RACHEL FORSTER APARTMENTS

134-144 PITT STREET, REDFERN NSW 2016

LANDSCAPE CONCEPT PLANS

ISSUE C - FOR DEVELOPMENT APPLICATION



DRAWING REGISTER

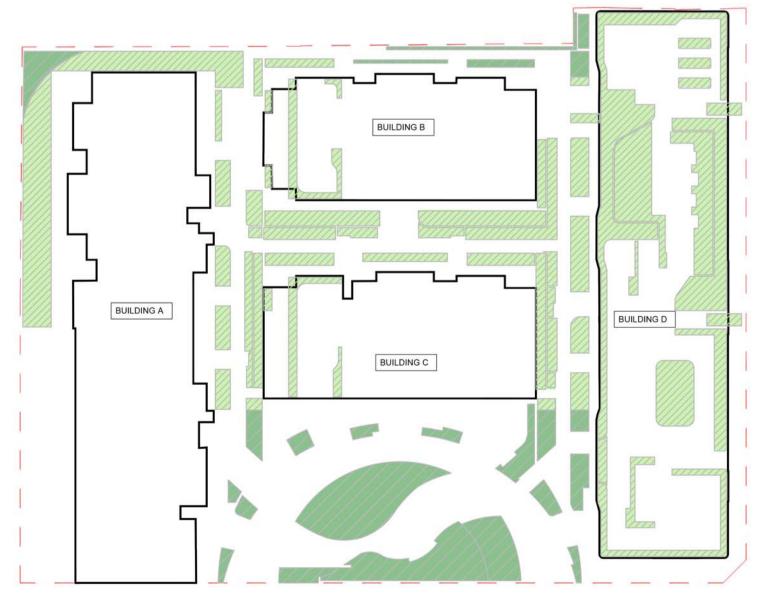
1:250
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As shown

TOTAL SITE AREA= 6922.9m2 DEEP SOIL PLANTED AREA GROUND + LOWER GROUND FLOOR = 423.3m2 PLANTING ON STRUCTURE GROUND + LOWER GROUND FLOOR = 627.1m2 ROOF TERRACES (BUILDING B+C+D) = 521.3m2

SITE AREA CALCULATIONS

TOTAL PLANTED AREAS (INCLUDING TURF) = 1571.7m2 *22% OF TOTAL SITE AREA

DEEP SOIL PLANTED AREA PLANTING ON STRUCTURE



02 AREA DIAGRAM

PIIT STREET

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Description	Drawn	Check	Date
Α	CONCEPT FOR REVIEW	BL	LB	07.07.201
В	DRAFT FOR REVIEW	TC	BL	22.07.201
С	ISSUE FOR DA	TC	BL	18.08.201
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RACHEL FORSTER APARTMENTS 134 PITT STREET

REDFERN, NSW 2000

formed gardens design & construction 222/20 Dale St Brookvale NSW 2100 Tel: (61 2) 9982 5774

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DEVELOPMENT APPLICATION COVER SHEET AND

SITE PLAN Scale: 1:250 @ A1

FG 16 432 L_100 C



15. Albert St sunken courtyards- Retaining wall along Albert St footway with low planter wall to front. Plant with climbing species as green facade over tensioned wire trellis system. Courtyards to be stone tiled with low feature planters (beneath lobby entry ramps) to sustain shade loving native fern and

- 16. Ground floor public space access- Access steps and lift to ground floor public spaces. Access via security gate/intercom, refer to architectural
- 10. Warehouse vista- Preserve vista of remnant brick warehouse wall. Preserve existing signage, remove unwanted examples of graffiti and weed species 17. Ground floor public spaces- Refer to Ground floor plan (L_102)

accent species

2. Boundary fencing- Selected boundary fencing on top of planterbox wall to secure site. NOTE- All boundary fencing to be selected in coordination with

causing damage to structure

LANDSCAPE NOTES

1. Southside buffer landscape - Deep soil planterboxes over basement entry (1m soil depth). Mix of tall native screening trees in deep soil planterbox

5. Specimen trees- Scattered signature flowering trees at key points throughout common gardens. Medium size trees selected to be suitable for

6. Private courtyards- Private courtyards to lower ground floor dwellings. Selected stone tiled finish with 1.8m privacy screens to perimeters.

7. Communal entertaining space 1- Primary lower ground floor communal entertaining space. Cooking + dining facilities beneath open pergola structure. Fixed table settings and bbq + sink to cater for groups and intimate gatherings. Paving treatments to be hard wearing stone tile

walls to separate common area from private lower ground floor courtyards, match to architectural detailing

3. Tall native canopy trees- Local native canopy specimens in deep soil (Corymbia gummifera)

neighbouring properties. Final fencing type TBC after negotiations

understorey plantings (Callistemon, Callicoma, Ceratopetalum sp)

available soil volumes- refer to schedules

(Elaeocarpus eumundii + reticulatus). Mass understorey plantings of shade tolerant species, refer to schedules. 1.8m high privacy fencing along planter

- 11. Communal entertaining space 2- Secondary LG floor entertaining space. Open pergola over table settings and built-in cooking facilities
- 4. Boundary screen plantings- Informal screen planting along Western boundary within deep soil planterboxes. Tall native screening trees with mass
 - 12. Avenue plantings- Small to medium size deciduous flowering trees (Lagerstroemia + Malus sp) to create avenues along access boardwalks. Screening shrubs and grasses beneath for low level privacy to private courtvards.

8. Tall palm plantings- Deep soil planterboxes to sustain tall native palms for scale against built form and passive screening between buildings

9. Tree fern groves- Tall native tree ferns (Cyathea australis) in raised planterboxes for overhead canopy along boardwalk access paths. Mass foliage

(Archotophoenix + Howea sp). Mass low maintenance screening shrubs + accents beneath as foliage display at human scale

- 13. Seating hubs- Brick walling to 500mm high. Match brickwork finish to architectural detailing, timber slats on top of seats. Incorporate mass grass and accent plantings in low planters behind
- 14. Through site link paths + Lawn inserts Timber or composite boards as access paths through lower ground floor common areas. Ramp as required to accessible grades to meet building lobbies. Ornamental lawn spaces along boardwalks, provide minimum 300mm soil profile over structure

EXISTING TREE REGISTER

Trees/Palms

Banksia integrifolia

Corymbia gummifera

Callicoma serratifolia

Eleocarpus reticulatus

Eleocarpus eumundii

Jacaranda mimosifolia

Lagerstroemia 'Natchez'

Screen/Shrub/Accents Acmena smithii var minor

Acacia fimbriata 'Dwarf'

Alpinia caerulea 'Redback'

Backhousea myrtifolia

Howea fosteriana

Malus 'Sutyzam'

