

POTTS HILL RESERVOIR

Concept Plan: Residential Precincts Design Guidelines

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|-----------|--------------------------------------|-----------|
| | INTRODUCTION | 2 |
| B1 | CHARACTER GUIDELINES | 3 |
| | B1.1 Landscape Character | 3 |
| | B1.2 Residential Character Areas | 4 |
| | B1.3 Built Form Character | 7 |
| B2 | PUBLIC DOMAIN GUIDELINES | 9 |
| | B2.1 Parks + Open Space | 9 |
| | B2.2 Connections to External Streets | 11 |
| | B2.3 Street Types | 12 |
| | B2.4 Plant Types + Materials | 13 |
| | B2.5 Security Fencing | 14 |
| B3 | BUILT FORM GUIDELINES | 15 |
| | B3.1 Residential Building Types | 15 |
| | B3.1.1 Subdivision + Site Planning | 15 |
| | B3.1.2 Building + Lot Types | 16 |
| | B3.1.3 FSR + Lot Size | 19 |
| | B3.1.4 Building Height + Bulk | 20 |
| | B3.1.5 Streetscape/Street Setbacks | 21 |
| | B3.1.6 Side + Rear Setbacks | 22 |
| | B3.1.7 Solar Access | 24 |
| | B3.1.8 Private Open Space | 24 |
| | B3.1.9 Access + Car Parking | 24 |
| B4 | GLOSSARY | 25 |



Figure B1 - Illustrative concept plan

Concept Plan - Residential Precincts Design Guidelines for Potts Hill Reservoir site provides urban design and development control information on the public domain and built form.

The structure of this document is as follows:

- B1 is the Character Guidelines for the site. It describes the overall landscape character, individual character areas, and built form characters for the site. These character descriptions illustrate potential outcomes within the proposed zoning for the site.
- B2 is the Public Domain Guidelines for the site. It describes design objectives for the new parks, connections to external streets, and street types within the new street network. It also provides indicative plant types.
- B3 is the Built Form Guidelines for the site. It describes future development capacity and potential building types for the Residential Precincts. It also includes subdivision and site planning objectives and primary development controls.

OVERALL LANDSCAPE VISION

The landscape vision for the site is to insert a new landscape layer that is informed by the past and present uses of the site (i.e. the existing Sydney Water Corporation (SWC) reservoirs) and provides a meaningful and distinctive landscape that strengthen the character of the site as a whole. The existing landscape of the site consists of pockets of vegetated areas, embankments, indigenous vegetation and historic plantings of Phoenix Palms, site boundary planting adjacent to existing residential allotments and streetscape plantings. The proposed landscape is to rely on the existing vegetation and land forms and will build on these patterns to form a comprehensive design.

The guiding principles of the landscape design are the conservation and enhancement of historic plantings and landscape elements, pedestrian access, integration with surrounding residential allotments, provision of a variety of recreational uses within public domain spaces and the introduction of a distinct landscape character that will define the site. The overall aim is to integrate the subdivision with the surrounding areas through careful consideration of access ways, tree plantings and the provision of extensive open space with clear view lines and thoroughfares. Visual and pedestrian links will ensure that the subdivision can be viewed and comprehended as a distinct neighbourhood that is to be enhanced through the provision of strong entryway statements, tree lined boulevards and the conservation of existing historic plantings. The vision is realised in the following ways:

- The integration of a landscape treatment that is suitable for the size and scale of the proposed public domain to facilitate a sense of community
- Acknowledge existing landscape patterns on the periphery of the residential area by allowing clear sight lines and appreciation of the existing vegetation particularly, the distinctive row of palm trees and mixed plantings.
- Utilisation of drainage corridors to provide alternate green space of low maintenance plantings
- Large scale significant tree planting at entry ways using Kauri Pine reflecting the Waterboard heritage of the site



Figure B1.1.1 - Kauri Pine tree planting at site entries



Figure B1.1.2- Heritage palm planting throughout the site to be retained



Figure B1.1.3 - Swales in the street verge



Figure B1.1.4 - Residential garden planting



Figure B1.1.5 -Residential street tree planting



Figure B1.1.6 - Drainage corridors providing green areas with low maintenance planting



Figure B1.1.7 - Combination of built elements and landscaping to mark entries and define the public and private domain

