

B2.4 Plant Types + Materials



Figure B2.2.1 - *Agathis robusta* (Kauri Pine)



Figure B2.4.2 - *Eucalyptus tereticornis* (Forest Red Gum)



Figure B2.4.3 - *Eucalyptus moluccana* (Grey Box)



Figure B2.2.4 - *Eucalyptus crebra* (Narrowed-Leaf Ironbark)



Figure B2.4.5 - *Casuarina glauca* (Swamp Oak)

- Plant selection will complement and enhance the cultural and natural patterns that exist on the site.
- Colour, texture and form of the proposed vegetation to be carefully selected as a new landscape layer to the site to be distinguished from original site vegetation.
- Plant selection to the entries to complement the existing cultural planting in terms of stature and height.
- Existing Indigenous vegetation communities to be retained within the park zones.
- Embankment plantings to be consistent with existing Indigenous species to reinforce local landscape character.
- Street trees consist of a selection of both exotic and native trees suitable to the site and area.
- Subsidiary cultural planting to both open space and individual lots clarified through a careful selection of both exotic and native planting.
- Plant selection to be mindful of low water use.
- Existing landforms of embankments to be utilised for additional landscaping, plant selection to strengthen the existing Indigenous vegetation community on site.



Figure B2.5.1 - Dark coloured chain link security fence screen by landscaping



Figure B2.5.2 - Dark coloured, chain mesh fence set within landscaped

Objectives:

- To ensure that fencing does not detract from the overall visual amenity and landscape character of the Potts Hill site.
- To ensure that fences are sympathetic to the design of the buildings and do not dominate the streetscape.
- To provide security for the reservoir site.
- To ensure that fencing does not interrupt authorised pedestrian permeability through the site.
- To ensure that fencing does not impact upon or compromise the integrity and security of the adjoining reservoir site.

Design Guidelines:

1. A 2.95m high chain link security fence to be provided along the boundary of Sydney Water operational land.
2. Landscaping shall be provided to screen the security fence and soften the visual impact, however, the landscaping is not to impede any security surveillance or light spill.



Figure B2.5.3 - Dark coloured chain link security fence

B3.1.1 Subdivision and Site Planning Objectives

- To ensure subdivision of superlots reinforce the Potts Hill Neighbourhood urban structure and desired future character.
- To reinforce the street hierarchy and to ensure a cohesive public domain design throughout the Potts Hill Reservoir neighbourhood.
- To provide a variety of housing types to promote housing choice and affordability.
- To enhance the amenity of higher density housing types by locating it along park and/or reserve frontages.
- To locate less dense housing types on smaller streets and adjacent existing development along Cooper Road.
- To appropriately locate housing types in relation to lot orientation, size and shape.
- To distribute building form and height to optimise solar access to main living areas and rear gardens.
- To ensure corner lots positively address both street frontages.
- To promote contiguous open spaces and tree planting areas between adjoining properties to encourage mid-block tree planting.



Figure B3.1.1.1 - Lots Subdivision

B3.1.2 Building and Lot Types

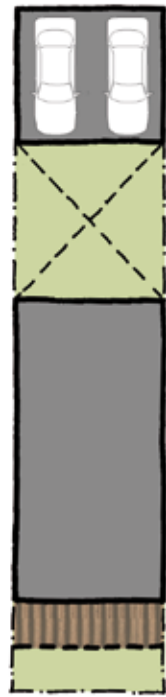
Building types provide indicative illustrations of possible design outcomes on various lot sizes, shapes and orientations. They respond to the desired future character of the Potts Hill Reservoir Neighbourhood and its precincts.

Within the Potts Hill Reservoir Neighbourhood there are lot types, which support a range of housing types, including the following:

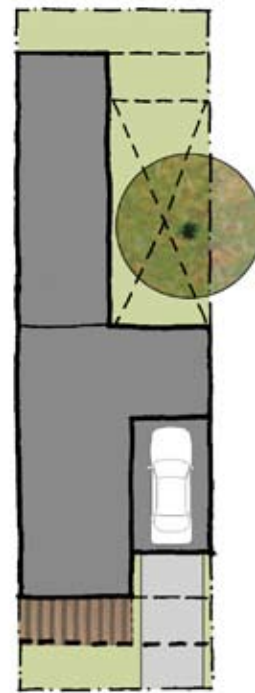
- Lot Type 1: Terrace/Duplex Lots
- Lot Type 2: Small House Lots
- Lot Type 3: Traditional Lots
- Lot Type 4: Neighbourhood Lots
- Lot Type 5: Bush Reserve Lots
- Lot Type 6: Garden Apartment Lots

Objectives:

- To reinforce the desired future character of the Potts Hill Reservoir neighbourhood.
- To respond to the street hierarchy and corresponding street character with appropriately located building types.
- To promote housing types that respond to their lot configurations including size, shape, slope and orientation.
- To provide a variety of lot sizes to promote housing choice and affordability.
- To encourage housing with better environmental performance, which at a minimum meet BASIX requirements.