Alpinia caerulea

Banksia aemulea

Banksia ericfolia

Cordyline glauca

Cyathea australis

Cordyline petiolaris

Doryanthes excelsa

Nerium 'Dwarf Apricot'

Westringia fruticosa

Ozothamnus diosmifolius

Blechnum cartilagineum

Hardenbergia violacea

Dianella caerulea

Dichondra repens

Doodia aspera

Isolepis nodosa

Lomandra longifolia

Kennedia rubicunda

Lomandra 'Lime tuff'

Philodendron Xanadu

Viola hederacea

Myoporum parvifolium

Parthenocissus tricuspidata

Trachelospermum jasminoides Star Jasmine

Groundcovers and Climbers

Pyrus nivalis

Callistemon citrinus

Archontophoenix alexandrae

Ceratopetalum gummiferum

Eucalyptus 'Summer Beauty'

Lophostemon confertus

Cinamomum camphora

PROPOSED PLANT SCHEDULE- LOWER GROUND FLOOR

Plumeria rubra

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Retain

Retain

Relocate as per plan

Approx mature Plant Installation

As plan

800mm

800mm

800mm

500mm

As plan

400mm

1.2m

1.2m

1.2m

600mm

300mm

600mm

300mm

500mm

500mm

400mm

500mm

400mm

400mm

600mm

600mm

600mm

600mm

600mm 200mm

600mm 200mm

As plan 1.5m Trunk

100L

200L

100L 100L

100L

200L

200L

200L

200mm

200mm

200mm

140mm

300mm

200mm

200mm

200mm

200mm

200mm

140mm

140mm

140mm

140mm

140mm

140mm

140mm

140mm

140mm

20mm 140mm

Height x Width (M) centres

8 x 6

15 x 10

8 x 5

5 x 3

5 x 3

8 x 5

8 x 5

8 x 5

10 x 10

6 x 4

6 x 4

1.5 x 1.0

1.8 x 1.0

1.8 x 1.0

1.0 x 1.0

3 x 1

 8.0×8.0

1.8 x 0.4

 4.0×1.0

 8.0×4.0 1.2 x 1.0

1.5 x 1.0

 1.5×1.0

 8.0×8.0

 0.3×0.3

Groundcover

 0.3×0.3

Scrambler

 0.7×0.7

 0.7×0.7

Scrambler

 0.2×0.2

 0.3×0.6

Climber

 0.6×0.6

 0.6×0.6

Groundcover

Camphor laurel

Frangipani

* Note: trees to be retained are to be protected in accordace with AS 4970 and existing arborist report

Coastal Banksia

NSW Christams Bush

Dwarf Flowering Gum

Red Bloodwood

Black Wattle

Blueberry Ash

Kentia Palm

Jacaranda

Crepe Myrtle

Crepe Myrtle

Dwarf wattle

Native ginger

Native ginger

Grey Myrtle

Palm Lily

Gymea Lily

Dwarf Nerium

Rice Flower

Coastal Rosmary

Kidney Creeper

False Sarsparilla

Katrinus Delux

Dusky Coral Pea

LimeTuff Iomandra

Creeping boobiala

Native violet

Club Rush

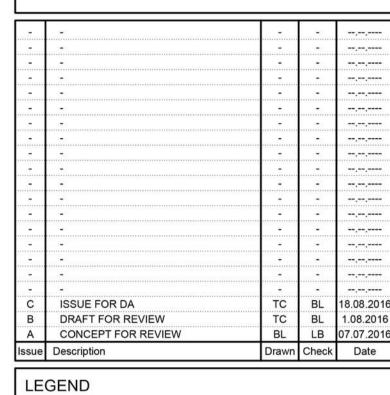
Wallum Banksia

Heath Banksia

Rough Tree Ferr

Bottlebrush

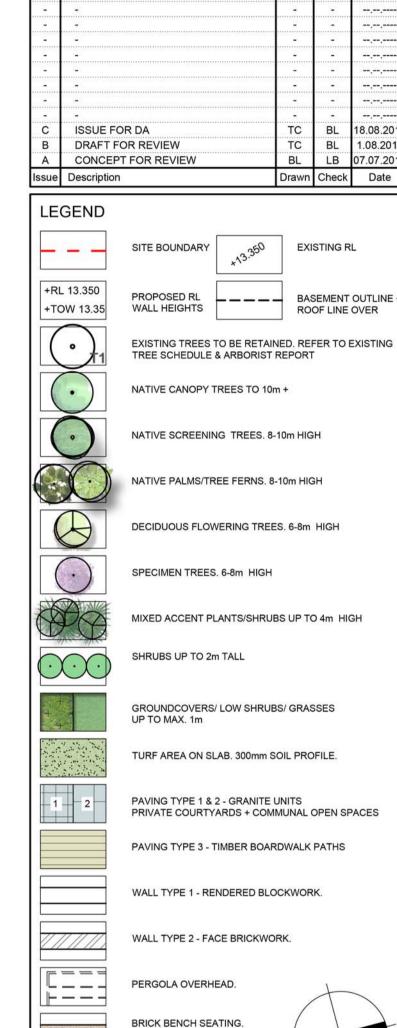
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EXISTING RL

BASEMENT OUTLINE +

ROOF LINE OVER



KAYMET PTY LTD

RACHEL FORSTER APARTMENTS 134 PITT STREET REDFERN, NSW 2000

BATTEN FENCING.

REFER TO ARCHITECTURAL DETAIL

formed gardens design & construction

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ABN 29 123 977 702

DEVELOPMENT APPLICATION

LANDSCAPE CONCEPTS LOWER GROUND FLOOR PLAN

_101 C FG 16 432



Tree number	Botanical Name	Common Name	Recommendation
T1	Lophostemon confertus	Brushbox	Retain
T2	Lophostemon confertus	Brushbox	Retain
T3	Cinamomum camphora	Camphor laurel	Retain
T4	Plumeria rubra	Frangipani	Relocate as per p