B1.2 Residential Character Areas

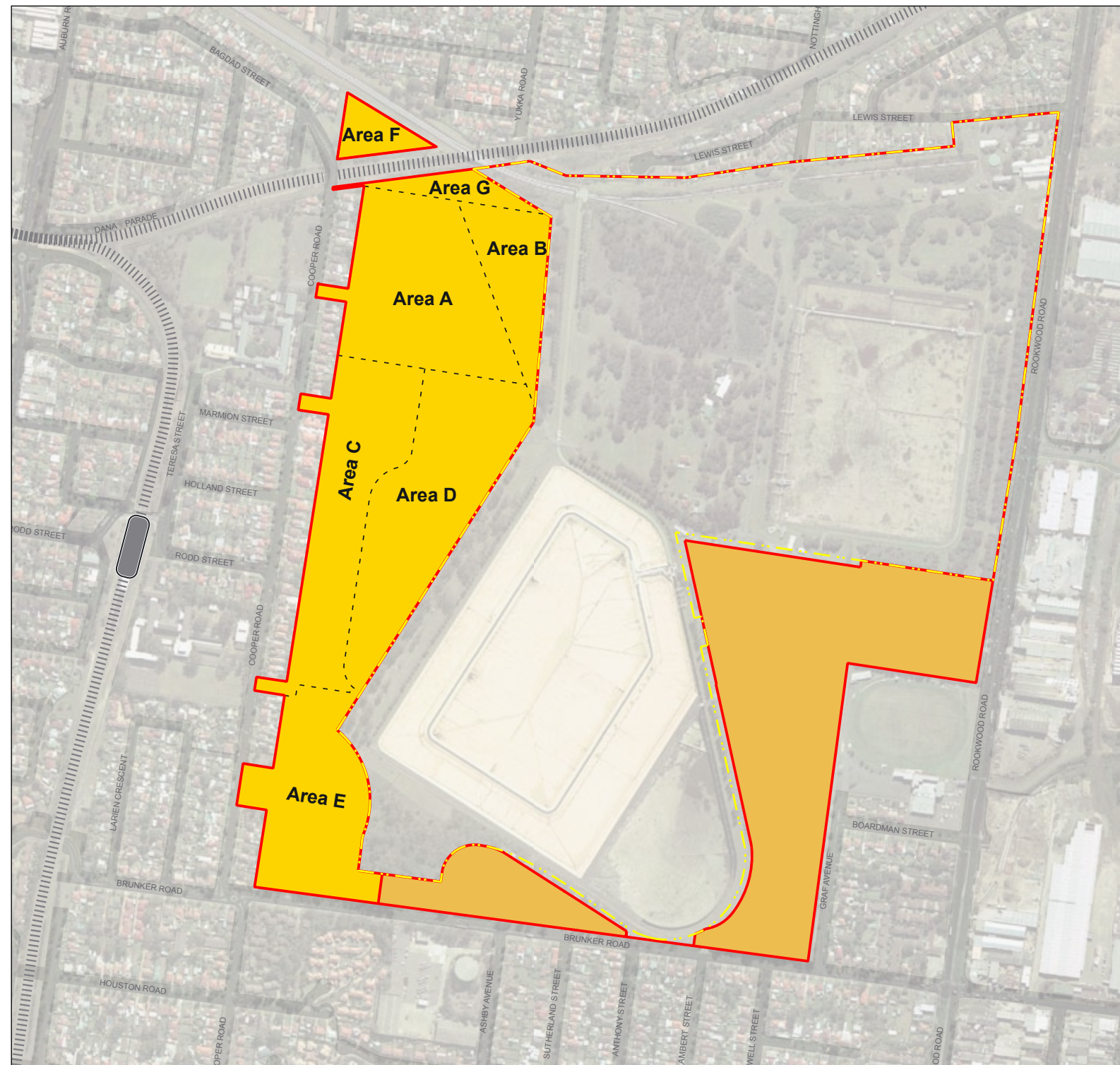


Figure B1.2.1 - Character Areas.

AREA A

Area A is approximately 5.5 hectares in size. The land falls gradually to the north-west and south-west towards Cooper Road with a small spur running east-west through the centre. The area is considered suitable for residential development with opportunities for views of the mountains to the west from the highest point. The east facing lots look over the proposed new park where a row of existing well-established trees will be retained. The existing access point off Cooper Road will be retained and improved as a major entry into this residential development. This entry street is terminated with the new park allowing views over the open space of the SWC site.

Site Access and Street Network

- Provide major street access from the existing entry off Cooper Road.
- Provide secondary streets to break up the parcel into smaller blocks.
- Provide a perimeter street along the proposed park to form the eastern boundary of Area A separating it from Area B.