INDICATIVE PLAN: Terrace/ Duplex Lots
Figure B3.1.2.1 - min 6.5m frontage
Attached Laneway Access



INDICATIVE PLAN: Terrace/ Duplex Lots
Figure B3.1.2.2 - min 8.5m frontage
Attached with 1 car garage

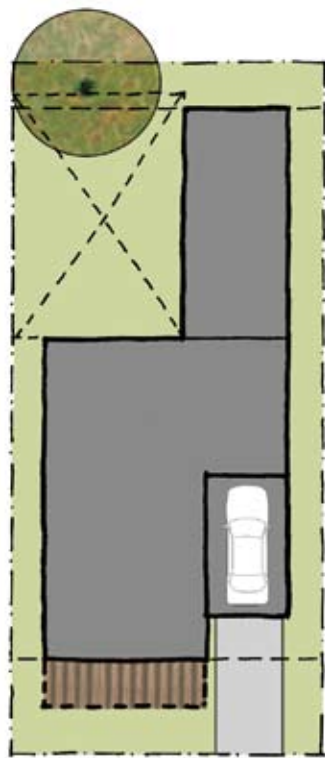


INDICATIVE PLAN: Terrace/ Duplex Lots
Figure B3.1.2.3 - min 8.5m frontage
Attached with 1 car garage & 1 carport

Lot Type 1: Terrace Lots/ Duplex Lots

- Suits attached and semi attached dwellings
- Minimum 6.5m minimum. Preferred frontage 8.5m
- Minimum 195m² lot area. Preferred lot area 255m²
- Rear lane or car court vehicular access
- Street vehicular access on site with a slope >10%
- Limited to 8 attached dwellings in a row with 2m minimum building separation between groups
- Single or two storey
- Located along park frontage or landscape reserve frontage

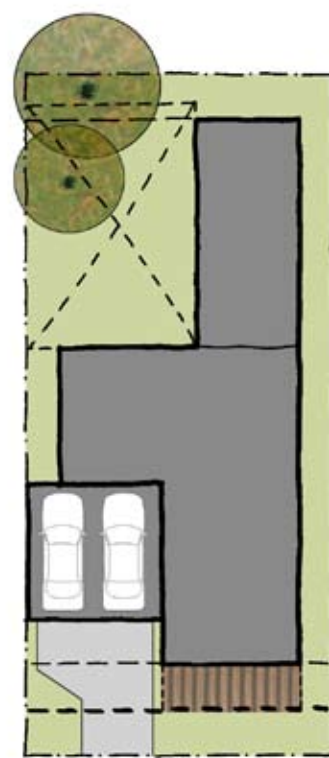
B3.1 Residential Building Types



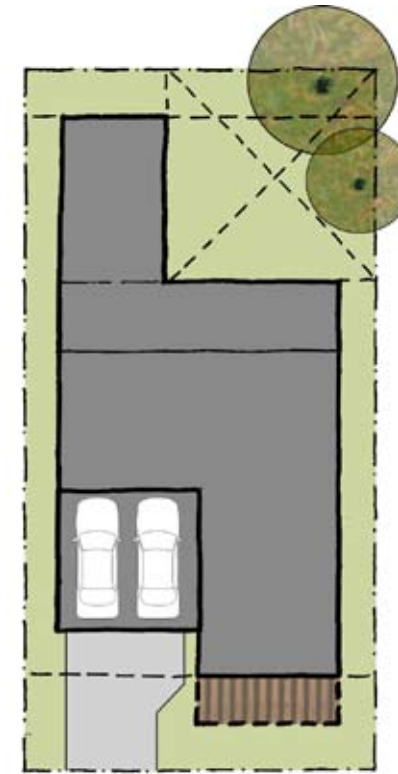
INDICATIVE PLAN: Small House Lots
Figure B3.1.2.4 - min 13.5m frontage
Detached house with 1 garage

Lot Type 3: Small House Lots

- Suits zero lot or detached dwellings
- 13.5m minimum lot frontage
- 405m² typical lot area
- Street vehicular access
- Single or two storey