Corymbia maculata Spotted Gum 20 x 10 As plan 200L *Eleocarpus reticulatus Blueberry Ash 8 x 5 As plan 200L Eucalyptus haemastoma Scribbly Gum 15 x 5 As plan 200L Tristaniopsis laurina Water Gum 10 x 5 As plan 200L Plumeria sp (extg- transplanted) Frangipani 6 x 4 As plan Existing Pyrus 'Capital' Dwarf wattle 1.5 x 1.0 800mm Existing Acacia fimbriata 'Dwarf' Dwarf wattle 1.5 x 1.0 800mm 200mm Asplenium nidus Birds Nest Fern 1.0 x 1.0 1.2m 200mm Backhousea myrtifolia Grey Myrtle 1.0 x 1.0 500mm 140mm Banksia eamulea Wallum Banksia 3 x 1 As plan 300mm Banksia ericfolia Heath Banksia 0.8 x 0.8 600mm 200mm Cordyline petiolaris Palm Lily 4.0 x 1.0 600mm 200mm Cordyline petiolaris Palm Lily 4.0 x 1.0 600mm <	Botanical Name	Common Name	Approx mature Height x Width (M)	Plant centres	Installation Size
**Eleocarpus reticulatus Blueberry Ash Scribbly Gum 8 x 5 As plan 200L Eucalyptus haemastoma Scribbly Gum 15 x 5 As plan 200L Tristaniopsis laurina Water Gum 10 x 5 As plan 200L Plumeria sp (extg- transplanted) Frangipani 6 x 4 As plan Existing Pyrus 'Capital' Callery pear 10 x 4 As plan 200L Screen/Shrub/Accents Acacia fimbriata 'Dwert' Dwarf wattle 1.5 x 1.0 800mm 200mm Asplenium nidus Birds Nest Fern 1.0 x 1.0 1.2m 200mm Asplenium nidus Birds Nest Fern 1.0 x 1.0 500mm 200mm Bank sia aemulea Wyrtle 1.0 x 1.0 500mm 140mm Bank sia ericfolia Heath Banksia 3 x 1 As plan 300mm Cordyline glauca Ti Plant 1.8 x 0.4 400mm 200mm Cordyline petiolaris Palm Lily 4.0 x 1.0 600mm 200mm Doryanthes excelsa <td>Trees/Palms</td> <td></td> <td></td> <td></td> <td></td>	Trees/Palms				
Eucalyptus haemastoma Scribbly Gum 15 x 5 As plan 200L Tristaniopsis laurina Water Gum 10 x 5 As plan 200L Plumeria sp (extg- transplanted) Frangipani 6 x 4 As plan Existing Pyrus 'Capital' Callery pear 10 x 4 As plan Existing Screen/Shrub/Accents As plan 100L As plan 100L Screen/Shrub/Accents Dwarf wattle 1.5 x 1.0 800mm 200mm Asplenium nidus Birds Nest Fern 1.0 x 1.0 500mm 200mm Asplenium nidus Birds Nest Fern 1.0 x 1.0 500mm 140mm Backhousea myrtifolia Grey Myrtle 1.0 x 1.0 500mm 140mm Backhousea myrtifolia Grey Myrtle 1.0 x 1.0 500mm 140mm Banksia earufolia Heath Banksia 3 x 1 As plan 300mm Cordyline glauca Ti Plant 1.8 x 0.4 400mm 200mm Cordyline petiolaris Palm Lily 4.0 x 1.0 600mm 200mm	Corymbia maculata	Spotted Gum	20 x 10	As plan	200L
Tristaniopsis laurina Water Gum 10 x 5 As plan 200L Plumeria sp (extg- transplanted) Frangipani 6 x 4 As plan Existing Pyrus 'Capital' Callery pear 10 x 4 As plan Existing Acacia fimbriata 'Dwarf' Dwarf wattle 1.5 x 1.0 800mm 200mm Asplenium nidus Birds Nest Fern 1.0 x 1.0 500mm 140mm Backhousea myrtifolia Grey Myrtle 1.0 x 1.0 500mm 140mm Banksia aemulea Wallum Banksia 3 x 1 As plan 300mm Banksia ericfolia Heath Banksia 0.8 x 0.8 600mm 200mm Cordyline glauca Ti Plant 1.8 x 0.4 400mm 200mm Cordyline petiolaris Palm Lily 4.0 x 1.0 600mm 200mm Doryanthes excelsa Gymea Lily 1.2 x 1.0 1.2m 200mm Westringia fruticosa Gostal Rosmary 0.8 x 0.8 600mm 200mm Westringia fruticosa Kidney Creeper Groundcover 600mm	*Eleocarpus reticulatus	Blueberry Ash	8 x 5	As plan	200L
Plumeria sp (extg- transplanted) Frangipani Callery pear 10 x 4 As plan Existing 100L	Eucalyptus haemastoma	Scribbly Gum	15 x 5	As plan	200L
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Screen/Shrub/Accents Acacia fimbriata 'Dwarf' Dwarf wattle 1.5 x 1.0 800mm 200mm Asplenium nidus Birds Nest Fern 1.0 x 1.0 1.2m 200mm 140mm 15 x 1.0 1.2m 200mm 15 x 1.0 1.2m 20	Plumeria sp (extg- transplanted)	Frangipani	6 x 4	As plan	Existing
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Groundcovers and Climbers Flax Lily 0.3 x 0.3 300mm 140mm Dianella caerulea Flax Lily 0.3 x 0.3 300mm 140mm Dichondra repens Kidney Creeper Groundcover 600mm 100mm Diets robinsoniana Lord Howe Iris 0.6 x 0.6 600mm 200mm Doodia aspera Rasp Fern 0.3 x 0.3 300mm 140mm Hardenbergia violacea False Sarsparilla Scrambler 500mm 140mm Isolepis nodosa Club Rush 0.7 x 0.7 500mm 140mm Lomandra longifolia Katrinus Delux 0.7 x 0.7 400mm 140mm Kennedia rubicunda Dusky Coral Pea Scrambler 500mm 140mm	Doryanthes excelsa	Gymea Lily	1.2 x 1.0	1.2m	200mm
Groundcovers and Climbers Dianella caerulea Flax Lily 0.3 x 0.3 300mm 140mm Dichondra repens Kidney Creeper Groundcover 600mm 100mm Diets robinsoniana Lord Howe Iris 0.6 x 0.6 600mm 200mm Doodia aspera Rasp Fern 0.3 x 0.3 300mm 140mm Hardenbergia violacea False Sarsparilla Scrambler 500mm 140mm Isolepis nodosa Club Rush 0.7 x 0.7 500mm 140mm Lomandra longifolia Katrinus Delux 0.7 x 0.7 400mm 140mm Kennedia rubicunda Dusky Coral Pea Scrambler 500mm 140mm	Ozothamnus diosmifolius	Rice Flower	1.5 x 1.0	1.2m	200mm
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Dichondra repens Kidney Creeper Groundcover 600mm 100mm Diets robinsoniana Lord Howe Iris 0.6 x 0.6 600mm 200mm Doodia aspera Rasp Fern 0.3 x 0.3 300mm 140mm Hardenbergia violacea False Sarsparilla Scrambler 500mm 140mm Isolepis nodosa Club Rush 0.7 x 0.7 500mm 140mm Lomandra longifolia Katrinus Delux 0.7 x 0.7 400mm 140mm Kennedia rubicunda Dusky Coral Pea Scrambler 500mm 140mm	Groundcovers and Climbers				18
Diets robinsoniana Lord Howe Iris 0.6 x 0.6 600mm 200mm Doodia aspera Rasp Fern 0.3 x 0.3 300mm 140mm Hardenbergia violacea False Sarsparilla Scrambler 500mm 140mm Isolepis nodosa Club Rush 0.7 x 0.7 500mm 140mm Lomandra longifolia Katrinus Delux 0.7 x 0.7 400mm 140mm Kennedia rubicunda Dusky Coral Pea Scrambler 500mm 140mm	Dianella caerulea	Flax Lily	0.3 x 0.3	300mm	140mm
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Kennedia rubicunda Dusky Coral Pea Scrambler 500mm 140mm	Isolepis nodosa	Club Rush	0.7 x 0.7	500mm	140mm
	Lomandra longifolia	Katrinus Delux	0.7 x 0.7	400mm	140mm
Lomandra 'Lime tuff' LimeTuff Iomandra 0.5 x 0.5 400mm 140mm	Kennedia rubicunda	Dusky Coral Pea	Scrambler	500mm	140mm
	Lomandra 'Lime tuff'	LimeTuff Iomandra	0.5 x 0.5	400mm	140mm

