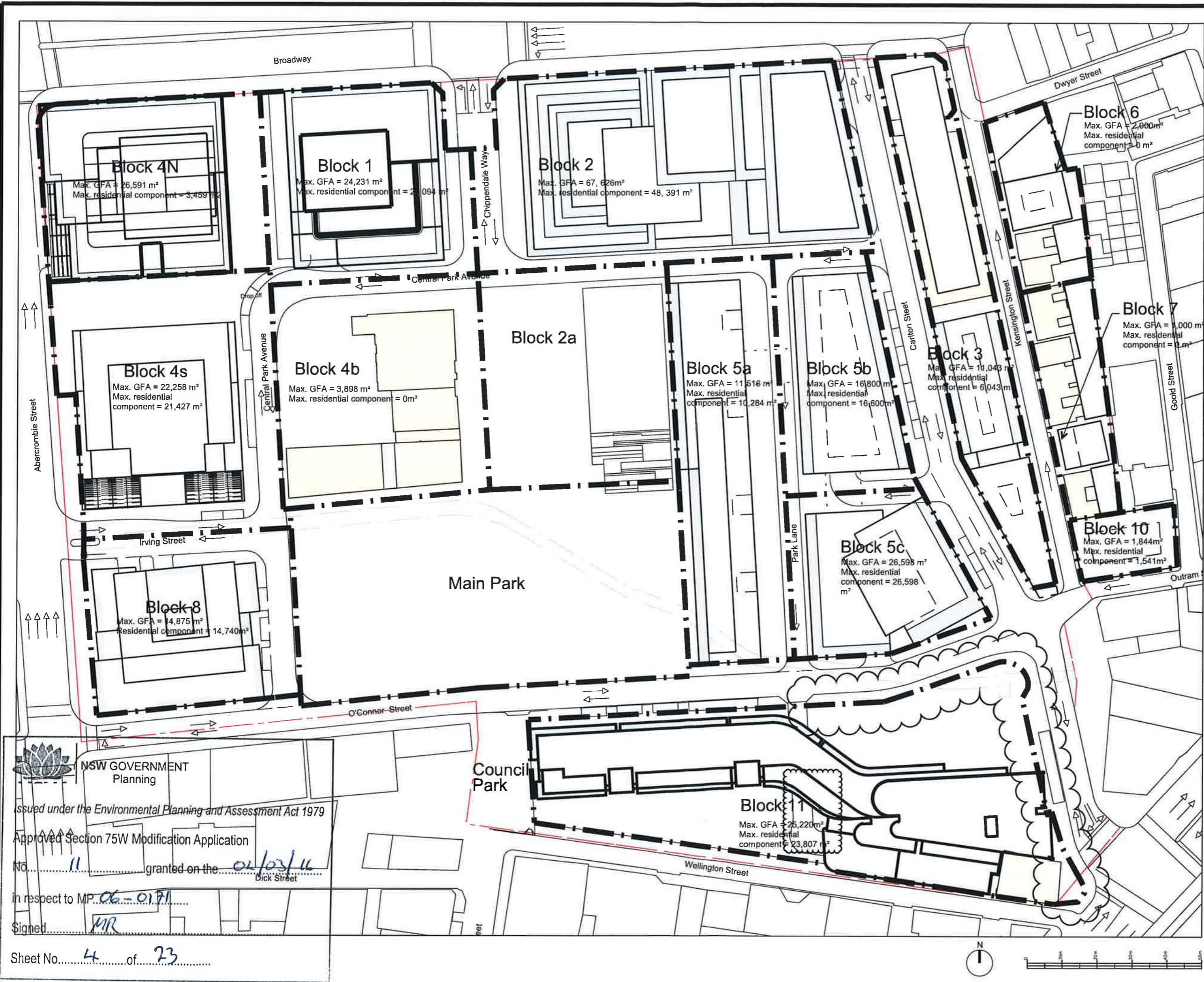
Title
**Concept Plan
Site Plan - contextual**

Project No.	Scale @ A3	Date	Drawn By
1645	1:2000	14/03/08	
Number	Revision		
A-1251	15		

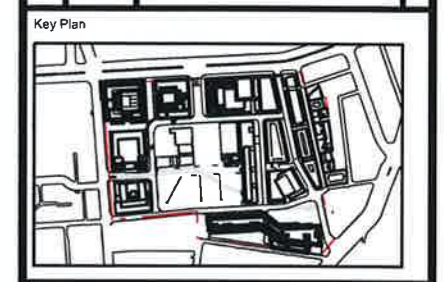
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No. 11 granted on the 02/03/16
in respect to MP 06-0171
Signed MR

Sheet No. 3 of 23





28	19/06/14	S75W amendments (MOD9)	RP
27	23/01/14	S75W Amendments (MOD 9)	RP
26	11/12/13	PAC RESPONSE	RP
25	18/09/13	S75 Amendments (MOD 8)	RP
24	09/09/13	S75 Amendments (MOD 8)	RP
23	05/09/13	S75 Amendments (MOD 8)	ML
22	11/02/13	S75 Amendments (MOD 8)	ML
21	01/02/13	S75 Amendments (MOD 8)	ML
20	31/01/13	S75 Amendments (MOD 8)	ML
19	19/12/12	S75W Amendments (MOD 8)	RP
18	19/12/12	S75W Amendments (MOD 8)	RP
17	25/10/12	Re-submission Amendments Concept Plan	RP
31	12/08/15	S75W Amendments (MOD 11) Rev	RP
30	28/11/14	S75W Amendments (MOD 11)	RP
29	10/11/04	S75W Amendments (MOD 10)	RP
Rev.	Date	Reason For Issue	Ck



Notes

	Heritage Buildings
	Proposed Buildings
	Balcony Zone/ Articulated Facade Zone
	Development Boundary
	Block Boundary

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 Foster + Partners shall be notified in writing of any discrepancies.

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Foster + Partners

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Title
**Concept Plan
 Blocks and max. GFA**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number		Revision	
A-1253		31	

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 Planning

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 No. 11 granted on the 02/03/14
 in respect to MP 06-0171
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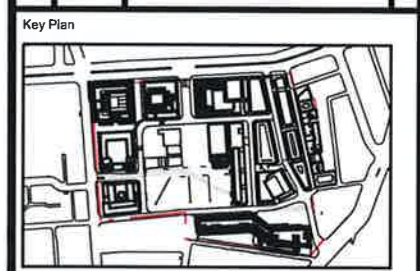
Sheet No. 4 of 23



General Notes

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Rev	Date	Reason For Issue	Ck
10	02/03/10	Updated Block Information	
09	16/10/08	Submission DoP	
07	14/10/08	Submission DoP	
06	27/05/08	Submission amended DoP	
05	15/05/08	Submission DoP	
17	12/08/15	S75W Amendments (MOD 11) Rev	RP
16	28/11/14	S75W Amendments (MOD 11)	RP
15	10/11/14	S75W Amendments (MOD 10)	RP
14	23/01/14	S75W Amendments (MOD 9)	RP
13	19/12/12	S75W Amendments (MOD 8)	RP
12	19/12/12	S75W Amendments (MOD 8)	RP
11	19/12/12	S75W Amendments (MOD 8)	RP



Notes

[Green Area]	Public open space / Park
[Grey Area]	Public Street Reservation: Footpaths, Street parking, Roadways, Shared ways
[Light Green Area]	Publicly Accessible Open space
[Blue Area]	Publicly Accessible Throughway
[Dark Blue Area]	Publicly Accessible Road
[Hatched Area]	Public Landscaped Area
[Red Line]	Development Boundary
[White Area]	Private Land
1	Area Identification

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Title
**Concept Plan
Public Domain**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1254	17		

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Planning

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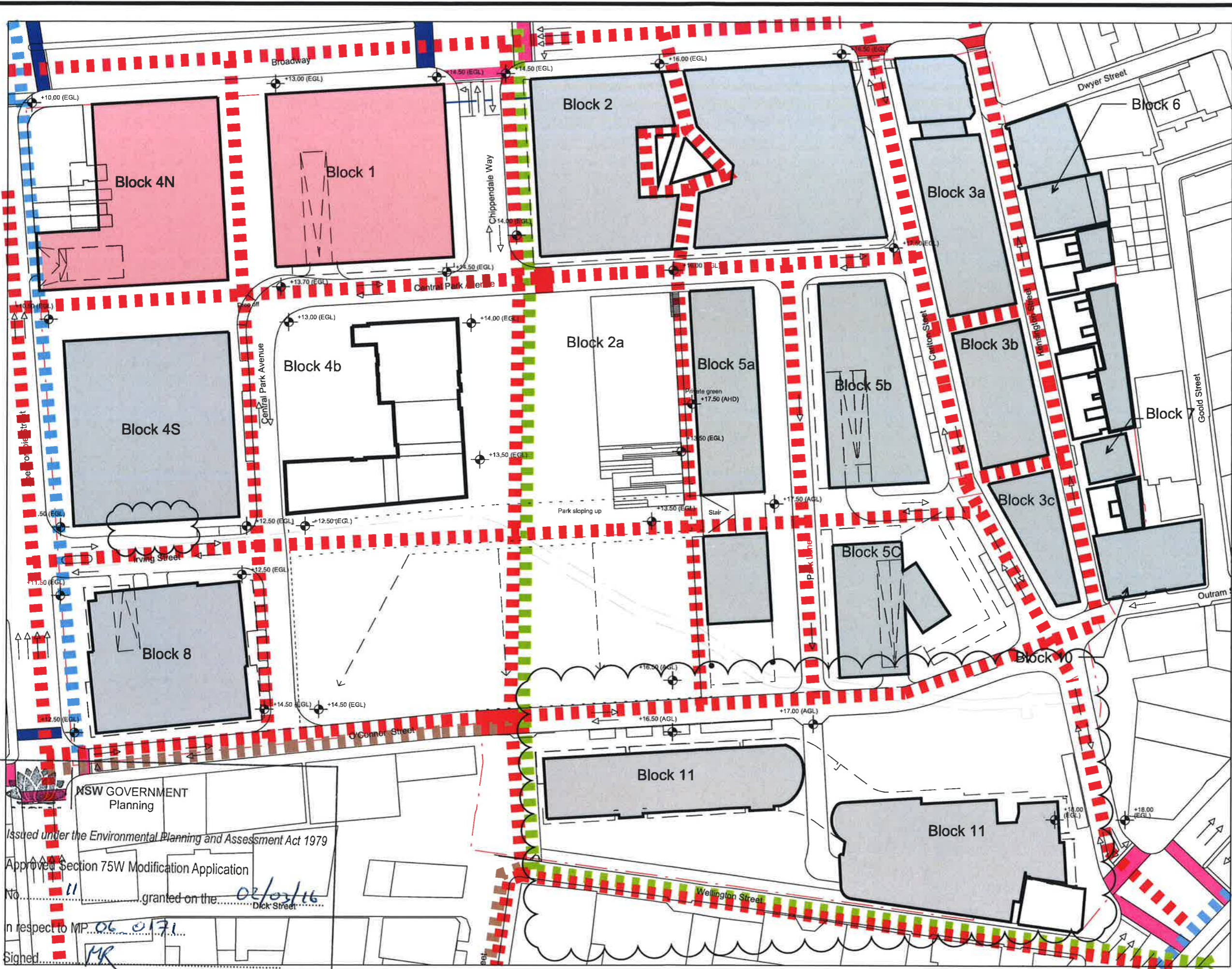
Approved Section 75W Modification Application

No. 11 granted on the 02/03/16

in respect to MP 06-0171

Signed MR

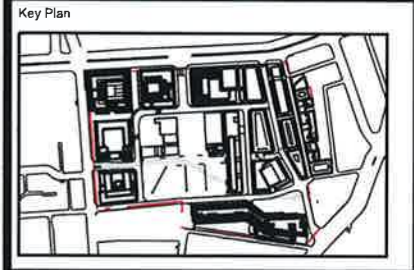
Sheet No. 5 of 23



General Notes

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- All dimensions shall be verified on site before proceeding work.
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Rev.	Date	Reason For Issue	By
09	19/12/12	S75W Amendments (MOD 8)	RP
08	16/10/08	Submission DoP	
07	15/10/08	Submission DoP	
06	14/10/08	Submission DoP	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	07/05/08	Submission amended CP	
14	12/08/15	S75W Amendments (MOD 11) Rev.	RP
13	28/11/14	S75W Amendments (MOD 11)	RP
12	10/11/14	S75W Amendments (MOD 10)	RP
11	23/01/14	S75W Amendments (MOD 9)	RP
10	22/05/13	SSDA Comments	



Notes

	Proposed off-road/ shared paths
	Proposed city council cycle route 20
	Proposed shared traffic lane
	Main Pedestrian Way
	Existing Controlled Pedestrian Crossing
	New Controlled Pedestrian Crossing
	Uncontrolled Pedestrian Crossing
	Raised levels for flood defence
	Possible pedestrian link



FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Foster + Partners

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T +44 (0)20 7738 0455
F +44 (0)20 7738 1107

Title
**Concept Plan
Traffic
Pedestrian and Cycle Routes**

Project No.	Scale	Date	Drawn By
1645	A3 1:1000	14/03/08	
Number	Revision		
A-1256	14		

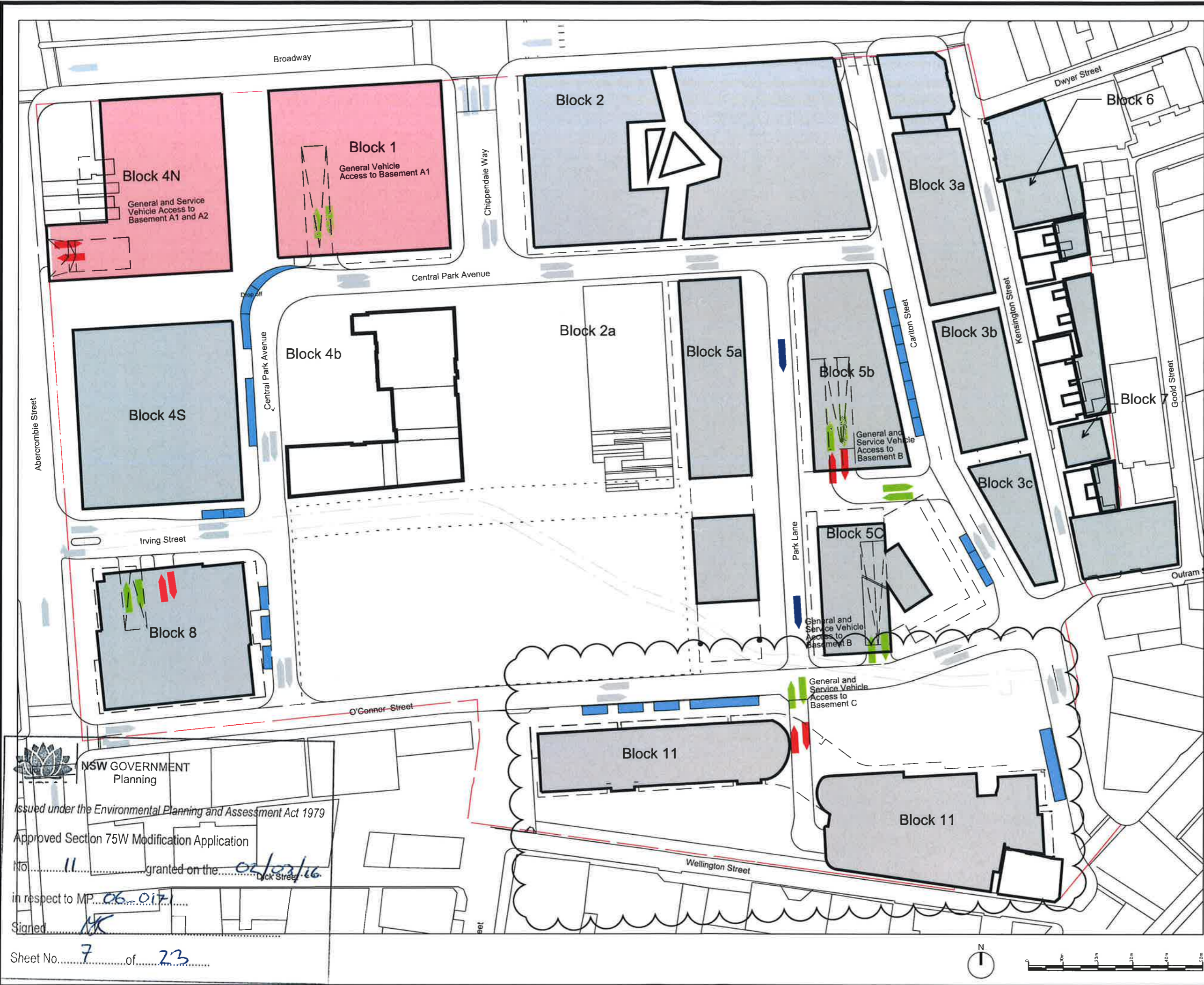
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Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application
No. 11 granted on the 02/03/16
in respect to MP 06 0171
Signed: MK

Sheet No. 6 of 23





General Notes

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2. All dimensions are in meters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	ck
11	14/05/13	SSDA Comments	
10	19/12/12	S75W Amendments (MOD 8)	RP
09	19/12/12	S75W Amendments (MOD 8)	RP
08	11/12/09	Amended Street Names	
07	15/10/08	Submission DoP	
06	14/10/08	Submission DoP	
17	12/08/15	S75W Amendments (MOD 11) Rev	RP
16	28/11/14	S75W Amendments (MOD 11)	RP
15	10/11/14	S75W Amendments (MOD 10)	RP
14	23/01/14	S75W Amendments (MOD 9)	RP
13	23/05/13	Clouds Added	
12	20/05/13	SSDA Comments	



Notes

	Drop Off
	General Vehicle Access
	Service Vehicle Access
	Drop Off and Taxi only
	Traffic Direction
	Residential only
	Parking lots
	Development boundary

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
T: 02 8823 8800 F: 02 8823 8801

Foster + Partners

Riverside, 22 Hester Road
London SW11 4AN
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F +44 (0)20 7738 1107

Title
Concept Plan
Traffic
Access, Parking

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	31/03/08	
Number	Revision		
A-1257	17		

NSW GOVERNMENT
Planning

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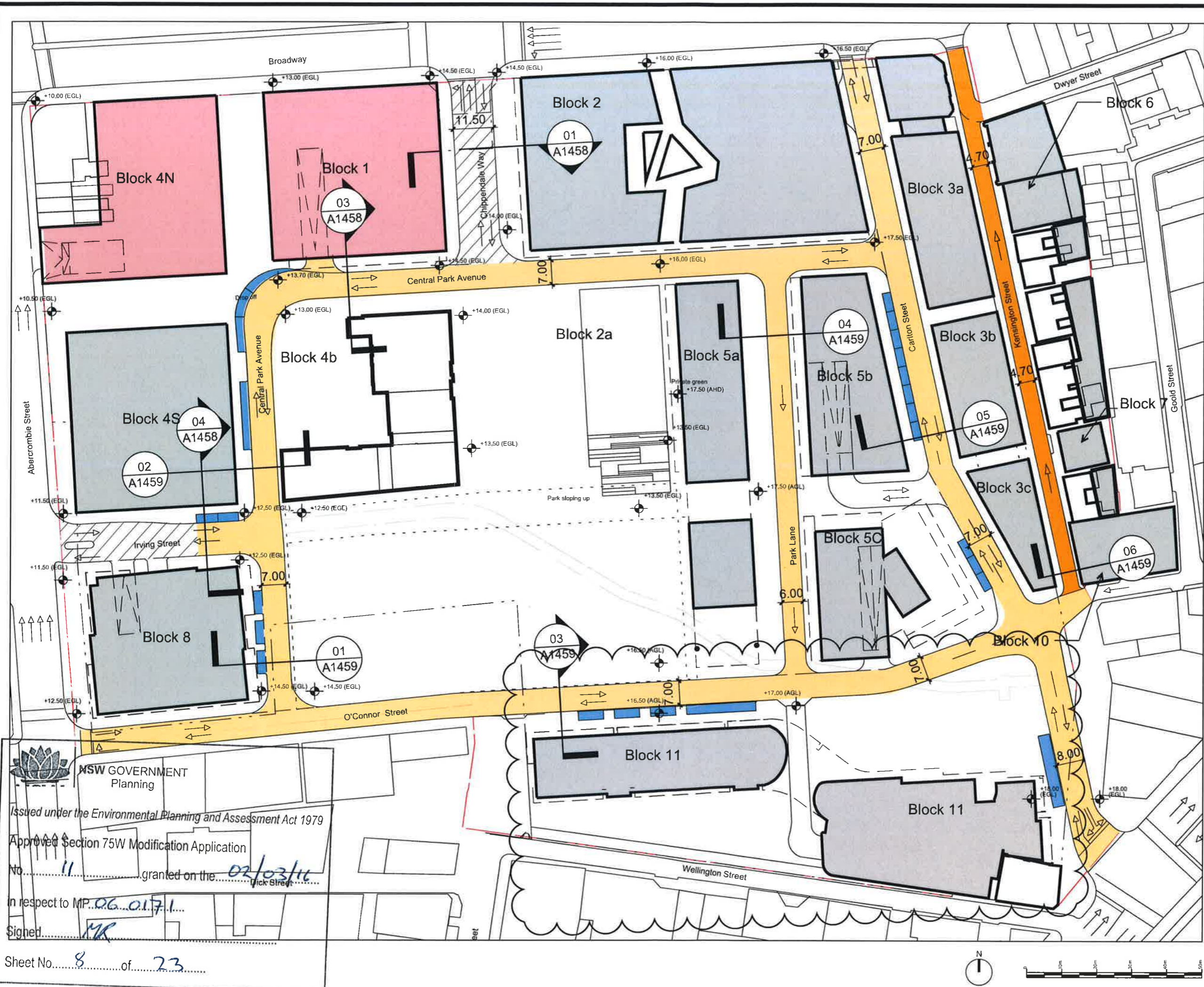
Approved Section 75W Modification Application

No. 11 granted on the 02/03/16

in respect to MP 06-017

Signed *[Signature]*

Sheet No. 7 of 23



- General Notes
 1. Do not scale drawings. Dimensions govern.
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Rev.	Date	Reason For Issue	CK
10	19/12/12	S75W Amendments (MOD 8)	RP
09	19/12/12	S75W Amendments (MOD 8)	RP
08	16/10/08	Submission DoP	
07	15/10/08	Submission DoP	
06	14/10/08	Submission DoP	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
15	12/09/15	S75W Amendments (MOD 11) Rev	RP
14	28/11/14	S75W Amendments (MOD 11)	RP
13	10/11/14	S75W Amendments (MOD 10)	RP
12	23/01/14	S75W Amendments (MOD 9)	RP
11	24/01/13	MP06_0171 S75W MOD 8 Clarifications	ML



Notes

	Minor Streets, Low Traffic, 6m Wide
	Minor Streets, Low Traffic, < 6m
	Streets 7-8m Wide
	Streets 8-15m Wide
	Parking lots
	Site boundary
	Development boundary

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Foster + Partners

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London SW11 4AN
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Title
 Concept Plan
 Road Width

Project No. 1645	Scale @ A3 1:1000	Date 19/03/08	Drawn By
Number A-1258	Revision 15		

NSW GOVERNMENT
 Planning

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Approved Section 75W Modification Application