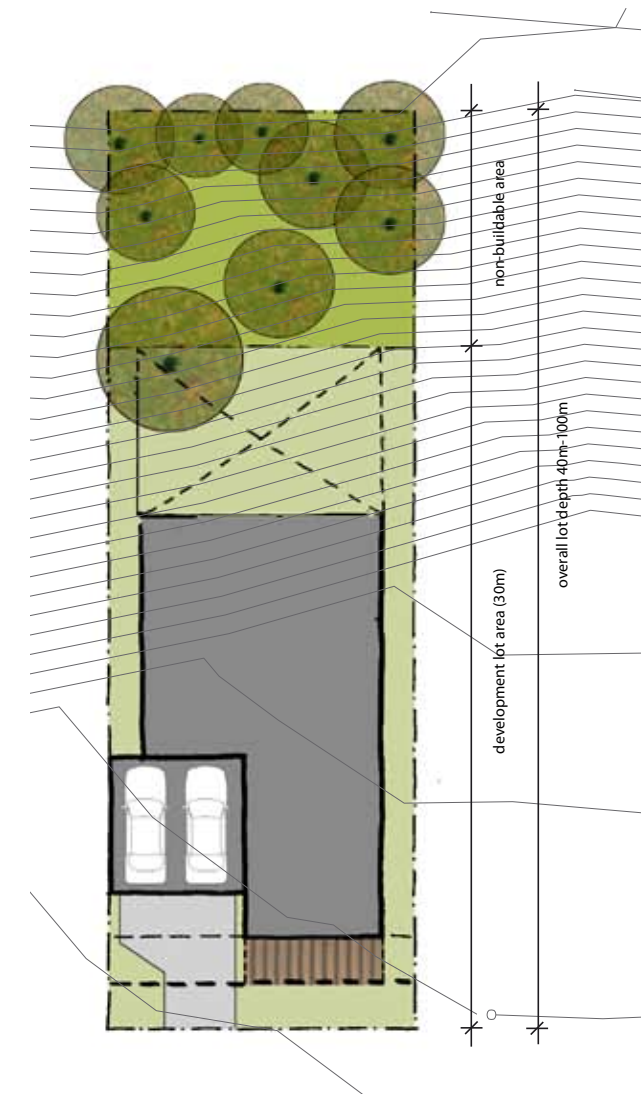
INDICATIVE PLAN: Small House Lots
Figure B3.1.2.5 - min 13.5m frontage
Semi attached with 2 car garage



INDICATIVE PLAN: Traditional Lots
Figure B3.1.2.6 - min 15m frontage

Lot Type 4: Traditional Lots

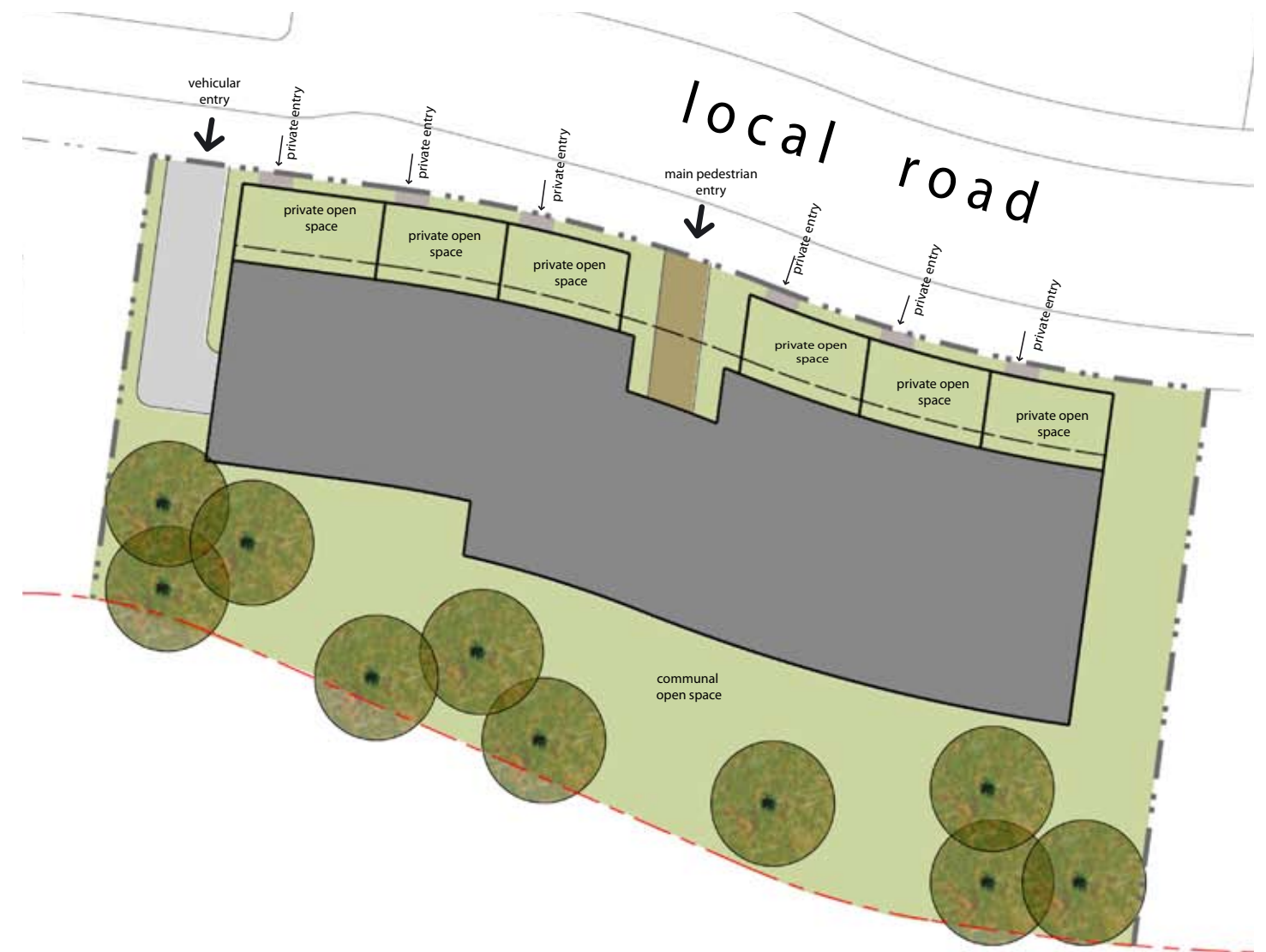
- Suits detached dwellings
- 15m minimum lot frontage up to 18m lot frontages
- 450m² typical lot area up to 540m²
- Street vehicular access
- Single or two storey