Creeping boobiala

 0.2×0.6

600mm

Myoporum parvifolium

to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

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Pty Ltd and the instructing party.

ISSUE FOR DA 18.08.2016 DRAFT FOR REVIEW 1.08.2016 CONCEPT FOR REVIEW Drawn Check Date Issue Description **LEGEND** EXISTING RL

SITE BOUNDARY +RL 13.350 +TOW 13.35 WALL HEIGHTS

BASEMENT OUTLINE + ROOF LINE OVER. EXISTING TREES TO BE RETAINED.REFER TO EXISTING

DECIDUOUS FLOWERING TREES. 6-8m HIGH

TREE SCHEDULE & ARBORIST REPORT

TALL CANOPY TREES. 10-15m HIGH SMALL STREET TREES. 8m HIGH

ACCENT PLANTS/SHRUBS TO 1m HIGH

GROUNDCOVERS/ LOW SHRUBS/ GRASSES

GRASSES + GROUNDCOVERS TO 600mm TALL

PAVING TYPE 3 - TIMBER BOARDWALK PATHS PAVING TYPE 4 - SEGMENTAL UNIT PAVER

PAVING TYPE 5 -DECOMPOSED GRANITE COMMUNAL OPEN SPACES

PAVING TYPE 6 -ASPHALT WITH COBBLESTONE BANDING. THROUGH SITE LINK PATH

WALL TYPE 1 - RENDERED BLOCKWORK.

WALL TYPE 2 - FACE BRICKWORK.

BENCH SEATING.

KAYMET PTY LTD

RACHEL FORSTER APARTMENTS 134 PITT STREET REDFERN, NSW 2000

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Formed Gardens Pty Ltd ABN 29 123 977 702

DEVELOPMENT APPLICATION

LANDSCAPE CONCEPTS GROUND FLOOR PLAN

L_102 | C FG 16 432

LANDSCAPE NOTES

- 1. Pitt St pedestrian footway- Retain all sandstone kerbing, consolidate/infill with replacement sandstone kerbing where required- Council to advise. Make good to existing asphalt footway to council requirements. Retain all existing street furniture and services, install new infill type lids to all pits as required. All footway treatments to satisfy requirements as per Sydney Streets Code 2103 (Local Areas)
- 2. Deciduous avenue trees- Medium size deciduous flowering trees (Pyrus 'Capital') for seasonal display and winter solar access. Mass grass/groundcover plantings beneath. Incorportae bench seating points on edges of tree planting beds as rest points
- 3. Shared access way through new public space- Curved asphalt access pathway to reference existing asphalt driveway to old hospital entrance. Incorporate cobblestone banding and possible interpretive detailing into ground plane as reference of site history
- 4. Entry garden bed- Transplanted Plumeria Sp. (T4) as entry specimen within low mass planting of grasses/groundcovers. Incorporate non-intrusive lighting to highlight specimen tree and associated signage walling
- 5. Site signage and heritage interpretation wall- New 1.5m high interpretive wall to detail former site use and historical significance. Match brickwork treatments to existing precedents on site. Wall to form part of interpretation strategy to future detail
- 6. New public open space- Public park space to consist of primary open lawn space with existing and additional native canopy trees overhead, mass planting displays beneath existing Cinamomum camphora (T3), seating provisions and non-instrusive lighting to ensure safe access and surveillance to the space. All works beneath existing Lophostemon cofertus (T2) to be in keeping with arborist recommendations
- 7. Plaza forecourt to Building C- Create new plaza with seating and alfresco areas to service new ground floor cafe/restaurants. Paving treatments to be consistent with adjacent building forecourts for identity and to delineate from curved site site link path. Deep soil garden bed islands within paving to sustain tall native trees (Corymbia maculata) and groundcovers beneath. Built-in seating provisions as meeting/rest points on fringe of garden beds. Retain existing Lophostemon confertus (T1) as per arborist recommendations
- 8. New public courtyard- Decomposed granite permeable surface beneath existing canopy trees. Provisions for seating along the link with potential market stall + community use space. Incorporate non-invasive lighting scheme and power provisions to facilitate mixed use
- 9. Existing brick wall- Retain and repair existing remnant brick wall, project engineer to confirm integrity of wall. All plantings behind existing wall to be low shrubs/grasses/groundcovers (maintained to 600mm high) to maintain casual surveillance and ensure connectivity between streetscape, the new public space, and the proposed built form. All works beneath existing Cinamomum camphora (T3) to be in keeping with
- 10. Secondary lawn and rest space- Create secondary lawn space with seating provisions. Grade turf levels as necessary to preserve existing levels around existing Cinamomum camphora (T3)
- 11. Residential and visitor access- Access steps to lower ground level. (Lift access available at SW of new public space). Access to lower ground floor residential via security gate/intercom, refer to architectural detailing
- 12. Streetscape frontage to neighbourhood retail/cafe- Medium size deciduous flowering trees (Pyrus 'Capital') for streetscape amenity. Possible alfresco seating beneath awning. Match paving treatments to adjacent building forecourts for consistency
- 13. Albert St pedestrian footway- Remove existing concrete footway and install asphalt paving. Kerbstones to be new sandstone- subject to Council directives. Small street trees- Elaeocarpus reticulatus (@ 7.5m centres) along narrow pedestrian footway- Council to advise. All footway treatments to satisfy requirements as per Sydney Streets Code 2103 (Local Areas)
- 14. Entries to Albert street terraces- Entry ramps to building D lobbies on accessible grades. Refer to architectural detailing for site indentification signage, letterboxes and security provisions
- 15. Albert St walling and balustrades- Retaining wall along Albert St footway to meet existing footpath grades and levels. Decorative balustrade/screens along top of wall to architects detail
- **16.** Sunken courtyards- Refer to lower ground floor plan (L_101)
- 17. Residential communal gardens- Refer to Lower ground floor plan (L_101)