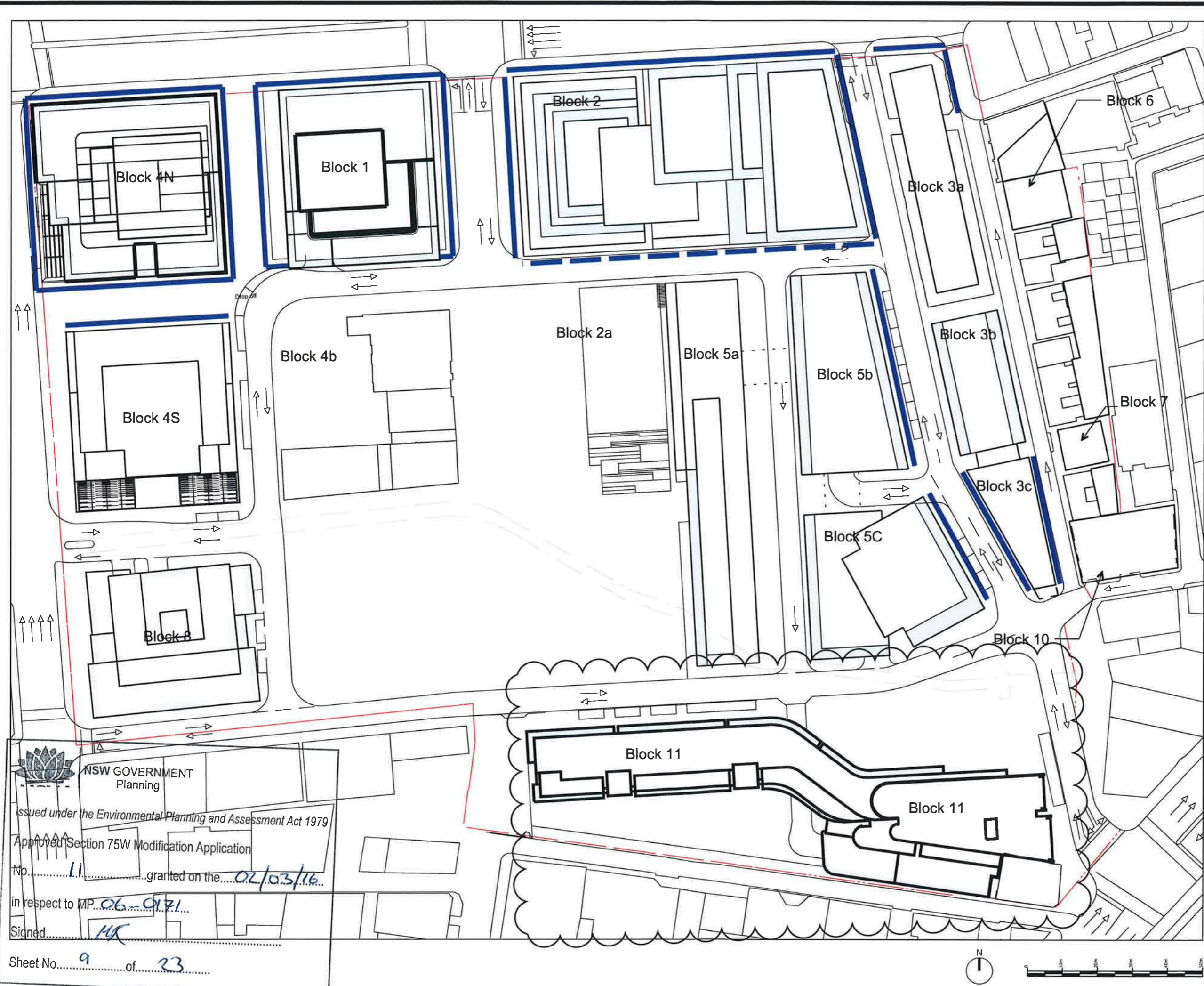
No. 11 granted on the 02/03/16

In respect to MP 06.0171

Signed: *[Signature]*

Sheet No. 8 of 23

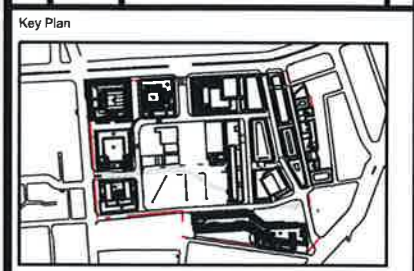




General Notes

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Rev.	Date	Reason For Issue	Ck
09	19/12/12	S75W Amendments (MOD 8)	RP
08	04/12/08	Submission DoP	
07	15/10/08	Submission DoP	
06	14/10/08	Submission DoP	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	07/05/08	Submission amended CP	
02	30/04/08	Submission amended CP	
13	12/08/15	S75W Amendments (MOD 11) Rev.	RP
12	28/11/14	S75W Amendments (MOD 11)	RP
11	10/11/14	S75W Amendments (MOD 10)	RP
10	23/01/14	S75W Amendments (MOD 9)	RP



Notes

	Awnings
	Arcade
	Balcony zone/ Articulated facade zone
	Maximum building envelope
	Development boundary

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
T: 02 8823 8800 F: 02 8823 8801

Foster + Partners

Riverside, 22 Hester Road
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Title
**Concept Plan
Awnings, Balconies**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1259	13		

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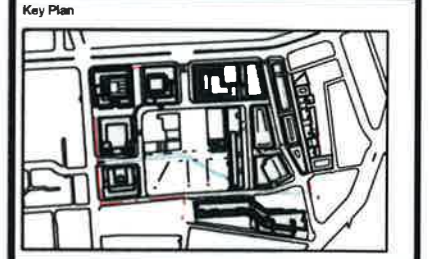
in respect to MP 06-0171

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Sheet No. 9 of 23



13	18/12/12	S75W Amendments (MOD 8)	RP
12	28/06/12	for information	RP
11	04/12/08	Submission DoP	
10	17/10/08	Submission DoP	
09	16/10/08	Submission DoP	
07	15/10/08	Submission DoP	
06	14/10/08	Submission DoP	
06	04/07/08	Submission DoP, Block 3+10 amended	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
18	10/11/15	S75W Amendments (MOD 11) B11 Rev.	RP
17	12/06/15	S75W Amendments (MOD 11) Rev.	RP
16	28/11/14	S75W Amendments (MOD 11)	RP
15	10/11/14	S75W Amendments (MOD 10)	RP
14	23/01/14	S75W Amendments (MOD 9)	RP
Rev.	Date	Reason For Issue	Ck



Notes

- Street boundary height - Eaves height (AHD)
- Additional roof elements such as plant rooms, balustrades, antennas etc. are only permitted within a 30° angle measured from eaves line to avoid increased shadow, to prevent a cluttered skyline
- Indicative Building Development
- Indicative Roof Plant
- Development boundary

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FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
T: 02 8823 6800 F: 02 8823 6801

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Riverside, 22 Hester Road
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Title
**Concept Plan
Height Map - Sheet 1**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	19/03/08	
Number		Revision	
A-1260		18	

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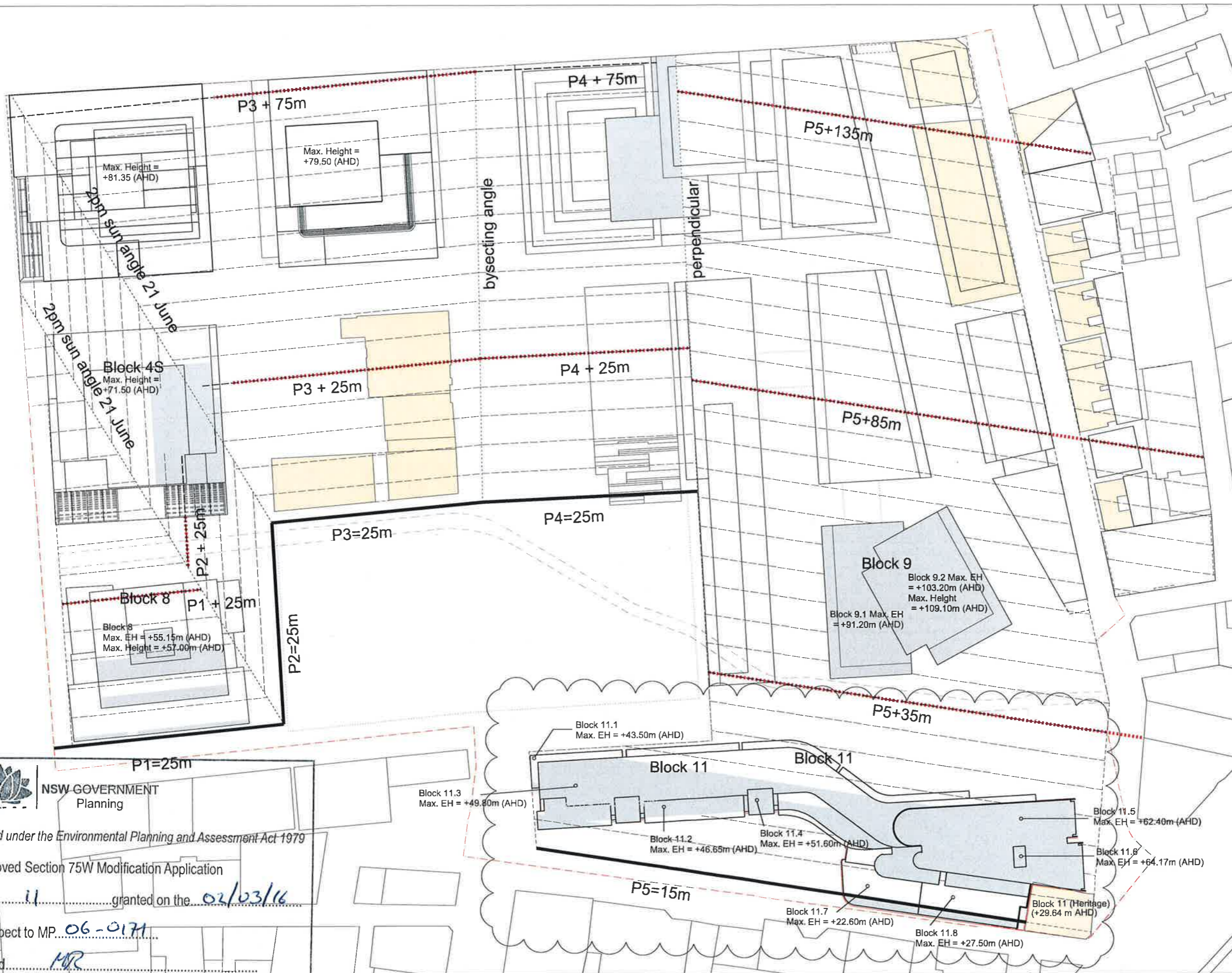
Approved Section 75W Modification Application

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in respect to MP 06-0171

Signed [Signature]

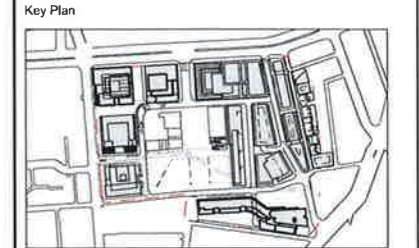
Sheet No. 10 of 23



General Notes

1. Do not scale drawings. Dimensions govern.
2. All dimensions are in meters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	Ck
10	10/11/14	S75W Amendments (MOD 10)	RP
09	23/01/14	S75W Amendments (MOD 9)	RP
08	19/12/12	S75W Amendments (MOD 8)	RP
07	04/12/08	Submission DoP	
06	14/10/08	Submission DoP	
05	04/08/08	Submission DoP - Solar Planes	
04	27/05/08	Submission amended DoP	
03	15/05/08	Submission DoP	
02	30/04/08	Submission amended CP	
01	21/04/08	Submission amended concept plan	
00	07/04/08	Final coordination	
11	24/11/14	S75W Amendments (MOD 11)	RP



Notes

- P1 - P5 Sun access plane datum
- - - Height contour - permitted building height in meter
- - - Development boundary
- Heritage Buildings
- Building Parts exceeding sun access plane

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Title
**Concept Plan
Height Map - Sheet 2**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	19/03/08	
Number	Revision		
A-1261	11		

NSW GOVERNMENT
Planning

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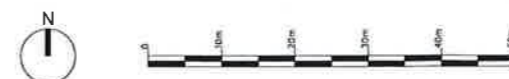
Approved Section 75W Modification Application