Views and Vistas

- Maintain views to the Blue Mountains to the west.
- Provide vistas to open space of the SWC site along the new access street off Cooper Road.

Amenity

- Views across open space.
- Views to the mountains.
- Has cycle path on its perimeter.

Land Use and Building Types

- Low density residential.
- Provide larger lots with 1-2 storey detached dwellings addressing major access streets and on corners.
- Provide mid- size lots with detached or zero lot dwellings located mid-block and flanked by the larger corner lots.
- Provide smaller lots with attached dwellings fronting the proposed park in Area B, maximising the number of dwellings with the greatest amenity.

AREA B - MEDIUM DENSITY

Area B is bounded by Area A to the west, the ecological corridor to the north and the residual SWC site to the east. The site, which measures approximately 2.1 hectares is triangular in shape and includes an area of public open space. The irregular shape is due to the retention of the existing rows of mature trees. This area of the site has the greatest amenity due to it being surrounded by open space. This area is ideally suited to medium density residential development.

Site Access and Street Network

- Access from both Cooper Road and the access street from Brunker Road

Views and Vistas

- Views east over SWC site.
- Views to Potts Hill.
- Views north to the ecological corridor.
- Views west to the mountains from the upper storeys.
- Views south over the proposed park.

Amenity

- Proximity to open space.
- The retained trees form a continuation of the ecological corridor between Area D and Reservoir 2.
- Most dwellings will have views over open space.

Land Use and Building Types

- Medium density residential.
- Apartment buildings to be a maximum of three storeys in height.

AREA C

Area C is located behind the existing Cooper Road residential lots. The site, which measures approximately 5.1 hectares, falls steeply from east to west, from the top of the embankment to the rear of the existing dwellings. The embankment is vegetated and should be partly retained as it has the potential to provide a pleasant outlook to any future residential use. Area C is bounded by two areas of open space, one to the north and the other to the south. Both will provide areas of public open space and will accommodate stormwater detention.

Site Access and Street Network

- Access from Cooper Road for the western (lower) lots.
- Access from Brunker Road for the eastern (upper) lots.

Views and Vistas

- Maintain possible views to the mountains to the west from the lots on the upper part of the embankment.

Amenity

- Retention and enhancement of existing vegetation along the embankment will provide a pleasant outlook for future residents.
- Public open space to the north and south of the sites.

Land Use and Building Types

- Residential.
- Dwellings will be built on both the upper and lower parts of the embankment.
- Split-level dwellings on the steeper lots.
- Dwellings to be a maximum of two storeys in height.
- Given the topography, proposed dwellings on the lower part of the embankment may be two-storey split level, garage at street level with two storey residence above.

Landscape Character

- Provide a prominent streetscape character, maximising opportunities presented by the dual road frontages of the existing residences to Cooper Road.
- Larger lot sizes allow for the opportunity to provide for larger scale plantings to rear gardens and encourage increase vegetation within the residential setting.
- Utilise visual opportunities provided by existing embankments and associated tree plantings by encouraging site lines to the east.

AREA D

Area D is located to the west of Reservoir 2. It is positioned on top of the embankment, east of Area C. The 6 hectares area is relatively flat and its elevated position provides views west over the embankment to the mountains. The ecological corridor along the western boundary of Reservoir 2 provides a landscape outlook which increases the amenity of potential residents of this area.

Site Access and Street Network

- Provide a major north-south street along the eastern boundary which connects Brunker Road and the proposed park to the north.
- Provide a secondary local street to follow the contour at the top of the embankment along the western boundary of Area C.
- Provide a grid of secondary streets to subdivide the parcel and allow access to the internal lots.

Views and Vistas

- Maintain views to the west to the Blue Mountains.
- Maintain views to Potts Hill.
- Maintain views to the ecological corridor to the east.
- Provide vistas along the internal east-west streets to the west (mountains).
- Provide a vista along to the north to open space and the ecological lands (part of SWC residual land).

Amenity

- Views to mountains.
- Outlook over the ecological corridor and lands.

Land Use and Building Types

- Residential.
- Locate smaller lots with frontage to the ecological corridor to maximise the number of dwellings with greatest amenity.
- Locate larger lots on corners flanking mid-size lots.
- Provide a dwelling range from attached (small lots) housing to zero lot and detached housing on the mid to larger lots.