LANDSCAPE NOTES

- BUILDING B & C- COMMUNAL ROOF TERRACES

 1. Cooking and dining facilities- Built-in kitchen facilities, electric BBQ x 2 + sink, set into bench unit with storage below. Timber or composite
- decking boards as ground plane finish

 2. Bar style seating- Casual seating space with built-in bar style table and stools
- 3. Shade structure- Lightweight steel, open framed pergola with stainless steel wiring as trellis. Train deciduous climbing species over (Vitis vinifera)
- for winter solar access/summer shade
- Sun deck- Open timber terrace for passive relaxation. Moveable furniture for flexibility of use
 Planting features- Raised planterbox to 600mm high. Plant hardy accent species as focal point (refer schedules)
- 6. Oversize seating- Built-in daybed/bed seating. Hardwood timbers over steel frame. Allow for led strip lighting beneath
- 7. Deep soil screen planting- 1m deep perimeter planterboxes to sustain low maintenance shrubs and grasses to enclose the terrace. All species selected for low water and pruning requirements post establishment (refer schedules). NOTE- All planterboxes are designed to be generally maintained from a standing position within the terraces. Contractor to install harness points for any works at height required to the applicable BCA
- codes and Aust. Standards
 Fencing/Screening- Install decorative screens to form balustrade at any climb point behind daybed. Match batten screens to architectural detailing

I ANDSCADE NOTES

- LANDSCAPE NOTES
 BUILDING D- COMMUNAL ROOF TERRACE
- Communal productive garden- Raised planterboxes-800mm high (for universal accessibility) as communal garden facility for residents.
 Hard wearing stone or concrete paving beneath. Northern aspect for optimum growing conditions with perimeter planterboxes (1m depth) with low screen planting to enclose. Decorative batten fence to screen planters from lift exit lobby
- 2. Storage area- Provide storage cupboards for shared equipment and materials to service communal gardens
- 3. Deep soil planterboxes- Large volume deep soil planterboxes (1m depth) to roof terrace perimeters to facilitate small native trees, shrubs and mass groundcovers. All species selected for low water and pruning requirements post establishment (refer schedules) NOTE- All planterboxes are designed to be generally maintained from a standing position within the terraces. Contractor to install harness points for any works at height required to the applicable BCA codes and Aust. Standards
- 4. Boardwalk access- Generous, wide boardwalk as access and rest point throughout terrace. Selected native hardwood or engineered composite timber boards (Modwood or equivalent)
- 5. Passive lawn space- Raised lawn space (2 risers- min. 300mm deep soil profile) as passive recreation space. Mass native grasses to perimeter with fixed bench seating. Benches/planting not to encroach on no-climb zones
- 6. Mass planting features- Large block planting of mass native grasses. Finished planted levels to be flush with boardwalk
- 7. Perimeter screen planting- perimeter planterboxes (1m depth) with low screen planting to enclose, refer to schedules

8. Specimen tree planting- Hardy local native specimen tree with large volume deep soil planterboxes (1m depth). Underplant with hardy

native shrubs and mass groundcovers. All species selected for low water and pruning requirements post establishment (refer schedules)

- 9. Cooking and dining facilities- Built-in kitchen facilities, electric BBQ x 2 + sink, set into bench unit with storage below. Hard wearing stone unit paving as ground plane finish
- 10. Casual seating niche- Secondary, intimate gathering spaces throughout terraces. Built-in bench seating and furniture to accomodate.
- 11. Shade structure- Lightweight steel, open framed pergola with stainless steel wiring as trellis. Train flowering climbing species over
- Access steps to lower ground level. (Lift access available at SW of new public space). Access to lower ground floor residential via security gate/intercom, refer to architectural detailing
- 13. Turf island planter- Raised island planter with lawn surface and specimen tree (*Brachychiton rupestris*) as feature. Mound soils up gently around tree base to achieve soil depths. Wide 500mm lip along 2 sides as additional bench seating
- 14. Oversize seating provisions- Built-in timber bench seating throughout as meeting/rest points. Selected native hardwoods or possible
- 15. Lookout point- Create break in parapet wall to facilitate view lines through to public park on ground floor level. Balustrades as required16. Exercise yard- Exercise yard with static, low impact equipment. Synthetic lawn surface finish
- 17. Perimeter screen planting- Mass native grasses to 700mm high to enclose

engineered composite timber boards

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PROPOSED PLANT SCHEDULE- ROOF TERRACES

Coast Banksia

Old Man Banksia

QLD Bottle tree

Rosmary Grevillea

Wax Flower

Heath myrtle

Grass tree

Lord How Iris

Guinea flower

Foxtail grass

Native violet

Kangaroo grass

Ornamental grape

LimeTuff Iomandra

Creeping boobiala

Everlasting daisy

Coastal Rosmary

Wee Jasper grevillea

Trees/Tall shrubs

Banksia integrifolia

Banksia aemulea

Shrub/Accents

Grevillea iaspicula

risotemon myoporoides

Ozothamnus diosmifolius

Thryptomene saxicola

Vestringia fruticosa

Xanthorrhoea resinosa

Dietes robinsoniana

Lomandra 'Lime tuff'

Myoporum parvifolium

Pennisetum 'Nafray'

Themeda australis

iola hederacea

Vitis vinifera

Carpobrotus glaucescens Hibbertia scandens

Groundcovers and Climbers

Dianella caerulea 'Streetscape' Flax Lily

Brachychiton rupestris

Eucalyptus 'Summer beauty'