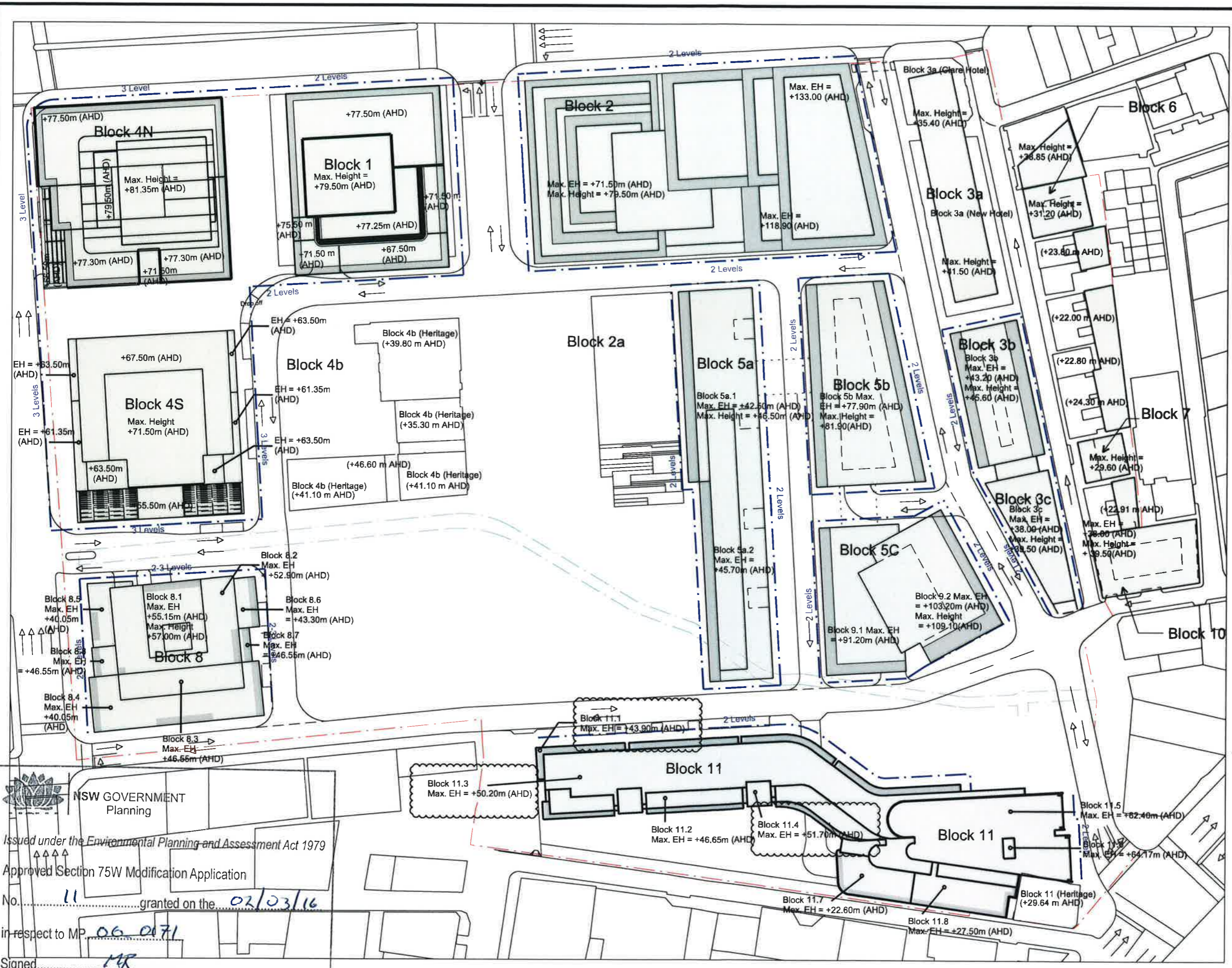
No. 11 granted on the 02/03/16

in respect to MP 06-0171

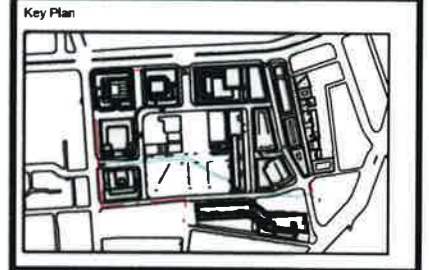
Signed MR

Sheet No. 11 of 23





Rev.	Date	Reason For Issue	CK
12	26/06/12	For Information	RP
11	05/05/09	Submission DoP - Condition A9	RP
10	04/12/08	Submission DoP	
09	17/10/08	Submission DoP	
08	15/10/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/07/08	Submission DoP, Block 3+10 amended	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
18	10/11/15	S75W Amendments (MOD 11) B11 Rev.	RP
17	12/08/15	S75W Amendments (MOD 11) Rev.	RP
16	28/11/14	S75W Amendments (MOD 11)	RP
15	10/11/14	S75W Amendments (MOD 10)	RP
14	23/01/14	S75W Amendments (MOD 9)	RP
13	19/12/12	S75W Amendments (MOD 8)	RP



Notes

max. EH	Maximum eaves height zone
[Shaded Area]	Balcony Zone/ Articulated Facade Zone
[Red Line]	Development boundary
[Dotted Line]	Roof
[Blue Line]	City Datum Zone
[Blue Line]	The Datum Line should match surrounding building heights.
[Blue Line]	I.e. Block 2 > height existing gate - approx. 2 floors (as discussed at the workshop in London and in the following VC in March)
[Blue Line]	Block 1-4 > height of the Australian Hotel.
EH	External Height
AHD	Australian Height Datum
[Dotted Line]	Possible building connection
[Dashed Line]	Indicative Roof Plant
[Blue Line]	Indicative Building Development

General Notes

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FRASERS PROPERTY

Project: Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client: Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Title: **Concept Plan Roof Plan Maximum Building Height (AHD)**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1262	18		

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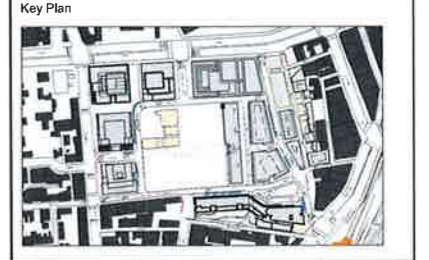
Signed MR

Sheet No. 12 of 23



General Notes
 1. Do not scale drawings. Dimensions govern.
 2. All dimensions are in meters unless noted otherwise.
 3. All dimensions shall be verified on site before proceeding work.
 4. Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	Ck
09	19/12/12	S75W Amendments (MOD 8)	RP
08	16/10/08	Submission DoP	
07	14/10/08	Submission DoP	
06	13/06/08	Submission amended DoP	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	30/04/08	Submission amended CP	
02	22/04/08	Revised submission CP	
01	21/04/08	Submission amended concept plan	
12	03/12/14	S75W Amendments (MOD 11)	RP
11	10/11/14	S75W Amendments (MOD 10)	RP
10	23/01/14	S75W Amendments (MOD 9)	RP



Notes

General basement	
Plant rooms	
Existing basement	
Lower groundfloor public area with retail	
Development boundary	
B0 +13.9 m	Approximate heights to be confirmed during next planning stages
ED maxED	Excavation - approximate depths to be confirmed during next planning stages

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Project Frasers Broadway
 20 - 102 Broadway Sydney NSW 2000

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Title
Concept Plan
 Typical Basement Level

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1269	12		

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 Planning

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Sheet No. 13 of 23

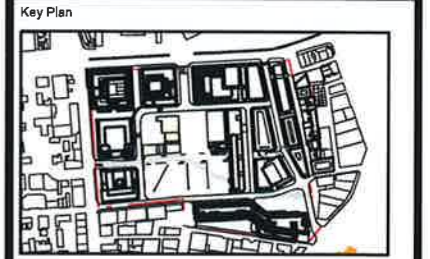




General Notes

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4. Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	CK
09	16/10/08	Submission DoP	
08	15/10/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/07/08	Submission DoP, Block 3+10 amended	
05	27/05/08	Submission amended DoP	
16	12/08/15	S75W Amendments (MOD 11) Rev.	RP
15	28/11/14	S75W Amendments (MOD 11)	RP
14	10/11/14	S75W Amendments (MOD 10)	RP
13	23/01/14	S75W Amendments (MOD 9)	RP
12	24/01/13	MP06_0171 S75W MOD 8 Clarifications	ML
11	19/12/12	S75W Amendments (MOD 8)	RP
10	29/07/12	For Information	RP



Notes

	Retail Zone
	Residential Zone
	Commercial Zone
	Development Boundary

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Title
**Concept Plan
Indicative Land Use
Groundfloor**

Project No. 1645	Scale @ A3 1:1000	Date 14/03/08	Drawn By
Number A-1270	Revision 16		

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Planning

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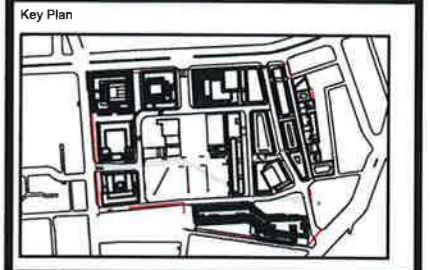
Sheet No. 14 of 23



REVISIONS

- Do not scale drawings. Dimensions govern.
- All dimensions are in meters unless noted otherwise.
- All dimensions shall be verified on site before proceeding work.
- Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	By
09	04/12/08	Submission DoP	
08	15/10/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/07/08	Submission DoP, Block 3+10 amended	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
15	12/08/15	S75W Amendments (MOD 11) Rev.	RP
14	28/11/14	S75W Amendments (MOD 11)	RP
13	10/11/14	S75W Amendments (MOD 10)	RP
12	23/01/14	S75W Amendments (MOD 9)	RP
11	24/01/13	MP06_0171 S75W MOD 8 Clarifications	ML
10	18/12/12	S75W Amendments (MOD 8)	RP



Notes

	Residential Zone
	Commercial Zone
	Balcony Zone/ Articulated Facade Zone
	Development Boundary
	Indicative Building Development

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Project Frasers Broadway
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Title
**Concept Plan
Indicative Land Use
Typical floor**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1274	15		

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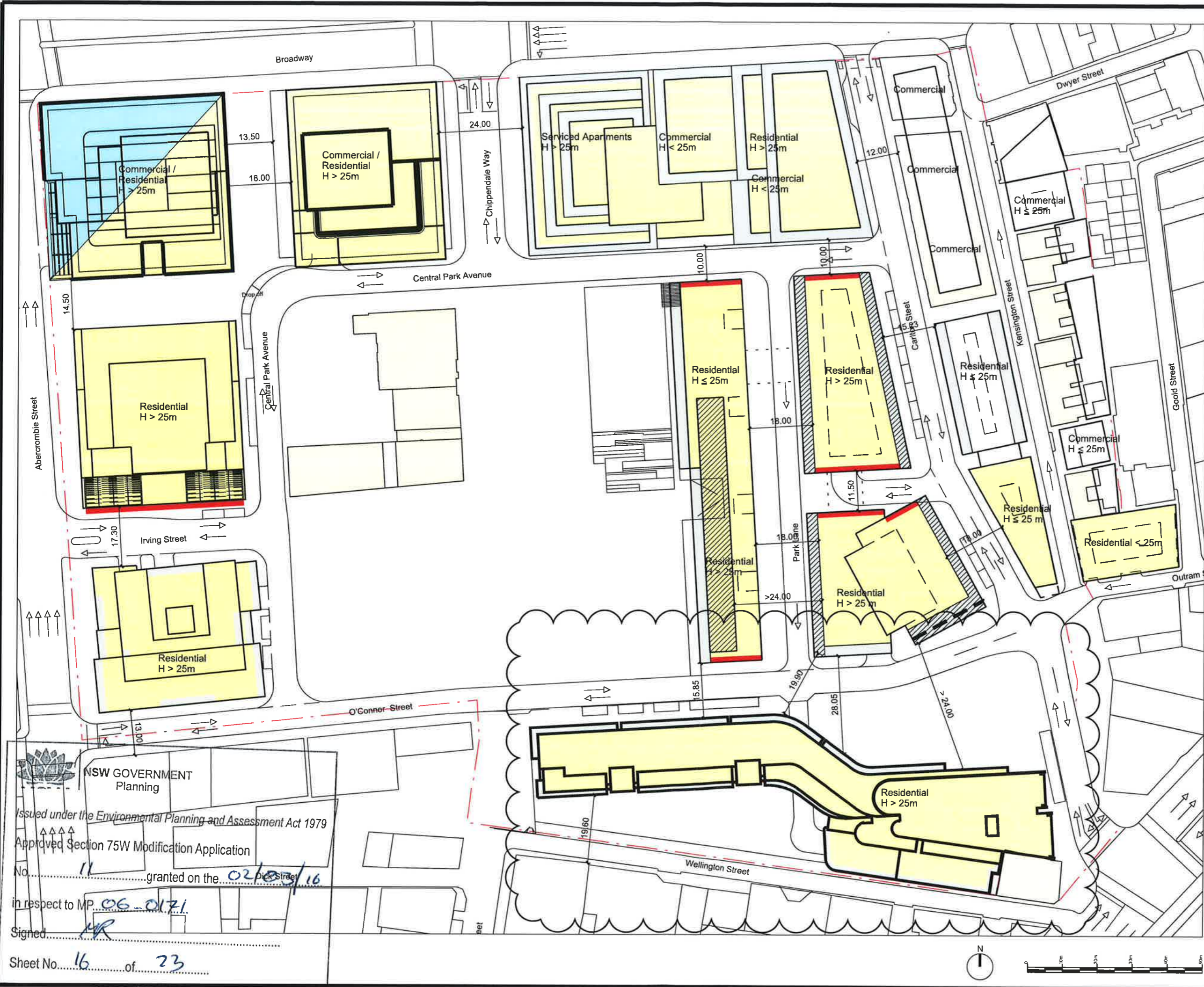
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No. 11 granted on the 02/03/16

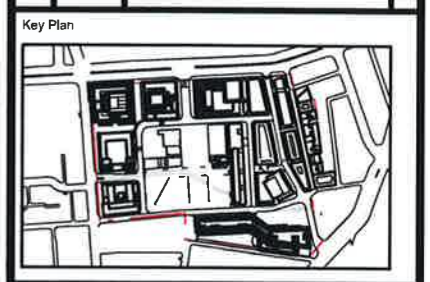
in respect to MP 06_0171

Signed MR

Sheet No. 15 of 23



Rev.	Date	Reason For Issue	CK
12	14/05/13	SSDA Comments	
11	19/12/12	S75W Amendments (MOD 6)	RP
10	04/12/08	Submission DoP	
09	16/10/08	Submission DoP	
08	15/10/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/07/08	Submission DoP, Block 3+10 amended	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
18	12/08/15	S75W Amendments (MOD 11) Rev.	RP
17	28/11/14	S75W Amendments (MOD 11)	RP
16	10/11/14	S75W Amendments (MOD 10)	RP
15	23/01/14	S75W Amendments (MOD 9)	RP
14	23/05/13	Clouids Added	
13	20/05/13	SSDA Comments	