Landscape Character

- Encourage sight lines to the ecological corridor to the east.
- Introduce a variety of planting scales to contrast with surrounding street network i.e. intimate scale planting composed of low groundcovers and shrubs to secondary streets running east – west. This encourages visual interaction with the streetscape.
- Carefully considered streetscape planting to reflect close proximity of the delicate ecological community to the east.

AREA E - MEDIUM DENSITY

Area E is a relatively flat and narrow parcel of land overlooking the proposed park to the west. The 4.5 hectare parcel of land has great amenity due to its proximity to the proposed park, ecological lands and potential views.

Site Access and Street Network

- Major access street off Brunner Road.

Views and Vistas

- Maintain views to the west to the Blue Mountains.
- Views over proposed park.
- Views over vegetative corridor to the east.

Amenity

- Proximity to proposed park and ecological lands.
- Good access off Brunner Road.
- Uninterrupted views to the east and west.

Land Use and Building Types

- Medium density residential.
- Apartment buildings - maximum 3 storeys.

AREA F

Area F is a triangular parcel of land located to the north of the site on Bagdad Street where it meets Cooper Road. It measures approximately 0.7 hectares and is bounded to the north by the water pipeline and to the south by the railway line.

Site Access and Street Network

- Provide access via a new cul-de-sac off Bagdad Street.

Land Use and Building Types

- Residential.
- 1-2 storey detached dwellings.

AREA G - ECOLOGICAL CORRIDOR

Area G is approximately 0.76 hectares in size. The site falls away to the north-west towards the railway line and is in some parts quite steep. Most of the site is heavily vegetated and forms part of the significant ecological corridor which runs through the SWC site. The site should be appropriately fenced and retained as part of the ecological corridor.



Figure B1.4.1.1 - Combination red, blue grey and dark brown tones on the facade to strengthen the brick expression



Figure B1.4.1.2 - Contemporary architectural design with exposed brick finishes



Figure B1.4.1.3 - Material finishes with exposed brick and timber are encouraged



Figure B1.4.1.4 - Illustrative Streetscape Character



Figure B1.4.1.5 - Two-storey detached houses with 15m wide frontage lots. Low pitched roof with wide eaves contribute to the horizontal proportions of the houses.

B1.3.1 Residential Built Form Character Elements

Parcels A, B, C, D, E and F will have the following housing types:

- Terrace Lots
- Terrace/Duplex Lots
- Small House Lots
- Traditional Lots
- Bush Reserve Lots
- Garden Apartment Lots
- Aged Care

Character Elements

The desired built form character responds to the topography, existing vegetation and landscape heritage items and the SWC structures and operation with:

- Limiting the height of dwelling houses to a maximum of two storeys and a maximum of 3 storeys for apartment buildings.
- Red, blue grey and dark brown tones of brick complementing the dark tones of existing vegetation.
- Architectural expression of strong exposed brick/masonry structure.
- Natural or painted timber detail to complement the brighter colours of proposed brick and the dark shade of the existing vegetation.
- Low roof pitches and generous eaves to enhance the horizontal proportions of the dwelling.
- Generous backyards to promote retention of existing trees and native planting.
- Contemporary building design.