Height x Width (M) centres Size

4 x 3 6 x 4

5 x 4

1.5 x 1.0

1.0 x 1.0

1.2 x 1.0

 0.8×0.8

 8.0×8.0

1.2 x 1.2

 0.6×0.6

Groundcover

 0.6×0.6

 0.3×0.6

 0.6×0.6

 0.6×0.6

climber

Groundcover

As plan

As plan

1.2m

1.2m

1.2m

600mm

600mm

200mm

500mm

400mm

400mm

400mm

400mm

600mm

600mm 300mm

600mm 200mm

As plan 200mm

As plan 300mm

As plan 200L

100L

200mm

200mm

200mm

200mm

100mm

140mm

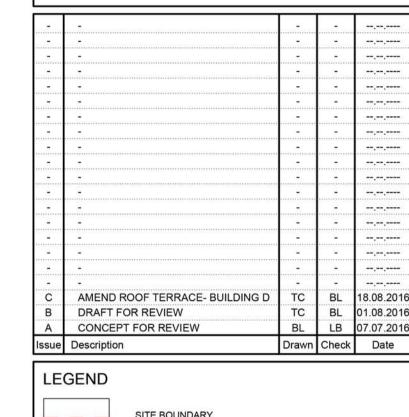
140mm

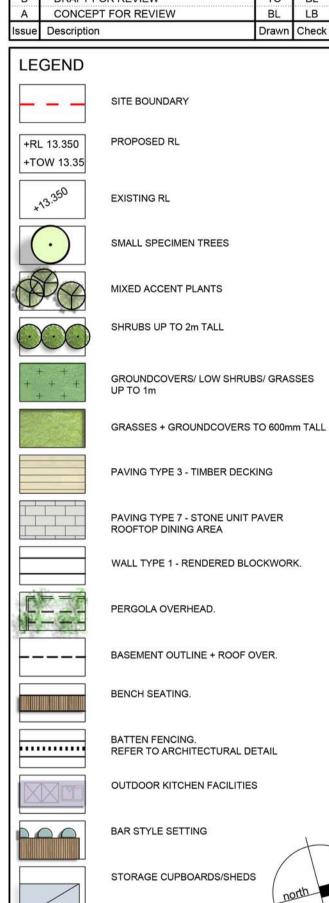
140mm

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100mm

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KAYMET PTY LTD

Project:

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DEVELOPMENT APPLICATION

LANDSCAPE CONCEPTS
ROOF TERRACES- B, C & D



BUILDING A **BUILDING B** ALBERT STREET BUILDING D EXISTING GROUND LEVEL

02 SECTION BB BUILDING A BUILDING D ALBERT STREET

03 SECTION CC

SECTION AA

KEY:

- Neighbouring development. Remnant warehouse wall retained/protected Fern tree grove for scale against Building B
- Communal entertaining space. Dining + cooking facilities beneath pergola structure
- 4. Specimen tree. Deciduous flowering
- Bench seating points along boardwalks
 Tall native palms for scale against Bilding C
 Mix of tall accent + shrubs along boardwalk in raised planter boxes
- Tall native palms. Mass shade tolerant accent beneath
 Plaza forecourt to Building C
- 10. Access to ground floor communal spaces11. New public open space setback to Pitt Street

SECTION BB

- Specimen tree. Deciduous flowering

- 9. Secondary communal entertaining space10. Narrow planters for climbers to cover boundary wall in sunken courtyards.

- Tall native rainforest trees for scale against Building A
 Tall native palms in planter boxes to denote lobby Communal entertaining space. Dining + cooking facilities. Beneath pergola structure
- Avenue of small deciduous flowering trees along boardwalks in raised planter boxes
- Specimen tree at lobby entrance
 Lobby to Building B
 Tall accents against building in raised planter boxes

SECTION CC

- Tall native rainforest trees for scale against Building A. Shade tolerant understorey plantings beneath
 Medium sized deciduous flowering trees for seasonal display
 Interpretive wall + site signature. Specimen tree with mass plantings
- Existing brick wall site frontage. Retain/repair
- Pitt Street public community space Existing Camphor laurel- T3 tree to be retained
- Tall mature trees in deep soil along shared access way
 Plaza forecourt to Building C
 Alfresco spaces to Building D frontage
- 10. Albert St footway- upgraded footpath + new small street trees

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ISSUE FOR DA 18.08.2016 DRAFT FOR REVIEW 1.8.2016 CONCEPT FOR REVIEW Issue Description Drawn Check Date

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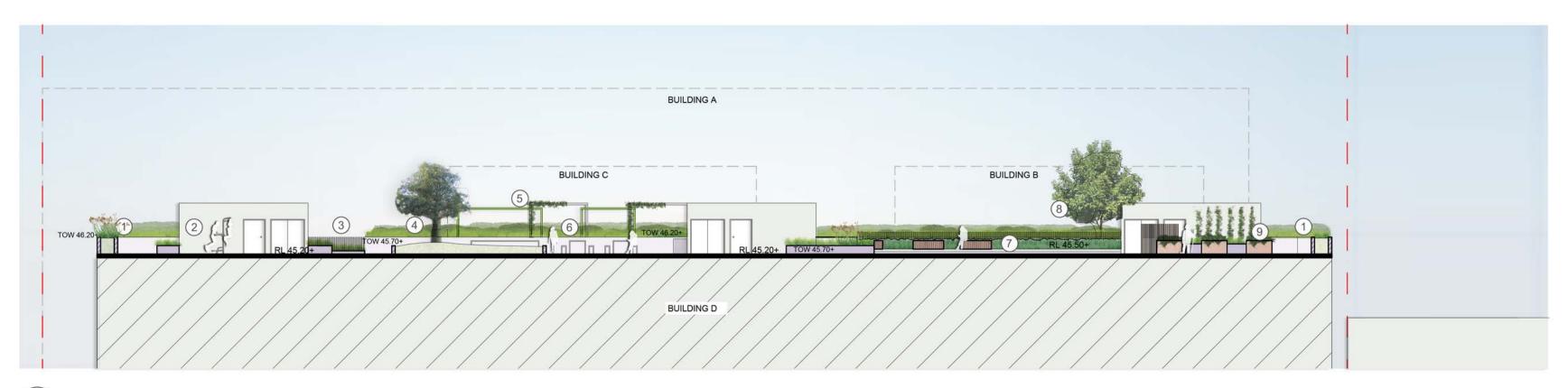
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DEVELOPMENT APPLICATION