Notes

[Red outline]	Non Habitable Rooms
[Yellow fill]	Residential
[Light Blue fill]	Non Residential
[Light Yellow fill]	Heritage Buildings
[Hatched fill]	Residential above 25m
[Dashed line]	Indicative Building Development
[Dotted line]	Possible Building Link
[Blue outline]	Maximum building envelope
[Pink fill]	Retail Zone

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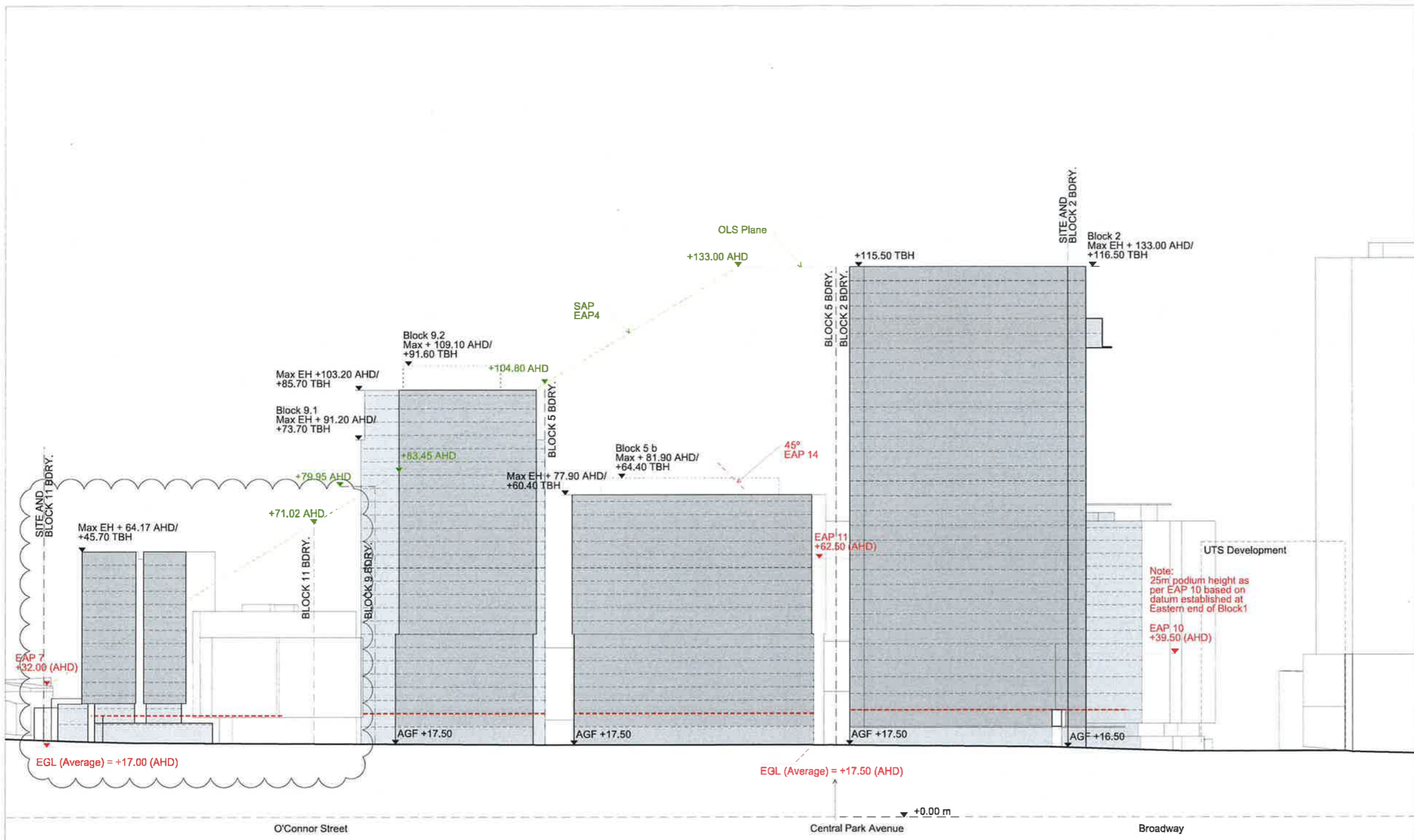
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 Project Frasers Broadway
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 Client Frasers Broadway
 L11, 488 Kent Street Sydney NSW 2000
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Title
Concept Plan
 Residential Flat Design Code
 Distances between Buildings

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1290	18		

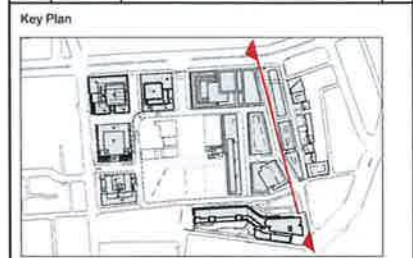
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 in respect to MP 06-0171
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 Sheet No. 16 of 23



General Notes

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Rev.	Date	Reason For Issue	Ck
09	03/12/14	S75W Amendments (MOD 11)	RP
08	10/11/14	S75W Amendments (MOD 10)	RP
07	23/01/14	S75W Amendments (MOD 9)	RP
06	14/10/08	Submission DoP	
05	04/09/08	Submission DoP - Solar Planes	
04	27/05/08	Submission amended DoP	
03	15/05/08	Submission DoP	
02	30/04/08	Submission amended CP	
01	21/04/08	Submission amended concept plan	
00	07/04/08	Final coordination	
-	31/03/08	For information (90% issue)	
-	19/03/08	For information (80% issue)	
-	14/03/08	For information (40% issue)	



Notes

Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
FRL	Finished Roof Level
AHD	Street Wall Height in Relation to Existing Ground Level
---	Datum Line
	All Heights in AHD (unless noted otherwise)
TBH	Total Building Height approx. only / depending on site level
	Proposed Building
	Balcony/ Articulated Facade Zone
	Possible Service Zone
	Maximum Building Envelope
	Roof Feature Permissible as long as Minimum Sun Requirement for Park is met
SAP	Sun access plane
EGL	Existing ground level as surveyed

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

UTS Development

Note: 25m podium height as per EAP 10 based on datum established at Eastern end of Block 1

EAP 10 +39.50 (AHD)

FRASERS PROPERTY

Project: Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client: Frasers Broadway
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Title
**Concept Plan
East Elevation**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1401	09		

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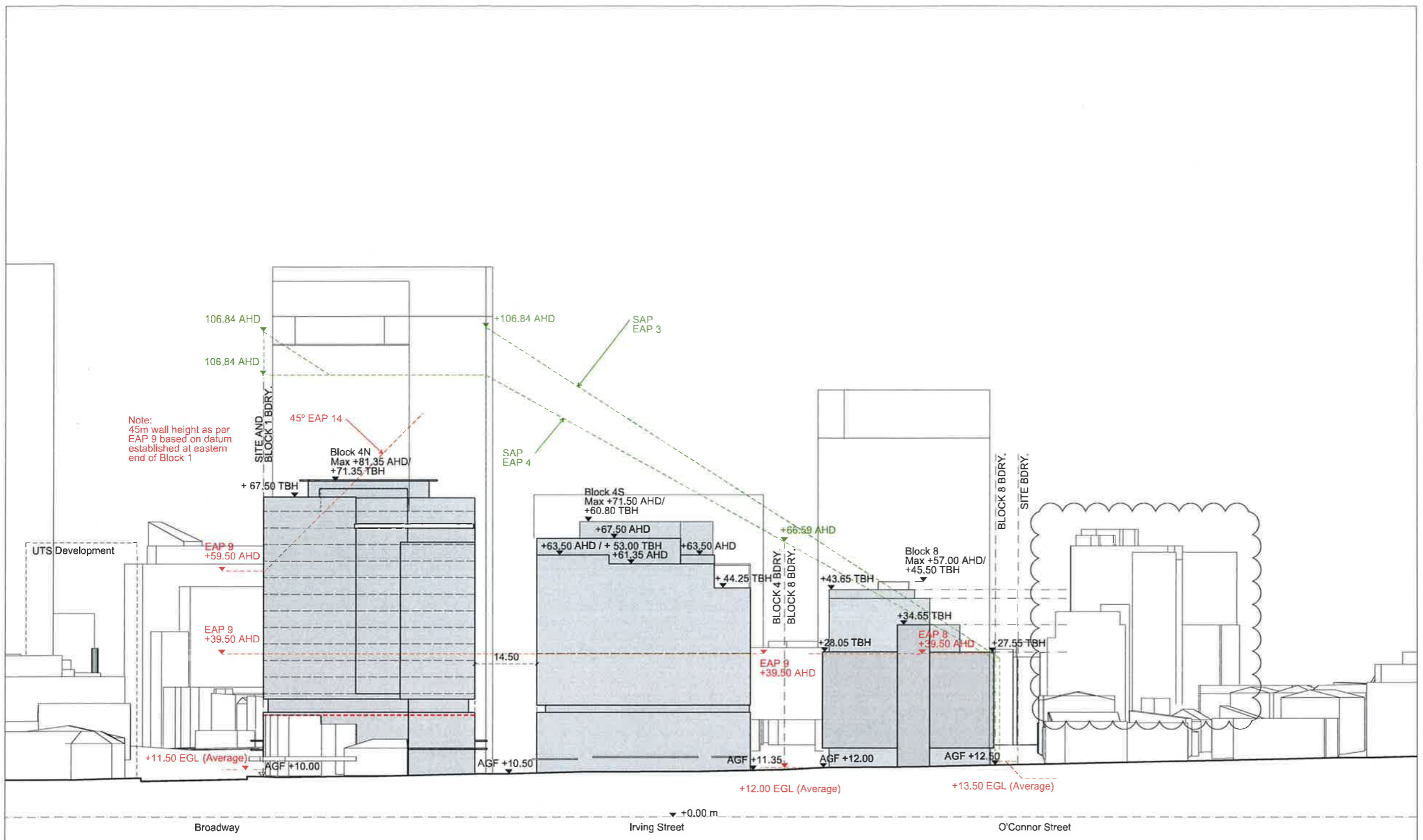
No. 11 granted on the 02/03/16

in respect to MP. 06-0171

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01 East Elevation
Sheet No. 17 of 23

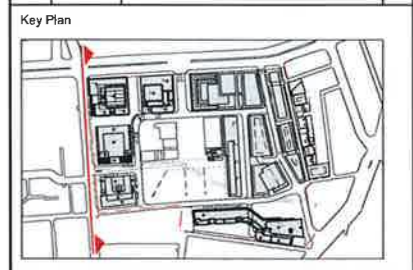




General Notes

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Rev.	Date	Reason For Issue	Ck
09	05/05/09	Submission DoP - Condition A9	
08	04/12/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/09/08	Submission DoP - Solar Planes	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	07/05/08	Submission amended CP	
14	28/11/14	S75W Amendments (MOD 11)	RP
13	10/11/14	S75W Amendments (MOD 10)	RP
12	23/01/14	S75W Amendments (MOD 9)	RP
11	24/01/13	MP06_0171 S75W MOD 8 Clarifications	ML
10	19/12/12	S75W Amendments (MOD 8)	RP



Notes

Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
FRL	Finished Roof Level
AHD	Street Wall Height in Relation to Existing Ground Level
---	Datum Line
	All Heights in AHD (unless noted otherwise)
TBH	Total Building Height approx. only / depending on site level
	Proposed Building
	Balcony / Articulated Facade Zone
---	Possible Service Zone
---	Maximum Building Envelope
---	Roof Feature Permissible as long as Minimum Sun Requirement for Park is met
SAP	Sun access plane
EGL	Existing ground level as surveyed

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

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Project	Fraser's Broadway 20 - 102 Broadway Sydney NSW 2000
Client	Fraser's Broadway L11, 488 Kent Street Sydney NSW 2000 T: 02 8823 8800 F: 02 8823 8801

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Title	
Concept Plan West Elevation	