Figure B1.4.1.6 - Architectural expression of strong brick structure



Figure B1.4.1.8 - Aged care residential houses

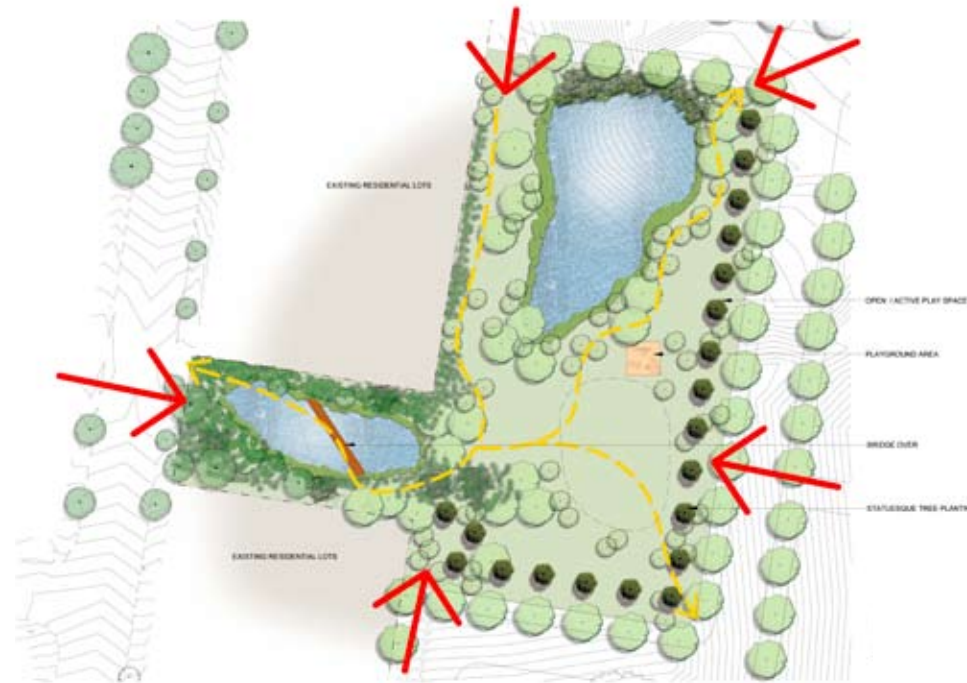
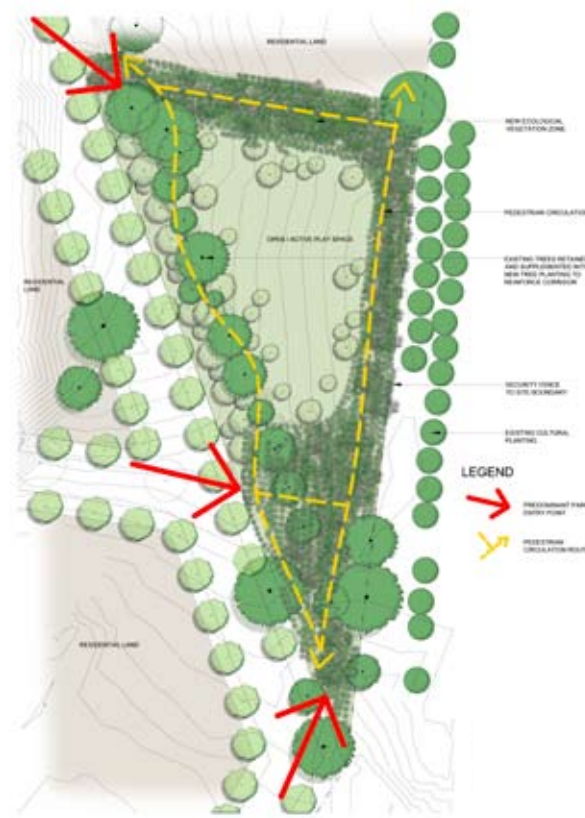


Figure B1.4.1.7 - Attached houses in 8.5m width lots



Figure B1.4.1.9 - Apartment types along the Brunker Road in a garden setting

B2.1 Parks + Open Space



Canal Park

- Recognise and strengthen existing landscape patterns that exhibit a strong legacy of the SWC use of the site.
- Retain and highlight the strong architectural planting of the 1920's contrasting to more recent layers of vegetation such as planting of Eucalypts in the 1970's.
- Encourage a clear entry to the park from surrounding regional area.
- Encourage pedestrian access through the park.
- Compliance with CPTED guidelines through the provision of sight lines and clear accessways through vegetated areas.

Cooper Road Park

- Provide pedestrian access through the park.
- Provide clear site lines and combine an informal and formal character in keeping with the site's heritage character.
- Accommodate the hydraulic requirements through the incorporation of landscape features and open grassed areas.
- Provide for informal recreation areas.
- Acknowledge the form of the park through the design of that part of the park that is adjacent to the street, providing a "pocket park" character to the site. Intimate and smaller scale open spaces to provide for informal recreational uses for immediately adjacent existing residential lots.
- Provide a link from existing residential into the new subdivision.



Figure B2.1.1 - Canal Park



Figure B2.1.2 - Cooper Road Park



Figure B2.1.3 - Playground Area - Cooper Road Park

Brunker Road Ecological Reserve and Park

- Provide for the open space requirements of the area through the provision of both open grassed areas for informal ball play and shaded areas for protection and sitting opportunities.
- Ensure connections to external street network integrate open space into the functional requirements of the site and its surroundings.
- Significant cultural plantings of Kauri Pines and associated landscape elements introduced to form landmark entries thereby extending the landscape character of the site to the surrounding area.
- Integrate with the surrounding neighbourhood through public domain planting.
- Integrate the ecological areas into the site by ensuring that these areas are fully marked and fenced combined with interpretation points to clarify the layering of the site.
- Accommodate the hydraulic issues through the careful placement of informal grassed areas that may act as overflow areas for the site.
- Investigate possibilities of feature dry creek beds etc. to cultivate a contrasting landscape architectural language to the heritage values of the site.