LANDSCAPE CONCEPTS SECTIONS/ELEVATIONS 01

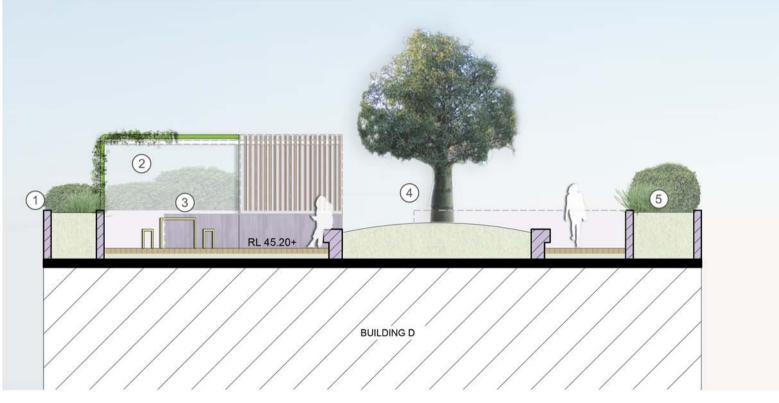
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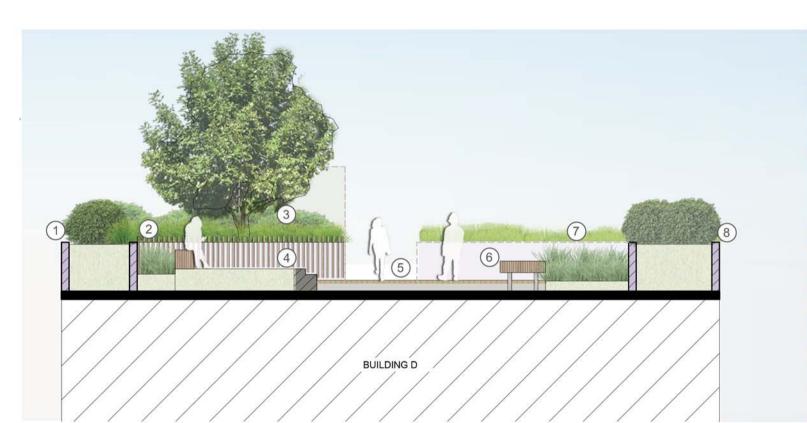
SECTION DD

- 1m high raised planter box. Hardy shrubs and grasses to perimeter of terrace
- Exercise yard with fixed equipment. Synthetic turf or softfall ground finish Break in parapet to create lookout point down to ground floor public space
- Turf island to 500mm high. Mound soils up to create additional depth around specimen tree
- Decorative steel shade structure overhead with climbing plant species Oversize communal dining settings adjacent to outdoor cooking facilities
- Raised lawn area- 2 steps (300mm min soil depth). Bench seating with perimeter native grass plantings
- Specimen tree in deep soil planterbox. Mass grasses and spreading groundcovers beneath
- 9. Communal productive garden. Raised planters to 800mm high









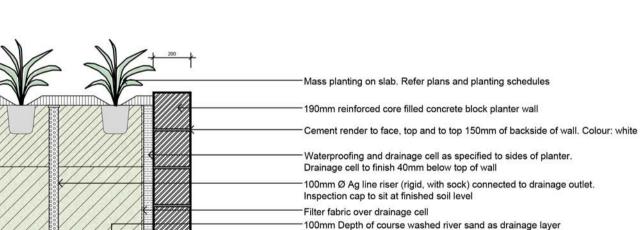


SECTION EE

- 1m high raised planter box. Hardy shrubs and grasses to perimeter of terrace
- Decorative steel shade structure overhead with climbing plant species
- Oversize communal dining settings adjacent to outdoor cooking facilities
- 4. Turf island to 500mm high. Mound soils up to create additional depth around specimen tree
- 5. Perimeter screen planting to enclose

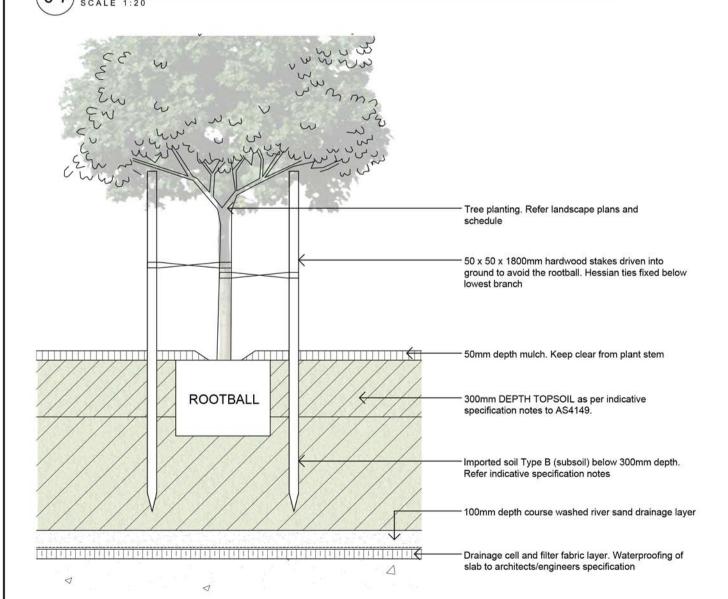
SECTION FF

- Perimeter screen planting to enclose
- Mass native grass trim. Batten style balustrade behind Specimen tree in deep soil planterbox. Mass grasses and spreading groundcovers beneath.
- Raised lawn area- 2 steps (300mm min soil depth)
- Boardwalk connection between roof terrace zones
- Platform style benches along boardwalk Mass native grass plantings as feature
- 8. Perimeter screen planting to enclose



Refer plans for adjacent surface finishes Drainage cell and filter fabric layer. Waterproofing of slab to architects/engineers specification Structural slab to engineers detail Connection to drainage as per engineers requirements

07 TYPICAL PODIUM PLANTING PROFILE- SHRUB/ACCENST/GRASSES



08 TYPICAL PODIUM PLANTING PROFILE- TREES

INDICATIVE LANDSCAPE NOTES

1.0 GENERAL

All landscape works are to be carried out by a qualified Landscape tradespersons with the appropriate skill set and accreditation. Any changes to the required works are to be approved by the Project Landscape Architect.

All works around existing trees on site are to be in accordance with the recommendations of the project arborist and with the arborist report by Landscape Matirx

All paving and tree works within the public domain are to be in accordance with Sydney Street Codes 2013 and City of Sydney's Public Domain Technical manual. All treatments noted on plan are subject to review and to be confirmed/conditioned by Council.

All plantings on grade are to be a mix of cultivated site soils and imported organic mix. Improve site soils with bulk organic matter, cow manure and pelletised organic fertiliser during cultivation and before planting. Where required, supplement site soils with imported

- Top Soil: Cultivated site soil with imported organic manures, topped up with locally available Native garden mix (Low phosphorus). - Sub soil: Break up any existing heavy clay soils and improve with Gypsum

All plantings on podium are to be the following:

Topsoil profile: Benedicts Smartmix # 4 - Lightweight planter box mix: top 300 - 400mm of soil profile Subsoil profile: Benedicts Smartmix #5 - Lightweight planter box subsoil mix: below top 300mm of soil profile (depth varies) Drainage layer: 75-100mm depth washed river sand

The following minimum soil depths are to be achieved:

≈300-450mm for groundcovers ≈450-600mm for small shrubs ≈600-750mm for medium shrubs ≈750-900mm for small trees

4.0 DRAINAGE TO PLANTERBOXES & RETAINING WALLS

Supply and install drainage provisions behind all planter walls. The Landscape Contractor shall check the waterproofing is installed as per manufacturers recommendations, and notify of any breaks or inadequacies prior to installation. Supply and install polypropylene cellular drainage cell complete with continuous geotextile filter fabric liner to back of all planterbox walls and floors, in accordance with manufacturer's instructions and details.