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1403			14

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Planning

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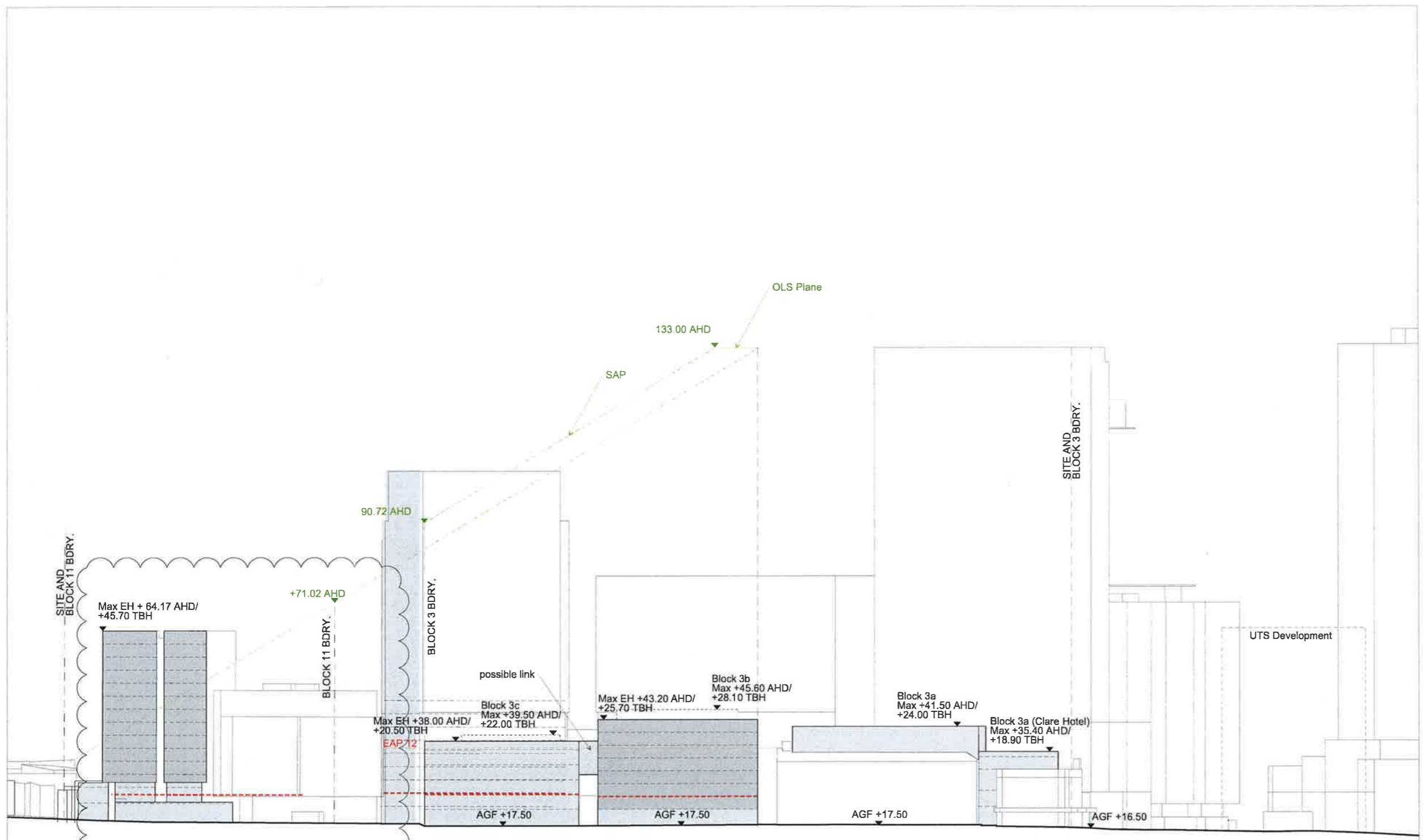
No. 11 granted on the 02/03/16

in respect to MP 06-0171

Signed MR

01 West Elevation
Sheet No. 18 of 23





General Notes

1. Do not scale drawings. Dimensions govern.
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Rev.	Date	Reason For Issue	Issue	Ck
04	28/11/14	S75W Amendments (MOD 11)	RP	
03	10/11/14	S75W Amendments (MOD 10)	RP	
02	23/01/14	S75W Amendments (MOD 9)	RP	
01	14/10/08	Submission DoP		
00	04/09/08	Submission DoP - Solar Planes		



Notes

Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
FRL	Finished Roof Level
AHD	Street Wall Height In Relation to Existing Ground Level
- - - - -	Datum Line
	All Heights in AHD (unless noted otherwise)
TBH	Total Building Height approx. only? depending on site level
	Proposed Building
	Balcony/ Articulated Facade Zone
	Possible Service Zone
	Maximum Building Envelope
	Roof Feature Permissible as long as Minimum Sun Requirement for Park is met
SAP	Sun access plane
EGL	Existing ground level as surveyed

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

FRASERS PROPERTY

Project: Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client: Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Title: **Concept Plan**
Kensington St - East Elevation

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	04/09/08	
Number	Revision		
A-1404	04		

NSW GOVERNMENT
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No. 11 granted on the 02/03/16

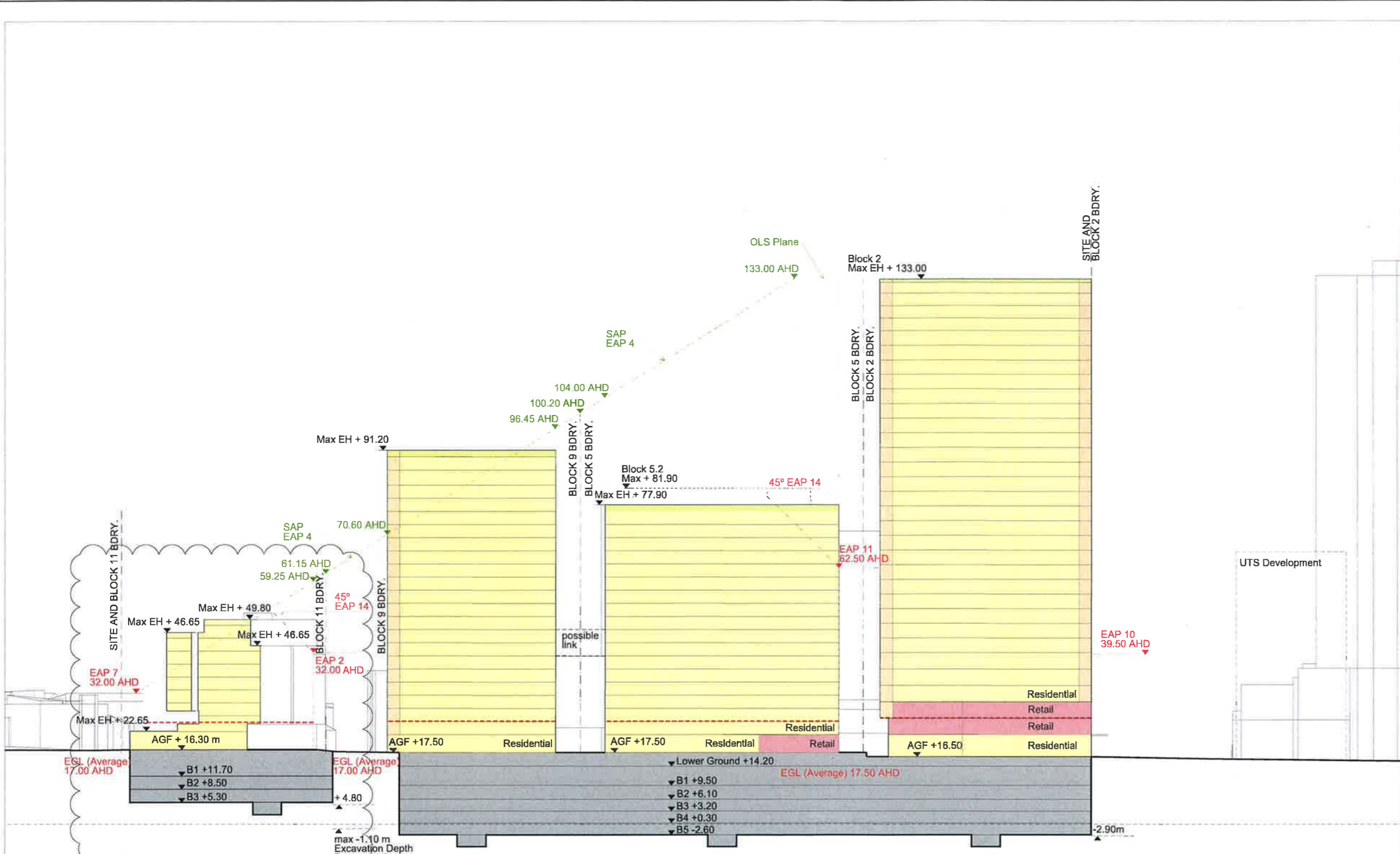
in respect to MP α_0171

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Sheet No. 19 of 23

Kensington St - East Elevation

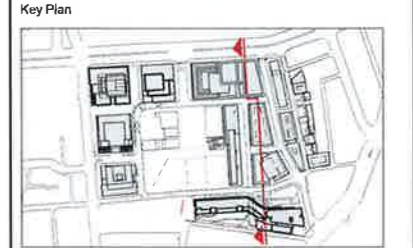




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Rev.	Date	Reason For Issue	Ck
09	16/10/08	Submission DoP	
08	15/10/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/09/08	Submission DoP - Solar Planes	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	30/04/08	Submission amended CP	
02	22/04/08	Revised submission CP	
01	21/04/08	Submission amended concept plan	
12	28/11/14	S75W Amendments (MOD 11)	RP
11	10/11/14	S75W Amendments (MOD 10)	RP
10	23/01/14	S75W Amendments (MOD 9)	RP



Notes

	Retail
	Residential
	Commercial
	Roof
	Basement
	Live and Work
	Possible Service Zone
	Balcony/ Articulated Facade Zone
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
	All Heights In AHD
AHD	Street Wall Height in Relation to Existing Ground Level
	Datum Line
	Maximum Building Envelope
	Roof Feature permissible as long as minimum sun requirement for park is met
BO 13.9 m	Approximate heights to be considered during next planning stages
ED maxED	= Excavation - approximate depths to be considered during next planning stages

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

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Title
**Concept Plan
Section 3**

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1453	12		

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Planning

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Approved Section 75W Modification Application

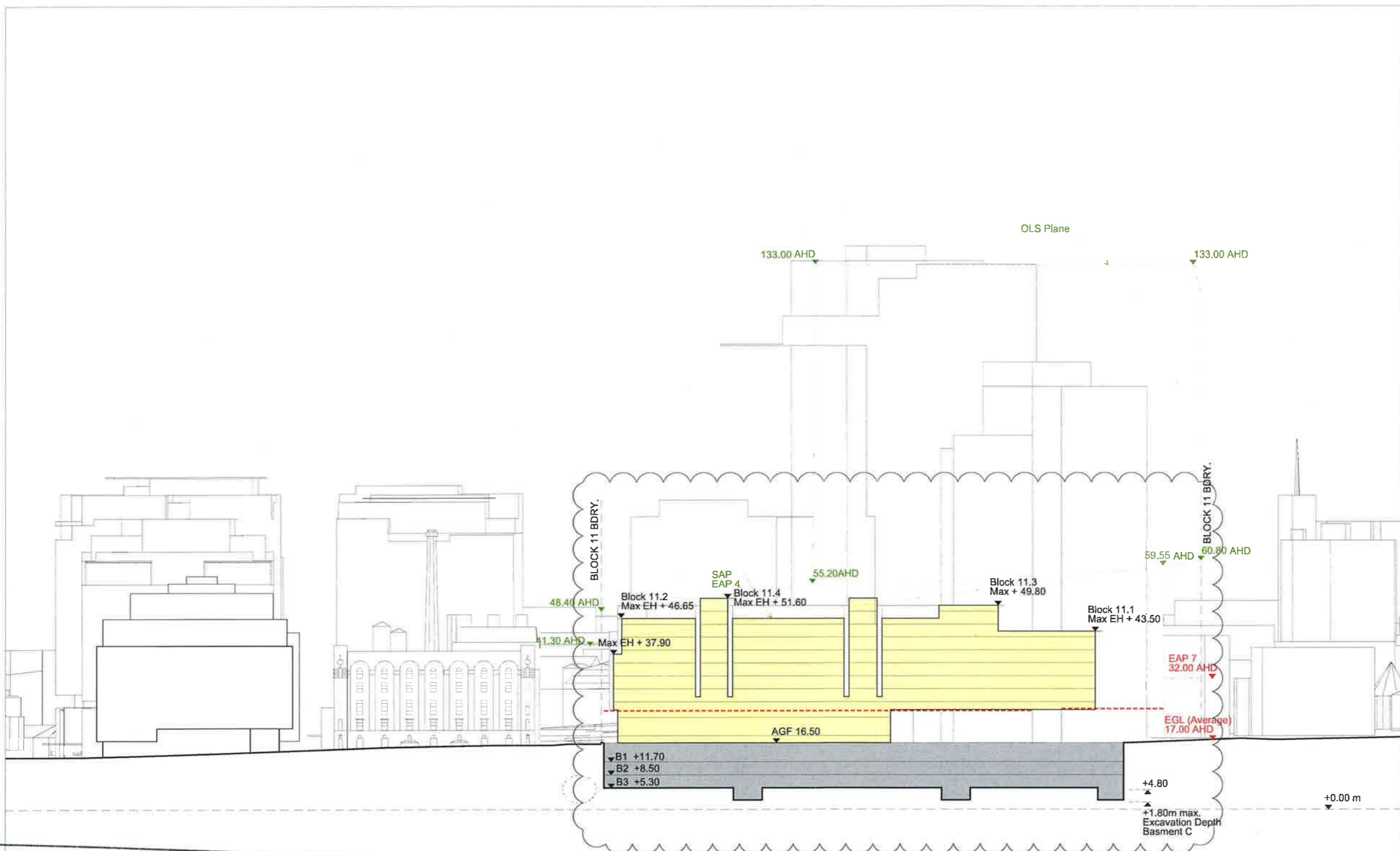
No. 11 granted on the 02/03/16

in respect to MP 06-0171

Signed MR

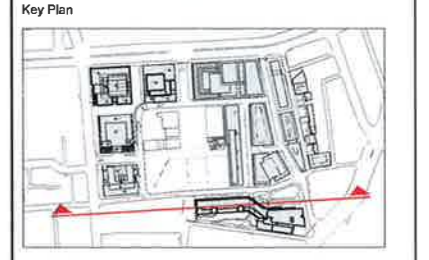
01 Section 03
Sheet No. 20 of 23





General Notes
 1. Do not scale drawings. Dimensions govern.
 2. All dimensions are in meters unless noted otherwise.
 3. All dimensions shall be verified on site before proceeding work.
 4. Foster + Partners shall be notified in writing of any discrepancies.