Figure B2.1.4 -Brunker Road Ecological Reserve and Park

B2.2 Connections to External Streets

- Significant cultural plantings of Kauri Pines and associated landscape elements introduced to form landmark entries creating an extension of the genus loci of the site and surrounding area.
- Integrate the surrounding neighbourhood by public domain planting.

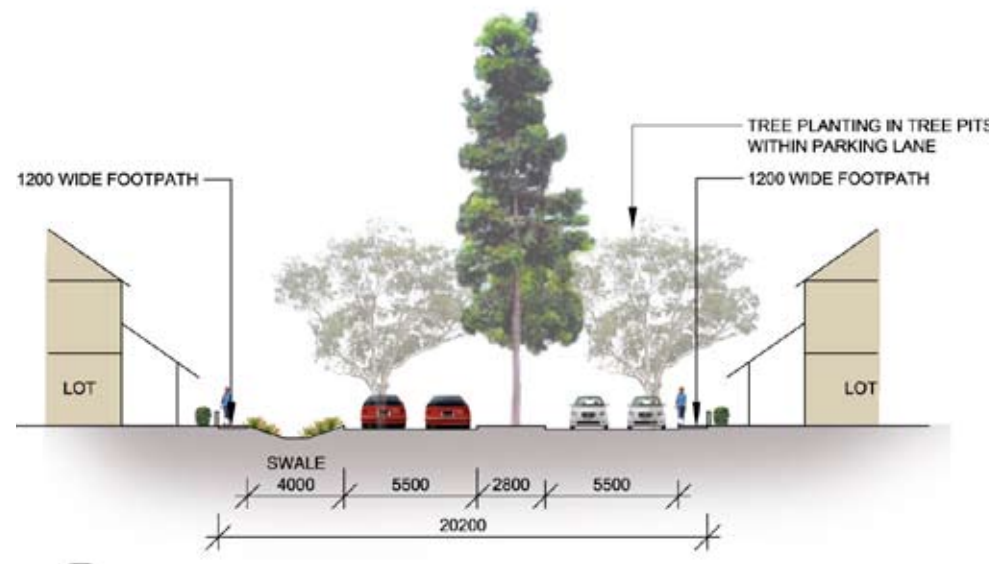


Figure B2.2.1 - Identity planting at Cooper Road marking new primary local street with parking leading to park

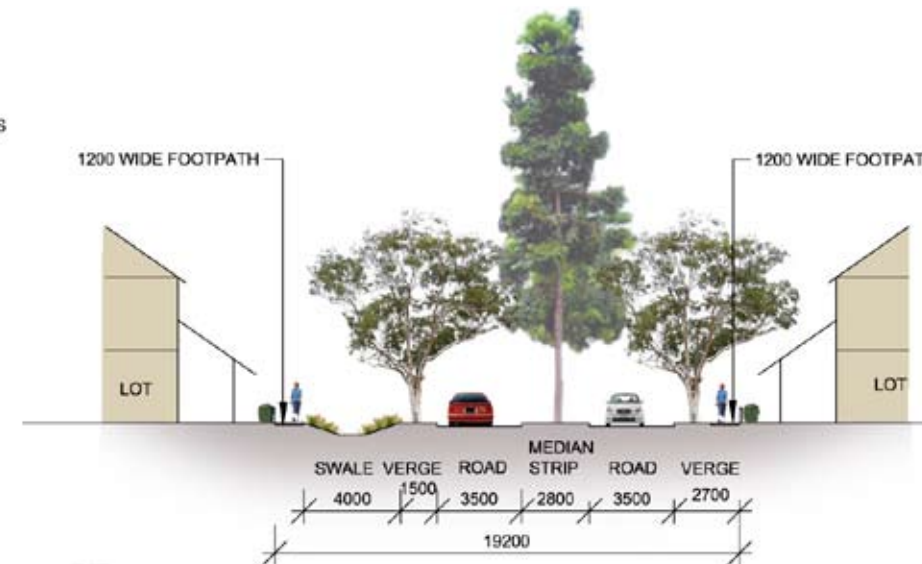


Figure B2.2.2 - Identity planting at Cooper Road marking new primary local street without parking leading to park