- Planter Walls: VersiDrain 8 Geo high density polyethylene dimpled drain sheet by Elmich Australia P/L - Planter Floors: VersiCell recycled polypropylene drainage cell by Elmich Australia P/L

Drainage cell and filter fabric shall extend across up planter walls to the underside of the mulch layer. Geotextile filter fabric is to be installed over all drainage cell material. Allow to tape the fabric over the top of the planter walls to ensure soil mix does not escape into drainage outlets/holes.

All planting areas, unless otherwise specified, to be mulched with a course and open mulch to 50mm depth with catchment dish to be left around base of all plants. Mulch to be composted bark and wood waste, free from any diseased or noxious plant material- equivalent to 'Forest Blend' from Australian Native Landscapes

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Provide turf of even thickness, free from weeds and other foreign matter. Lay the turf in stretcher pattern with the joints staggered and close butted. Finish flush, after tamping, with adjacent finished surfaces of ground. Do not allow newly turf areas to dry out between waterings throughout establishment period.

Private communal spaces = Soft Leaf Buffalo or approved equal

Public communal spaces = Soft Leaf Buffalo or approved equal Synthetic lawn (SE area of Roof terrace) = 'Summer Envy' By Tigerturf or approved equal, installed to manufacturers specification

7.0 PLANTS

Supply all plants in accordance with the landscape schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage - Vigorous, well established, free from disease and pests, of good form consistent with the species or variety - Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site

- Trees, unless required to be multi-stemmed, shall have a single leading shoot

Install steel strip edging at interface between all turf and planted areas.

Material: 100 x 4mm Galvanised flat bar. Fixings: 300 x 10mmØ Galvanised deformed bar welded to the flat @ max. 1.0m centres and 300mm from ends.

Automatic drip irrigation watering system to be selected and installed to extend to all landscaped areas. The Landscape Contractor is to liaise with council as necessary, to ensure that the irrigation conforms with all Sydney Water, Council and Australian Standards and Regulations. Contractor is to use collected rainwater wherever possible.

A schematic design of the proposed irrigation system is to be prepared by the contractor, showing solenoids, pipe diameters, and all drip and sprinker attachment types (including spray/head angle), for review by the superintendent prior to installation

Provide an automatic controller that provides for two week scheduling and hourly multi-cycle operation. Programming shall be undertaken by the contractor who shall advise on the operation of the system. It shall be the contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system.

Provision of secure housing for the automatic irrigation controller to be located alongside the corresponding plant/services equipment store on site and in association with the landscape contractor and location confirmed by the Hydraulic consultant. Wiring to connect remote solenoid locations is to be provided, the controller shall be located in a dry place, protected from the weather, and all cable connections shall be made with waterproof connectors. Water supply points to be supplied by builder.

Implement a review of all irrigation systems after plant establishment and amend programmes and flows to suit the requirements of the established landscape.

All paving is to be sealed with penetrative, water based sealer prior to installation. Refer to manufacturer's specification. Grade all external paving to even falls. Drain the surfaces away from structures and towards drainage outlets, or the surface run-off system provided, without ponding. Pavements shall be constructed to the lines, profiles and cross sections shown and/or approved. Installed plus or minus 10mm from the

correct level, plus or minus 3mm from a 3m straight edge laid in any direction on an area of uniform grade. *All selected stone is to comply with AS 4586 for slip resistance and be certified by supplier toR11 and R12 slip resistance. All step treads to have 5m pencil edge. Suppliers/contractor to provide certification at installation *Install TGSI's and nosing strips to AS 1428.1 & 4.1

*All paving and base courses to be certified by engineer prior to installation

Types as noted on plan to be: Type 1 & 2- Selected Granite tile/paver equivalent to 'Sesame grey' By Samstone P/L (T1-600mm2 T2- 600 x 400mm)

Type 3- Timber boards (Refer 1.0- Timber)

Type 4- Segmental 'Brick style' unit paver (200 x 100 x 50) Note- Final selection to be coordinated with architectural finish Type 5- Decomposed granite. Compacted and stabilised, equal to 'Deco Gold' from Australian Native Landscapes Type 6- Asphalt with granite cobble banding. 'A' class finished asphaltic paving with 90mm2 granite cobble 'Sesame Grey' (mix of

'natural split' and 'exfoliated' finish) from Samstone P/L Type 7- Granite tile equivalent to 'Sesame grey' By Samstone P/L (600mm2 + 600 x 400mm)

Final paving selection TBC with architectural finishes

11.0 WALLING

All landscape walling/planters as noted on plan to be: Type 1- Corefilled blockwork with integrated colour render finish (white)

Type 2- Face brickwork (double) to match architectural finishes and existing remnant brickwork

All finishes to be coordinated with architectural schedules All footings to engineers details.

All subsurface walling and where masonry walls will be in contact with soils, back of walls to be waterproofed and treated as per item 3.0 All planterboxes at height to be fitted with harness points for maintenance access to BCA requirements

Supply and install decking in the configurations shown on the drawings. Decking materials shall be selected for durability and good long term appearance characteristics. Deck material shall be 150mm wide with butted end joints shall be avoided in favour of full length strips. All edges shall be either chamfered or arrised or pencil round. Decking shall be free of knots, shakes, splits and other blemishes that may affect the life of the material. Provide access panels made of deck strips where ever service access is required for drainage maintenance or other services located under the deck. Structural design to engineer's detail.

Type to be 'Spotted Gum' hardwood in 140mm board OR Composite engineered product- Modwood or equivalent 'Silver Gum' wide

board in brushed finish.

Courtyard privacy screens + gates- Match to architectural details and finishes

Boundary fencing- Where new boundary fencing is required, type and final heights to be by negotiation with neighbouring parties and the

KAYMET PTY LTD

RACHEL FORSTER APARTMENTS 134 PITT STREET REDFERN, NSW 2000

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are

to be reported to the Project Manager or Landscape Architect prior to

shown shall be referred to the Landscape Architect for confirmation.

commencing work. Do not scale this drawing. Any required dimensions not

18.8.2016

1.8.2016

Drawn Check Date

Pty Ltd and the instructing party.

ISSUE FOR DA DRAFT FOR REVIEW

Issue Description

CONCEPT FOR REVIEW

formed gardens

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DEVELOPMENT APPLICATION

LANDSCAPE CONCEPTS SECTIONS/DETAILS

Scale: AS SHOWN

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