08	23/01/14	S75W Amendments (MOD 9)	RP
08	04/12/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/09/08	Submission DoP - Solar Planes	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	30/04/08	Submission amended CP	
02	22/04/08	Revised submission CP	
01	21/04/08	Submission amended concept plan	
00	07/04/08	Final coordination	
11	03/12/14	S75W Amendments (MOD 11)	RP
10	10/11/14	S75W Amendments (MOD 10)	RP
Rev.	Date	Reason For Issue	Ck



Notes

	Retail
	Residential
	Commercial
	Roof
	Basement
	Live and Work
	Possible Service Zone
	Balcony/ Articulated Facade Zone
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
	All Heights In AHD
AHD	Street Wall Height in Relation to Existing Ground Level
	Datum Line
	Maximum Building Envelope
	Roof Feature permissible as long as minimum sun requirement for park is met
BO 13.9 m	Approximate heights to be considered during next planning stages
ED	Excavation - approximate depths to be considered during next planning stages
maxED	
Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)	

FRASERS PROPERTY

Project Frasers Broadway
 20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
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Foster + Partners

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Title
**Concept Plan
 Section 7**

Project No. 1645	Scale @ A3 1:1000	Date 14/03/08	Drawn By
Number A-1457	Revision 11		

NSW GOVERNMENT Planning Central Park Avenue

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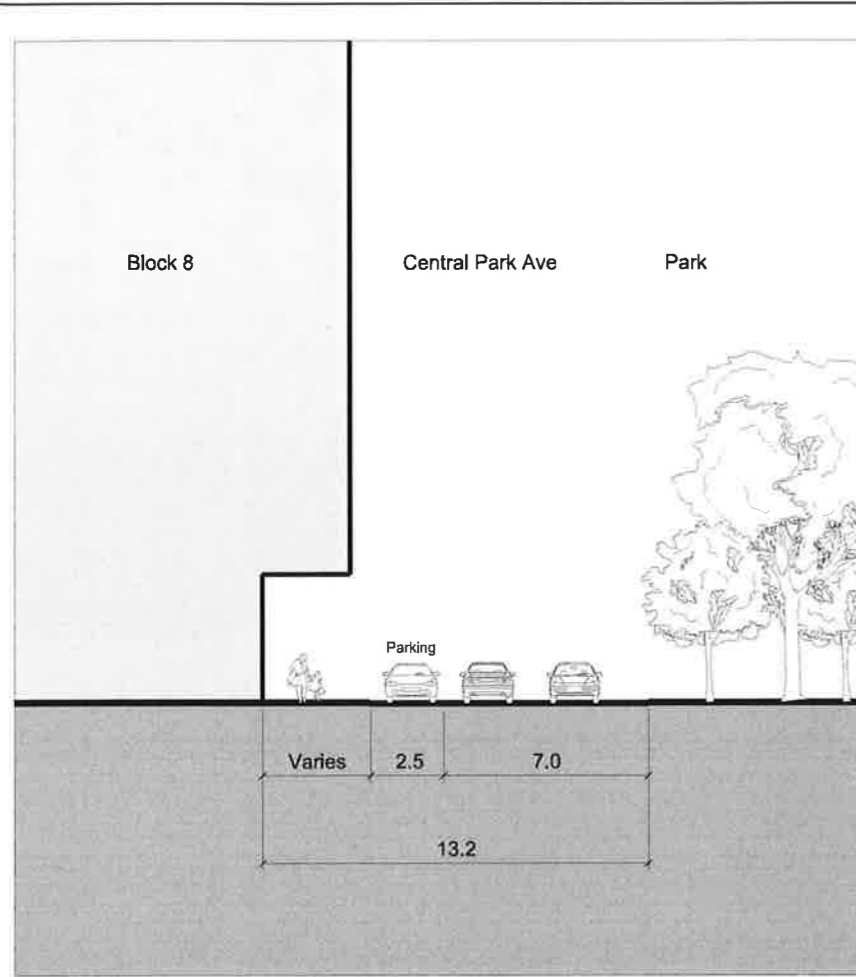
Approved Section 75W Modification Application