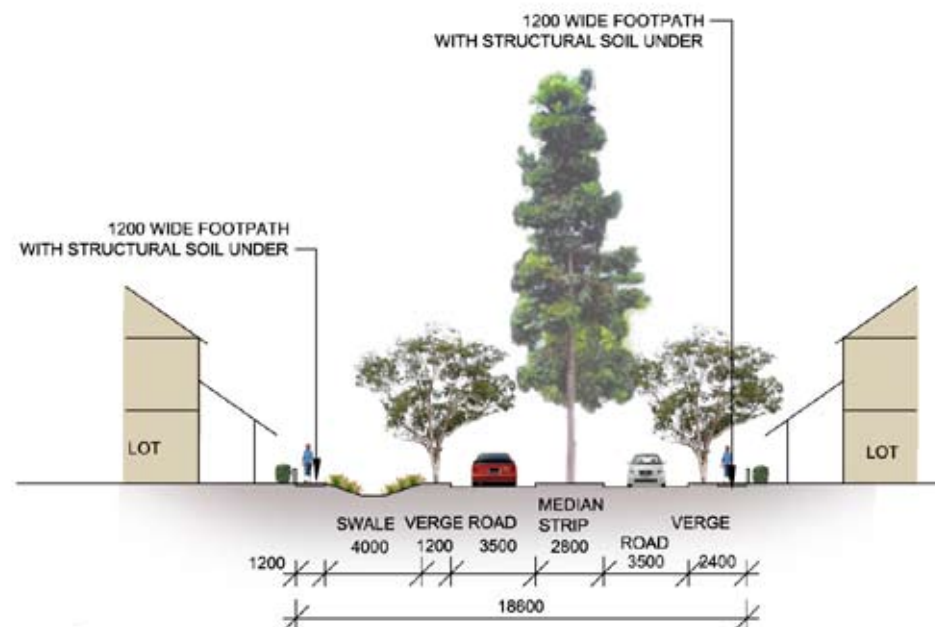


Figure B2.2.3 - Identity planting at Cooper Road and new secondary local street

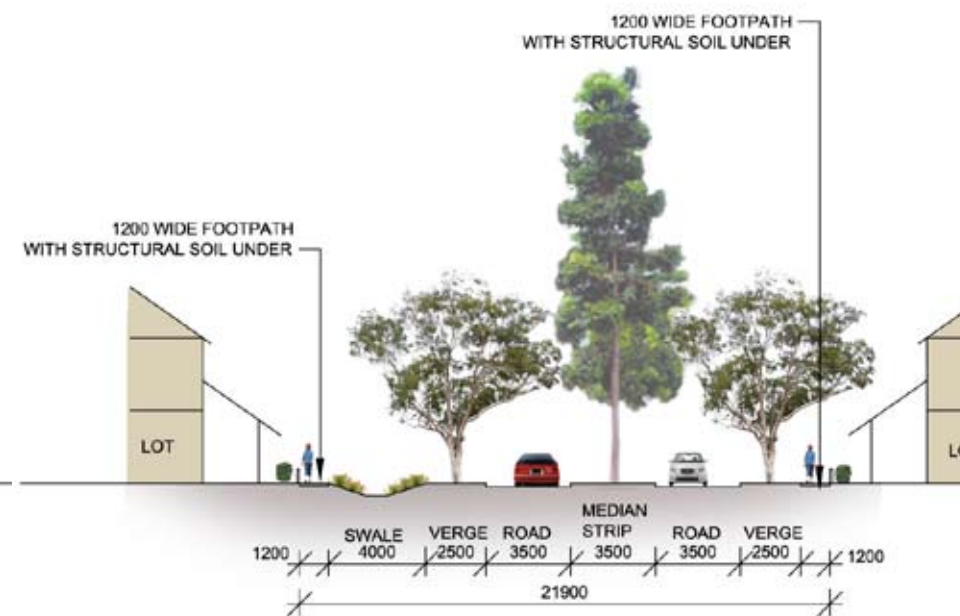


Figure B2.2.4 - Identity planting at Brunner Road and new primary local street

B2.3.1 Local Street Types

The local streets on development area can be categorized in three main types as follow:

Street Type A1:

- These streets are the primary local streets leading to park.
- Carriageways are wide and accomodate street parking on each side.
- The 3m development verge on both side of the road will have 1.2m wide footpath together with turf and street planting.
- Surface stormwater is directed to the 4m wide central swale.
- Swale will be planted with native grasses.