INDICATIVE PLAN: Bush Reserve Lots
Figure B3.1.2.7 - min 13.5m frontage
Semi attached with 2 car garage

Lot Type 5: Bush Reserve Lots

- Suits zero lot or detached dwellings
- 13.5m minimum lot frontage
- Lot depth varies from 40m to 100m
- Street vehicular access
- Lots include embankment and associated vegetation
- Single or two storey
- May requires split level construction on slope greater than 10%



INDICATIVE PLAN; Garden Apartment Lots
Figure B3.1.2.8 - min 35m frontage

Lot Type 6: Garden Apartment Lots

- Suits walk-up, big house or small apartment buildings
- 35m minimum lot frontage
- 2000m² minimum lot size
- 3 storey maximum
- Secondary street vehicular access, where possible
- Refer to NSW Department of Planning SEPP 65: Design Quality of Residential Flat Development
- Leafy, garden setting with significant tree planting/vegetation in communal areas. Many have outlook to ecological reserve and open space.

B3.1 Residential Building Types

B3.1.3 Floor Space Ratio, Site Coverage and Lot Size

Objectives:

- To control the size, bulk and scale of development to reflect the desired future character of the neighbourhood.
- To ensure the design of buildings respond to their lot size, shape and orientation.
- To provide adequate residential amenity within the site and between adjacent properties.

Dwelling House Guidelines:

- For terrace houses on lots < 260m², the maximum floor space ratio is 0.7:1.
- For Bush Reserve lots, the maximum floor space ratio is 0.5:1 and is calculated based on the developable area.
- Site coverage for single storey dwelling houses on lots >350m² to be maximum 60% of the total site area.
- Site coverage for two storey dwelling houses on lots >350m² to be maximum 50% of the total site area.
- Site coverage for dwelling houses on lots <350m² to be maximum 60% of the total site area.

Apartment Guidelines:

- For apartment buildings, the maximum floor space ratio is 0.7:1.



Figure B3.1.3.1 - Building Height Distribution

KEY

	Potts Hill site boundary
	SHR boundary
	Railway station
	Railway line
	2 storey building
	3 storey building
	Business Park
	proposed public open space

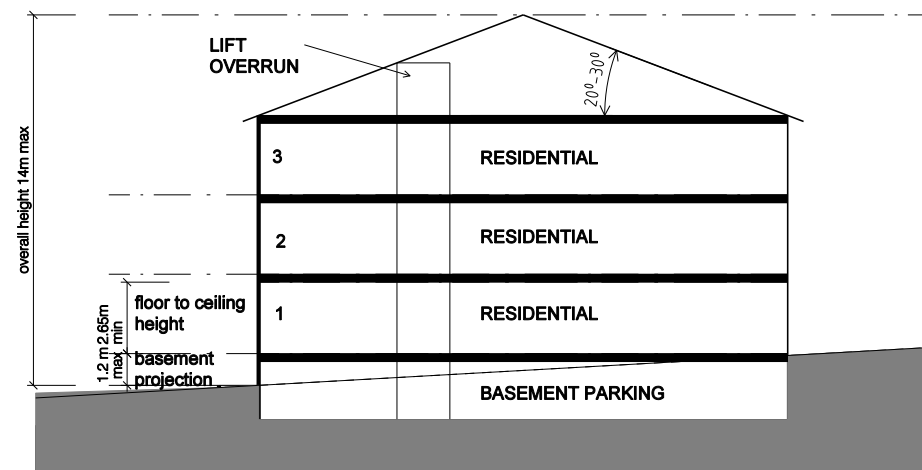


Figure B3.1.3.2 - 3 Storey Apartment Building Height Control

B3.1.4 Building Height and Bulk

Objectives:

- To ensure development responds to the desired scale and character of the neighbourhood.
- To establish the desired spatial proportions of the street and define the street edge.
- To ensure houses are designed in proportion to their lot and respond to its slope.
- To ensure that apartment buildings respond to the built form pattern and scale of surrounding development.
- To minimize overshadowing of private open space within the lot and on adjacent lots.
- To ensure solar access to principal living areas and promote good environmental performance.

Dwelling House Guidelines:

- The overall building height is 2 storeys and 9 metres including roof form.
- The overall height for a detached garage is 4.2m.
- The minimum ceiling height is 2650mm for the ground floor living areas.
- Building height is to be distributed to optimise solar access on the development site and adjoining sites in response to lot orientation and slope. Refer to Figure 3.1.3.1: Building Height Distribution on Lots.
- Roof pitch should be minimum 10 degrees for skillion roof forms and between 20 and 30 degrees for gabled or hipped roof forms.

Apartment Guidelines:

- Building heights are to be in accordance with Figure B3.1.3.2: Apartment Building Height Control.

AREA B + AREA E

- The overall building height is to be 3 storeys and 14m inclusive of lift overrun and roof form.
- A minimum 2.5m upper level setback is required to the third storey.
- A break or gap in the building is to be introduced at a maximum 30m intervals to reduce the visual building bulk along the street.
- Maximum building depth measured from wall to wall is 18m.

B3.1.5 Streetscape/Street Setbacks

Objectives:

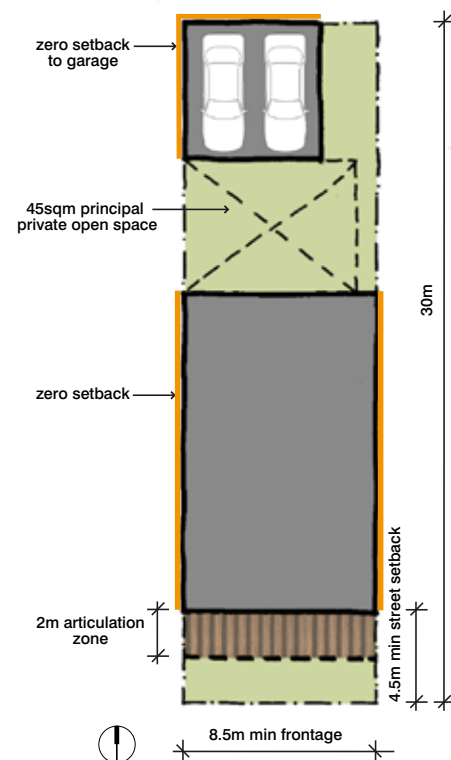
- To ensure that development enhances the visual character and amenity of the street in response to the street hierarchy.
- To ensure buildings address the street and are designed to provide surveillance of streets and public open spaces.
- To ensure buildings on corner sites address both street frontages.
- To limit the visual impact of garage frontages on the street.
- To promote articulation of the street edge with building elements such as verandahs, building entries, and balconies.
- To assist in achieving visual privacy from the street.
- To enhance the landscape setting along Brunner Road.

Dwelling House Guidelines:

- Street setbacks are a minimum of 4.5m.
- Verandah, porches, building entries and balconies may project into the street setback within an articulation zone 2m deep and up to 70% of the building frontage.
- Garages are to be setback a minimum 1m from the main façade of the building and 5.5m from the front boundary.
- Dwellings are to address the street with entries located along the street frontage.
- For terrace houses on corners, the secondary street setback is to be 1m.
- For dwelling houses on corners, the secondary street setback is to be 3m for a maximum length of 9m along the street frontage and 4m for the length of frontage beyond 9m.

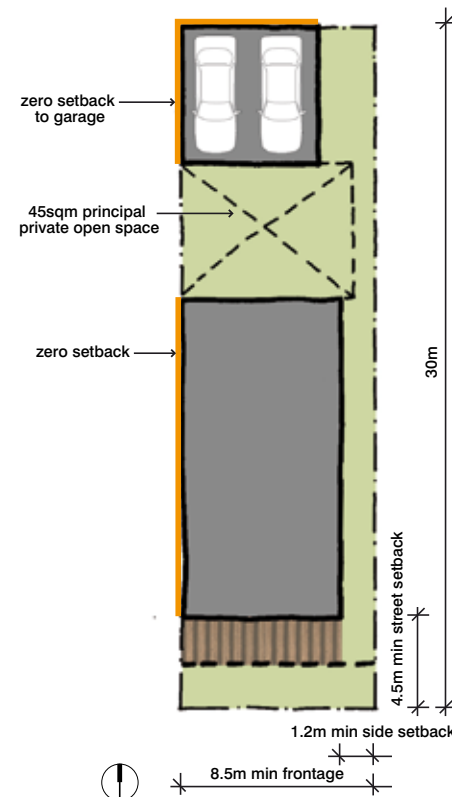
Apartment Guidelines:

- Street setbacks are typically a minimum of 6m, except along Brunner Road, where street setbacks are a minimum 7.5m.
- Private courtyards for ground floor apartments may be included in street setbacks along local streets.
- Along Brunner Road, the street setback is to be a landscaped area contributing to the existing landscape setting of the street.
- Underground car parks may not protrude into the street setback zone.
- Main building entries are to be clearly defined along the street frontage.
- Secondary entries to ground floor units are to be provided along the street frontage.



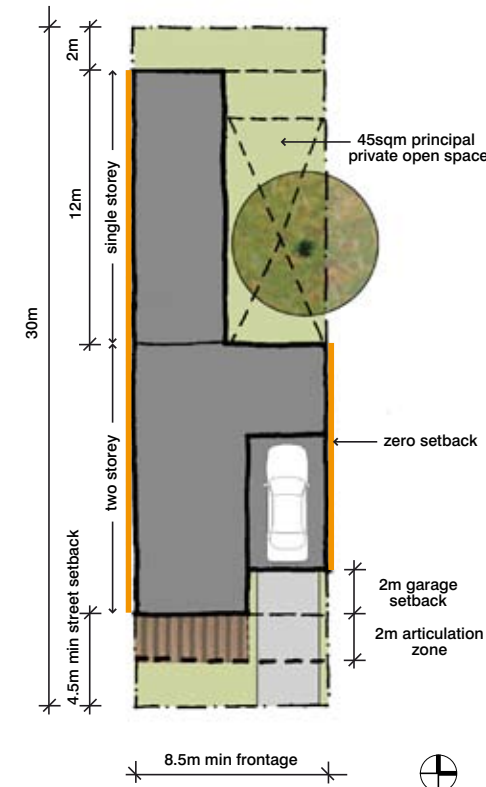
INDICATIVE PLAN

Figure B3.1.5.1 - min. 8.5m width frontage building (option 1) showing minimum side and rear setbacks



INDICATIVE PLAN

Figure B3.1.5.2 - min. 8.5m width frontage building (option 2) showing minimum side and rear setbacks



INDICATIVE PLAN

Figure B3.1.5.3 - min. 8.5m width frontage building (option 3) showing minimum side and rear setbacks

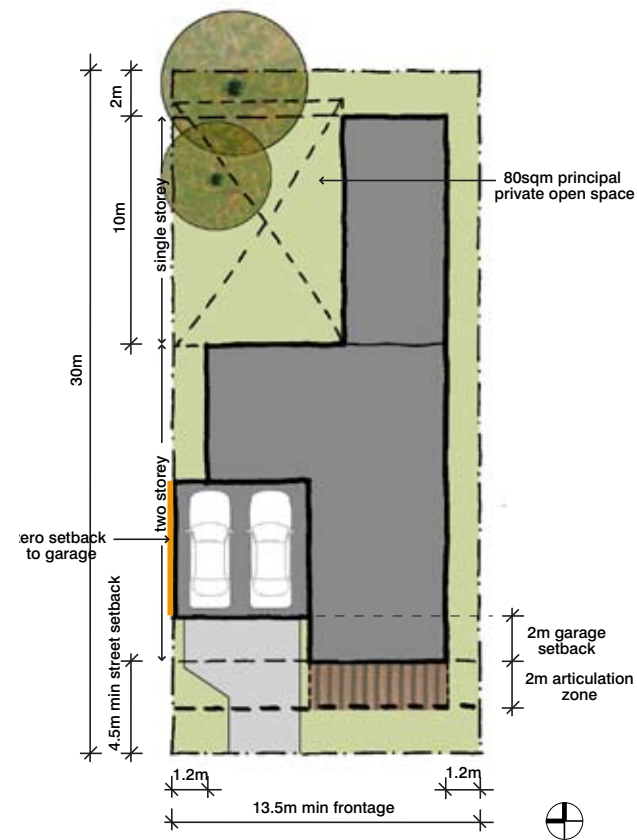
B3.1.6 Side & Rear Setbacks

Objectives:

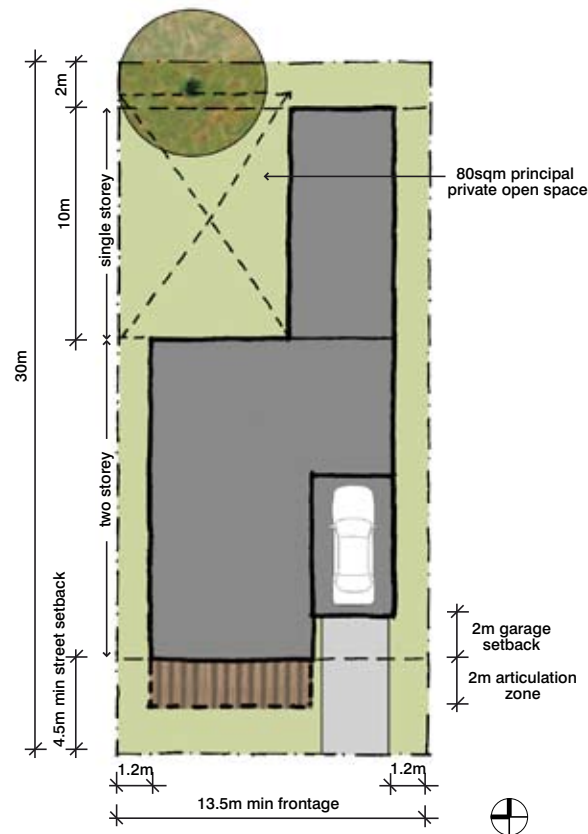
- To enhance the landscape setting of the neighbourhood by promoting planting between buildings and in rear gardens and communal open spaces.
- To promote view corridors between buildings to open space reserves and to sky, particularly in apartment areas.
- To minimise overshadowing of adjacent dwellings and their associated private open space.
- To provide visual and acoustic privacy for residents and neighbours.

Dwelling House Guidelines:

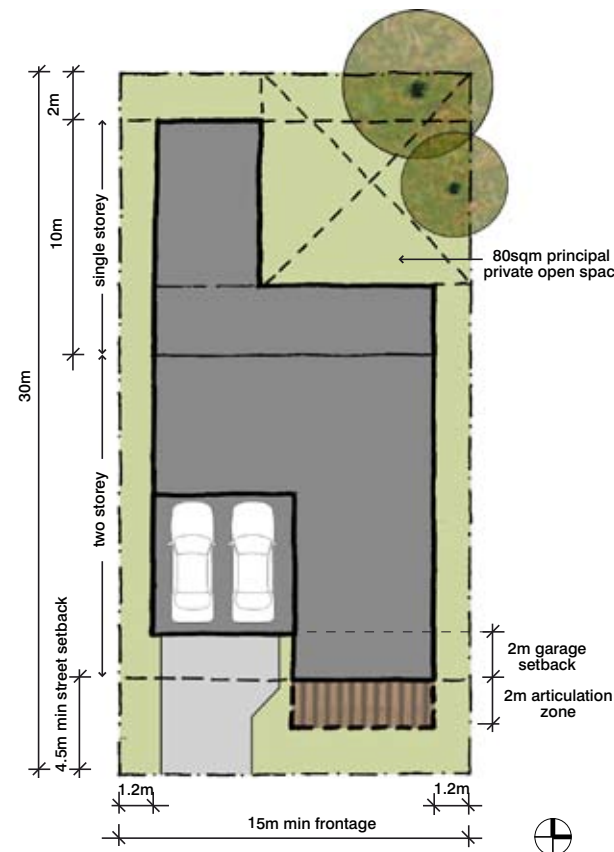
- Individual lots are to be designed to meet the following minimum side setbacks:
- Terrace lots – 0m
- Small lot, duplex and zero lots – 0m to one side; 1.2m the other side.
- Detached dwelling lots – 1.2m on both sides
- The minimum rear setback for the ground floor is 2m.
- The minimum rear setback for the upper level is 6m.
- Garages on laneways are to have 0.6m setback.



INDICATIVE PLAN
Figure B3.1.6.1 - min. 13.5m width frontage building (option 1) showing minimum side and rear setbacks



INDICATIVE PLAN
Figure B3.1.6.2- min. 13.5m width frontage building (option 2) showing minimum side and rear setbacks



INDICATIVE PLAN
Figure B3.1.6.3 - min. 15m width frontage building showing minimum side and rear setbacks



INDICATIVE PLAN
Figure B3.1.6.4 - garden apartment setbacks

Apartment Guidelines:

- Side setbacks for apartments are to be a minimum of 6m.
- Building separation for apartment buildings shall be in accordance with SEPP 65.
- Rear setbacks for apartments are to be a minimum 6m.

B3.1.7 Solar Access

Objectives:

- To maximise solar access to private open spaces and living areas of dwellings.

Dwelling House Guidelines:

- Windows to a main living area are to achieve 3 hours of sunlight between 9am and 5pm on 21 June.
- A minimum 50% of principal private open space is to achieve 3 hours of sunlight between 9am and 5pm on 21 June.