No. 11 granted on the 02/03/14

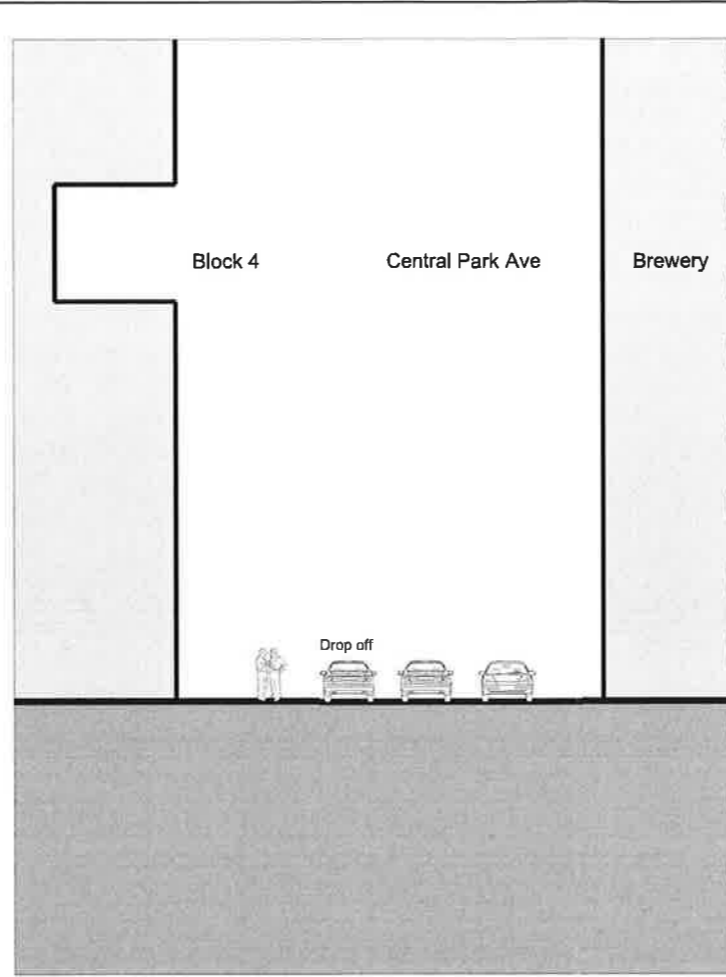
in respect to MP 06-0171

Signed MR

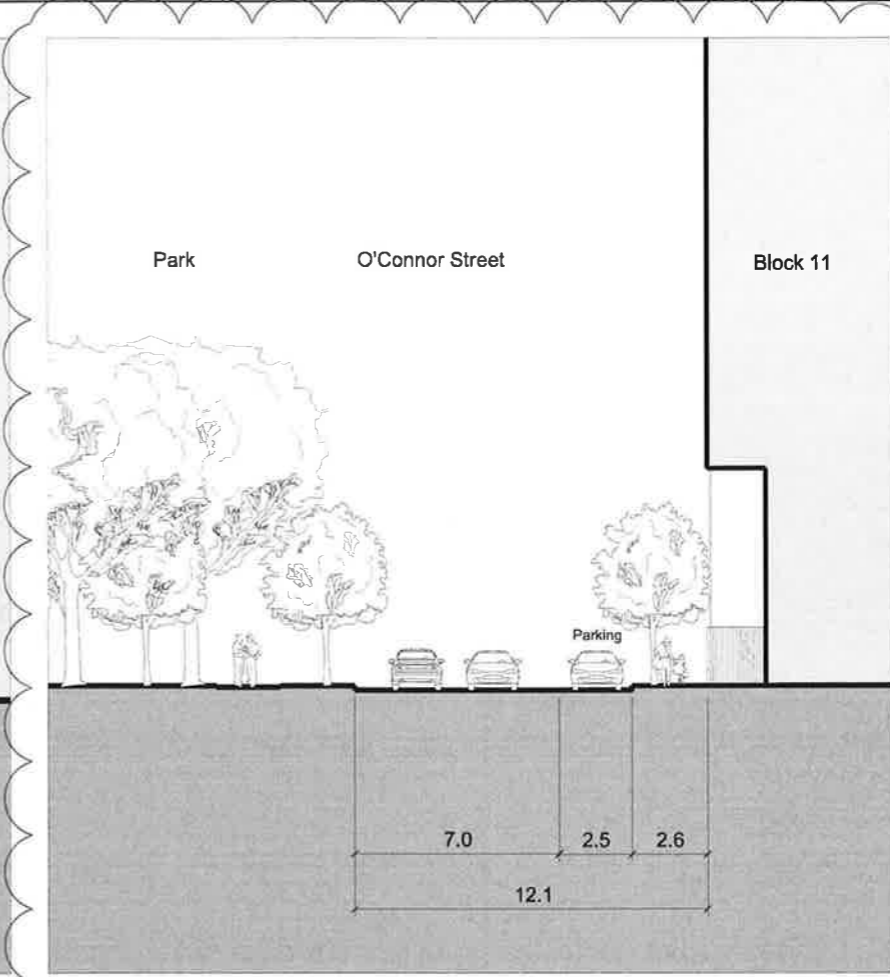
01 Section 07
 Sheet No. 21 of 23



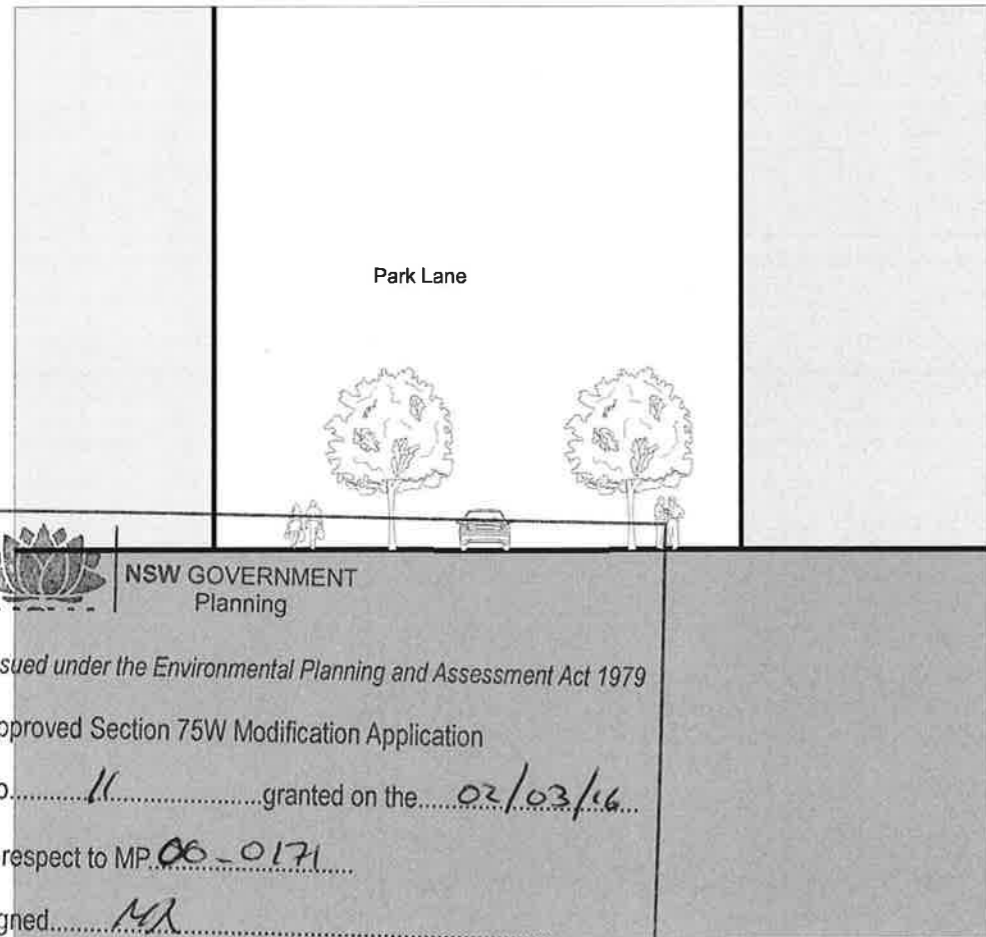
01 Section 1:250



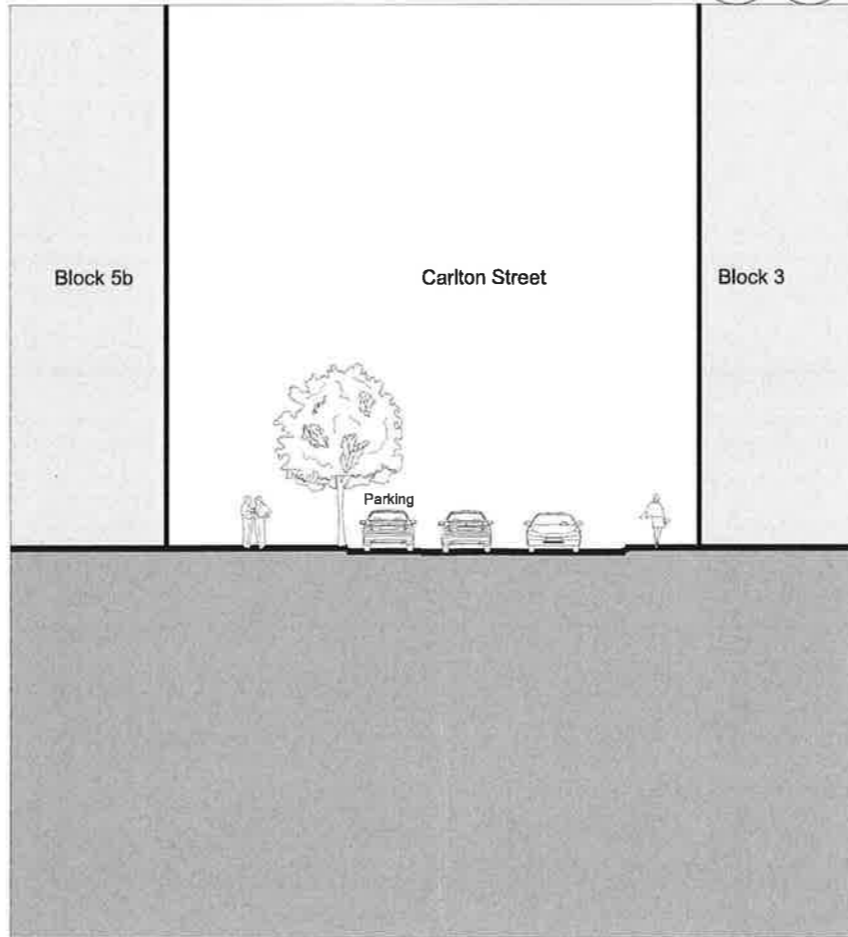
02 Section 1:250



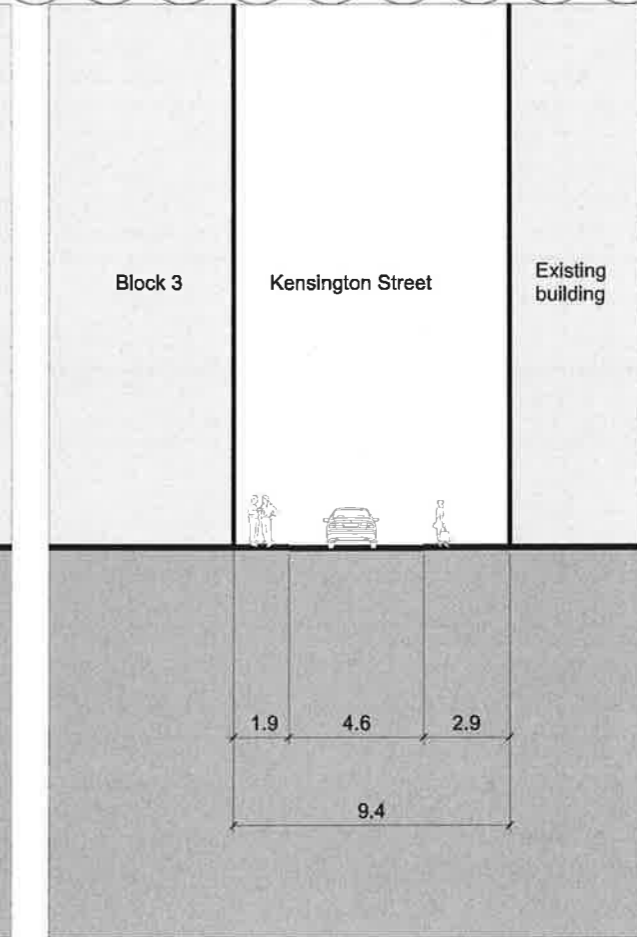
03 Section 1:250



04 Section 1:250
Sheet No. 22 of 23



05 Section 1:250

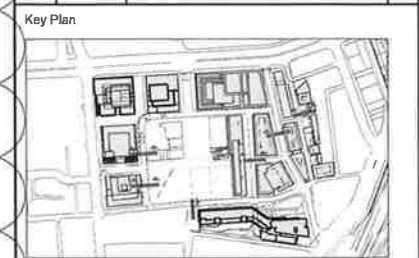


06 Section 1:250

General Notes

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Rev.	Date	Reason For Issue	Ck
09	03/12/14	S75W Amendments (MOD 11)	RP
08	10/11/14	S75W Amendments (MOD 10)	RP
07	23/01/14	S75W Amendments (MOD 9)	RP
06	19/12/12	S75W Amendments (MOD 8)	RP
05	16/10/08	Submission DoP	
04	16/10/08	Submission DoP	
03	15/05/08	Submission DoP	
02	30/04/08	Submission amended CP	
01	21/04/08	Submission amended concept plan	
00	07/04/08	Final coordination	



Notes

FOR SECTION LINES REFER TO A-1258

NSW GOVERNMENT
Planning

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No. 11 granted on the 02/03/16

In respect to MP 06-0171

Signed MR

FRASERS PROPERTY

Project: Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client: Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Foster + Partners

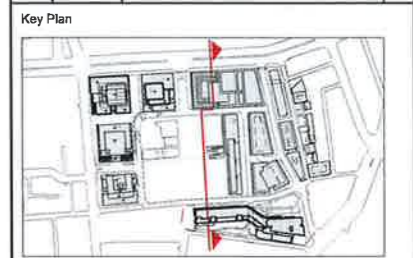
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Title
Concept Plan
Street Sections 2

Project No.	Scale @ A3	Date	Drawn By
1645	1:250	07/04/08	
Number	Revision		
A-1459			09

General Notes
 1. Do not scale drawings. Dimensions govern.
 2. All dimensions are in meters unless noted otherwise.
 3. All dimensions shall be verified on site before proceeding work.
 4. Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	Ck
08	03/12/14	S75W Amendments (MOD 11)	RP
07	10/11/14	S75W Amendments (MOD 10)	RP
06	23/01/14	S75W Amendments (MOD 9)	RP
05	23/05/13	Clouds Added	
04	20/05/13	SSDA Comments	
03	14/05/13	SSDA Comments	
02	16/10/08	Submission DoP	
00	04/09/08	Submission DoP - Solar Planes	



Notes

- Retail
- Residential
- Commercial
- Roof
- Basement
- Live and Work
- Possible Service Zone
- Balcony/ Articulated Facade Zone
- Max EH Maximum Eaves Height
- AGF Assumed Groundfloor Level
- All Heights In AHD
- AHD Street Wall Height in Relation to Existing Ground Level
- Datum Line
- Maximum Building Envelope
- Roof Failure permissible as long as minimum sun requirement for park is met
- BD 13.9 m Approximate heights to be considered during next planning stages
- ED maxED = Excavation - approximate depths to be considered during next planning stages

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.c. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

FRASERS PROPERTY

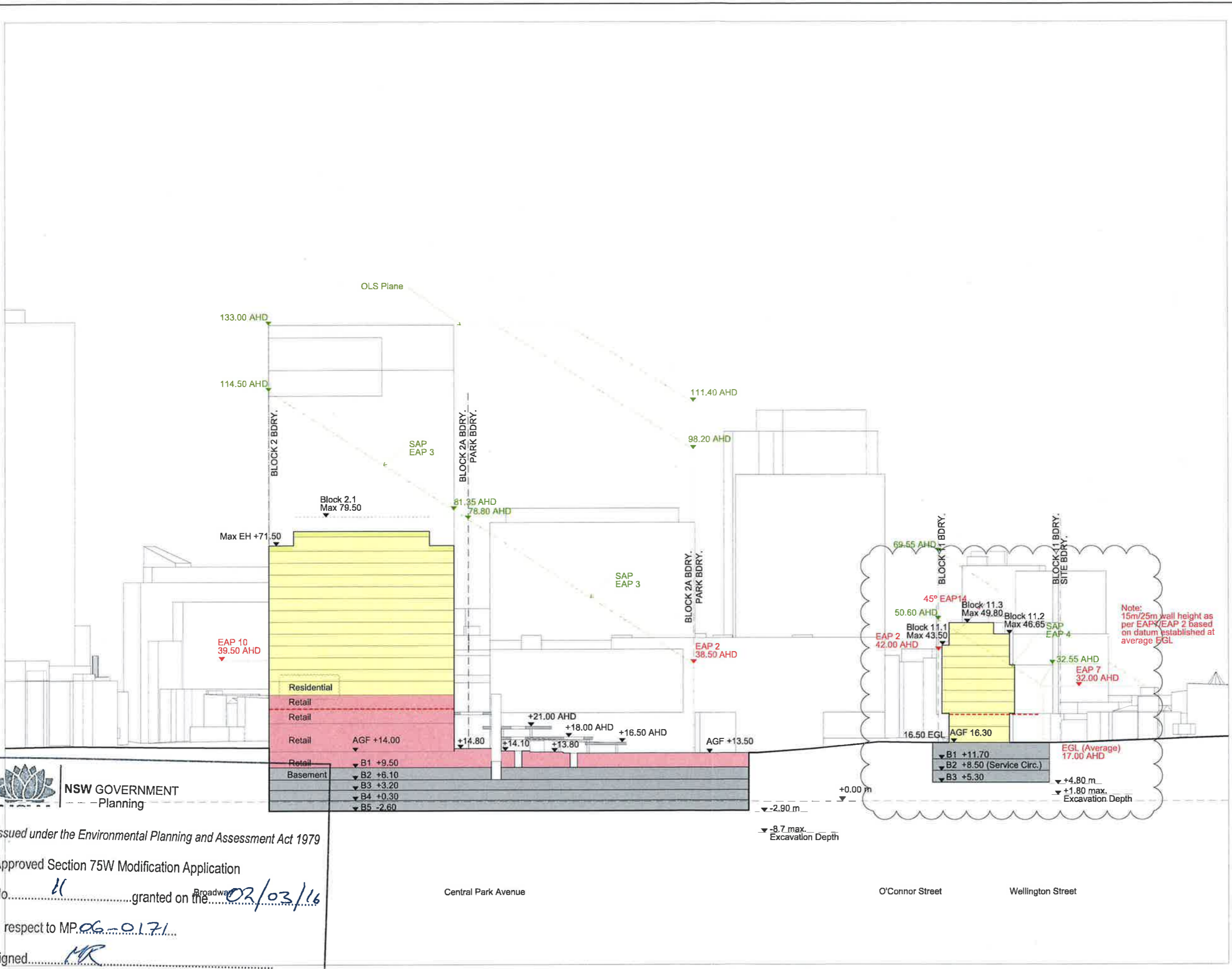
Project Frasers Broadway
 20 - 102 Broadway Sydney NSW 2000
 Client Frasers Broadway
 L11, 488 Kent Street Sydney NSW 2000
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Foster + Partners

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 London SW11 4AN
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Title
Concept Plan
 Section 18

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	04/09/08	
Number	Revision		
A-1460	08		



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 01 Section 18
 Sheet No. 23 of 23