Street Type A2:

- These streets are the primary local streets along the reserve edge.
- Carriageways are wide and accomodate street parking on each side.
- The 3m development verge along the residential side will have a 1.2m wide footpath with turf and street planting.
- The verge along the reserve will be dedicated to a 4m wide swale and 1.6m wide buffer street planting.
- Swale will be planted with native grasses.

Street Type B1:

- These streets are secondary local streets in the residential area.
- Carriageways are narrow and accomodate parking on only one side of the road.
- The 2.4m development verge along the residential housing will have 1.2m wide footpath together with the turf and street planting.
- Surface stormwater is directed to the 4m wide swale located along the roadside with no parking lane.
- Swale will be planted with native grasses.

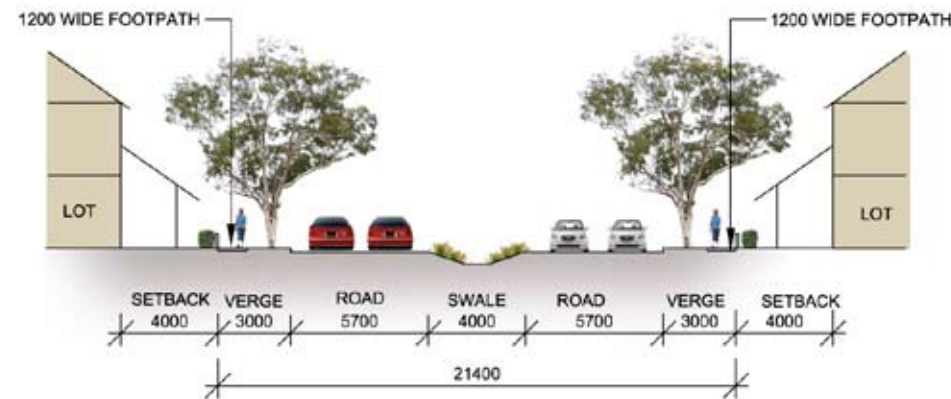


Figure B2.3.1 - Type A1 : Primary local street leading to park

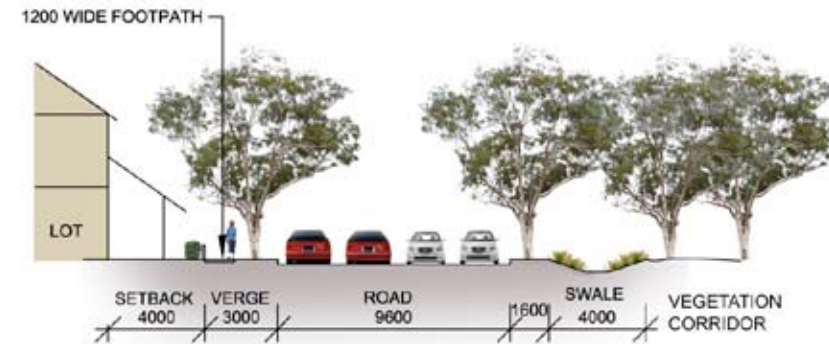


Figure B2.3.2 - Type A2 : Primary local street along reserve

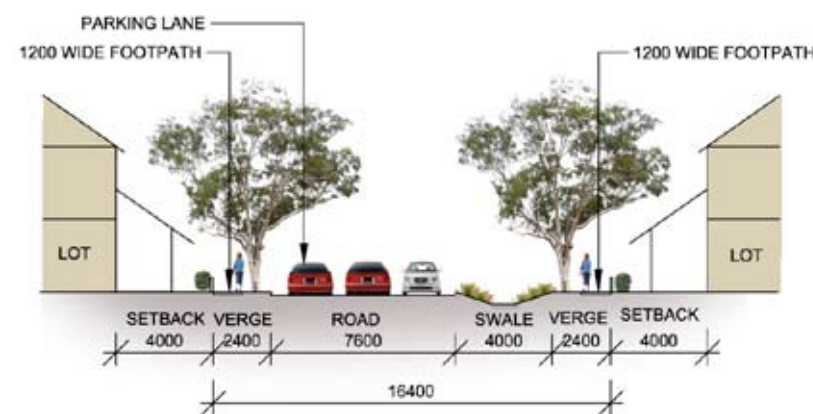


Figure B2.3.3 - Type B1 : Secondary local street