Apartment Guidelines:

- A minimum 70% of dwellings are to achieve 3 hours of sunlight between 9am and 5pm on 21 June.

B3.1.8 Private Open Space and Landscaping

Objectives:

- To ensure that useful and purposeful private open space is provided adjacent to internal living areas.
- To ensure that landscaped areas are useable and maintainable spaces that contribute to the open space structure of the area.
- To achieve a garden setting for apartment buildings.
- To promote use of native species within gardens.
- To facilitate contiguous mid-block tree planting.
- To contribute to water and stormwater efficiency.

Dwelling House Guidelines:

- For lots <300m² a minimum of 45m² of private open space with a minimum dimension of 4m is to be provided.
- For lots 300m² - 400m² a minimum of 60m² of private open space with a minimum dimension of 4m is to be provided.
- For lots >400m² a minimum of 80m² of private open space with a minimum dimension of 6m is to be provided.
- Private open space is to be located behind the front building line and adjacent main living area and to comply with solar access requirements.
- Principle private open space is to be located directly accessible from and adjacent to the main living area.
- Principle private open space to be located with northwest or easterly aspect where possible to maximise solar access.

Apartment Guidelines:

- For ground level apartments, a primary private open space is to be provided as a courtyard with a minimum area of 25m² with a minimum dimension of 4m.
- All dwelling units without ground floor courtyards are to have a primary balcony with a minimum 2.5m depth and with a minimum area of 8% of the dwelling unit floor area.
- Principle private open spaces and balconies are to be located directly accessible from and adjacent to a main living area.
- Principle private open spaces are to be located with north, west or easterly aspect, where possible, to maximise solar access.
- A minimum 25% of the site area is to be provided as communal open space.
- A minimum 15% of the site area is to be provided as deep soil for tree planting.

B3.1.9 Access and Carparking

Objectives:

- To promote development, which is well connected to the street and which contributes to the accessibility of the public domain.
- To create building entries, which provide desirable residential identity for the development.
- To minimize the visual impact of vehicular entries.
- To provide safe pedestrian access to buildings and along streets.
- To orient the visitor.
- To provide sufficient vehicle access and parking.
- To minimise conflicts between basement car parks and landscape quality.
- To minimise conflicts between pedestrian and vehicular movement.

Dwelling House Guidelines:

- The garage door must be less than 50% of the dwelling façade width and no wider than 5m with a maximum height of 2.4m.
- The width of driveway is a maximum 4m wide at the boundary and located a minimum 1.5m from the side boundary.
- Car parking spaces are to be provided in accordance with Bankstown Development Control Plan 2005, Part D8 Parking.

Apartment Guidelines:

- Basement carparking is to be located fully below natural ground level where possible. Where this can not be achieved due to topographic constraints, a maximum protrusion of 1.2m above ground is permitted.
- No more than one 2-way vehicular access point is to be provided per apartment building.
- Car park access is to be provided from secondary streets or laneways where possible.
- The width of driveways and garage doors is to be minimised.
- Driveways and car park access are to be located to ensure safe pedestrian entry and circulation.
- Car parking spaces are to be provided in accordance with Bankstown Development Control Plan 2005, Part D8 Parking.

- *Articulation zone* – the area of three dimensional modelling at the periphery of the building including any changes in the façade alignment, balconies, bay windows and sunshade devices.
- *Building height* - means the distance measured vertically from the highest point on the roof of a building (not including a chimney, vent, or other service installation) to the natural ground level immediately below that point. (Bankstown DCP)
- *Communal open space* – means the open space on an allotment that is accessible to all residents of a multi-unit development. Swimming pools and pathways are included as part of the communal open space. Driveways and parking areas are not included.
- *Developable site area* – the total site area excluding any Environmental Protection Areas. The floor space ratio is calculated on the developable site area only. It does not include the non buildable area in the Bush Reserve Lots.
- *Dwelling house* – means a building containing only one dwelling.
- *Principal private open space* – means open space used only by the residents of a dwelling having specific measured dimensions. (Bankstown DCP)
- *Secondary frontage means:*
 - a. the longer frontages where a corner allotment has two or more frontages to the street; and
 - b. any frontage of an allotment that adjoins a lane. A lane is a narrow roadway that measures 6 metres or less in width between the made or unmade kerb alignments. (Bankstown DCP)
- *Secondary entries* – private entries to ground floor apartments with direct access to the street.
- *Storey* - means a floor, but does not include:
 - a. a loft; or
 - b. a parking or storage area contained wholly within a basement level where the vertical distance measured from natural ground level to the roof of the basement level does not exceed 1 metre. (Bankstown DCP)
- *Terrace houses* – means three or more attached dwellings facing the street with each having a common wall or walls with the adjoining dwelling or dwellings.