

DESIGN GUIDELINES

BUILDING ENVELOPE

The Building Envelope guidelines articulate a framework for the way in which development on private land can contribute to the desired character of each character zone. Consequently, the guidelines focus on the interface of the private and public domain. Controlled in tandem, complementary built and landscape elements will complete an internally cohesive composition for each character zone. The intention is not to stifle innovative and site responsive design, but rather to illustrate a set of parameters which should assist to deliver an authentic range of living experiences.

For this to occur, there are a number of elements which need to be controlled on private land.

In particular, lot width influences the building types appropriate to a particular character zone. It also influences the arrangement of parking and for narrower lots in the village zones, parking needs to be provided rear of lot via a lane to preserve streetscape integrity and ensure the vehicle is appropriately managed in terms of parking.

The range of character zones envisaged for the site is premised on a transition from a 'buildings in landscape' character through to a more compact form towards the centre. Controls pertaining to lot size, building height, setbacks and site coverage are essential for realising the vision. Frontage type controls are an additional implementation 'tool' for ensuring a seamless transition in character between the private and public domain. Functionally, they provide both definition and exchange between the two realms and provide the opportunity for impromptu social interaction.

PRIVATE DOMAIN LANDSCAPE

While residents should have creativity in using their private space, it is important that private domain landscape contribute positively to the quality of the overall environment.

Just as the public domain and building style take on different character in different zones; landscape in the private domain gradates from the formal to more rural to reflect the transect and create a sense of identity for each character zone.

Private domain landscape contributes significantly to the public realm primarily through its front boundary articulation. Well co-ordinated front fences with generally uniform height, harmonious colour and build-to-line immediately raises the quality of the neighbourhood.

In general, fencing is more informal as one moves towards the rural zone. Fences run parallel to the finished ground line with the exception to gates. They are smooth on top of the wall and have no 'steps'. Fences are sympathetic to fences adjacent to them in terms of continuity and choice of colour.

Secondary to fencing, planting and groundcover can mould the degree of formality or informality of the neighbourhood. This is expressed by the density, the form and the balance between lawn/paved (open) area and ground cover/shrub area.

Analogous to vegetation growth in the natural environment, uninhabited, densely forested areas typically have less clearing, while built settlements are set in the clearing. This ratio between the 'covered' (vegetation cover) and the 'open' (lawn/paved area) moulds the neighbourhood character. In the case of Bevia Road, as one approaches the The Centre from The Country zone, the percentage of turfed / paved area increases.

The above also applies to the layout and density of vegetation in the private domain. Similar to South Coast villages, more rural areas have lush and informal layers of dense planting in the private domain, buffering the property from the roads. As one moves towards The Centre, the vegetation density decreases and the layout calms to a more manicured state.

Plant species reflect this transition through the proportion of mixture between endemic and native/exotic species planted in the garden. The rural zones will have a higher proportion of endemic and native plants forming a thicket of vibrant green, comparable to the rural hinterland. As one approaches the village centre, landscaped gardens show an increase in native/exotic feature plants; a symbolic celebration of European heritage of the South Coast.



GUIDELINES TO THE CENTRE ZONE

BUILDING ENEVELOPE GUIDELINES

The Centre Zone provides the opportunity for a small "main-street" grouping of shops which will provide for the daily needs of the residents of the Bevian Road Project.

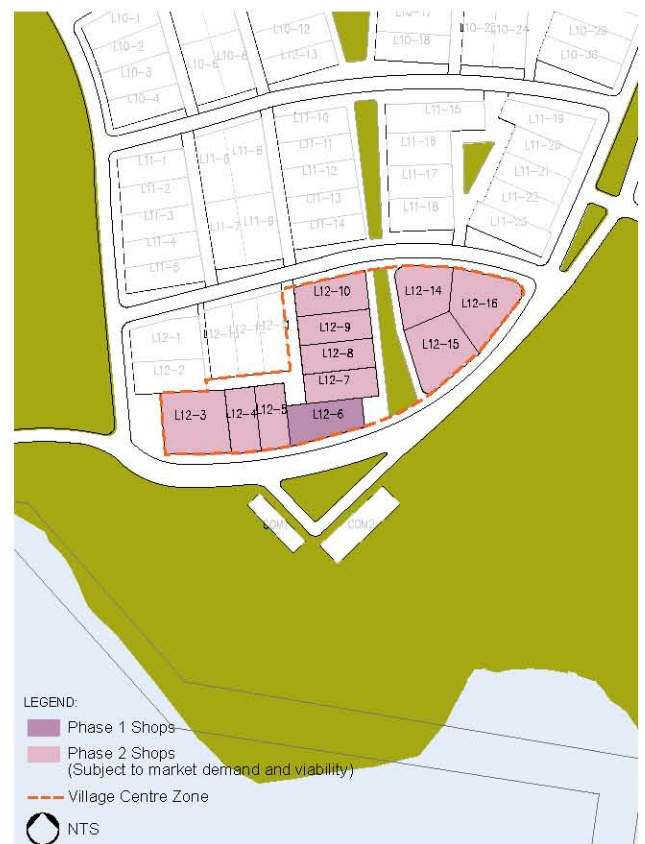
The Centre Zone has been located to respond to a number of objectives which are recognized to increase the viability of such centres. The first objective is that for main street shops to be viable they must benefit from passing traffic. The second is that the centre should be located to take advantage of views to nature and other amenities which will attract people. The third is that the centre is located so that it is within an easy walk of the residential population of the neighbourhood. The proposed location of the Centre Centre realizes all of these objectives.

The Centre Zone will feature lots typically averaging 450-1000m² in size, with adaptable building types occupying lots that are between 10-12m wide.

These building types will address the street as "main street" style buildings with awnings and verandahs. Front setbacks will range between 0-1m based upon local precedent observed at Mogo and Berry. Building height will be limited to two storeys. Parking will be provided at the rear of lots in shared parking courts and on-street in front of the shops.

The design of the Centre Zone in its current configuration can accommodate a total of 11 shops (Lots L12 – 3, 4, 5, 6, 7, 8, 9, 10, 14, 15 and 16) with the retail component of individual shops limited to a maximum of 100m² on average. By limiting both the size of individual shop fronts and the overall retail component for the Centre Zone, it will ensure that only small scale local shops are provided and that a larger format shopping centre is not permissible.

It should be noted that whilst the Centre Zone has the potential to accommodate up to 11 shops, in the first phase of growth the retail component will be limited to a corner store on Lot L12-6. This shop will be similar to a traditional general store and be able to provide for the varying needs of the community. As the community matures in stature, the plan then provides for the opportunity for the more specialized uses originating out of the corner store to continue to expand into their own shop front.



Typical Lot Size	450m ² -1000m ²
Lot Width	10m-12m on average
Lot Depth	Minimum 25m
Building Height	Maximum 2 storeys
Front Setback	0m - 1m
Side Setback	0m one side; 0-1.5m other side.
Site Coverage	TBD
Frontage Types	Shopfront & Awning; Posted Verandah
Parking	Rear or side loaded, in courtyard

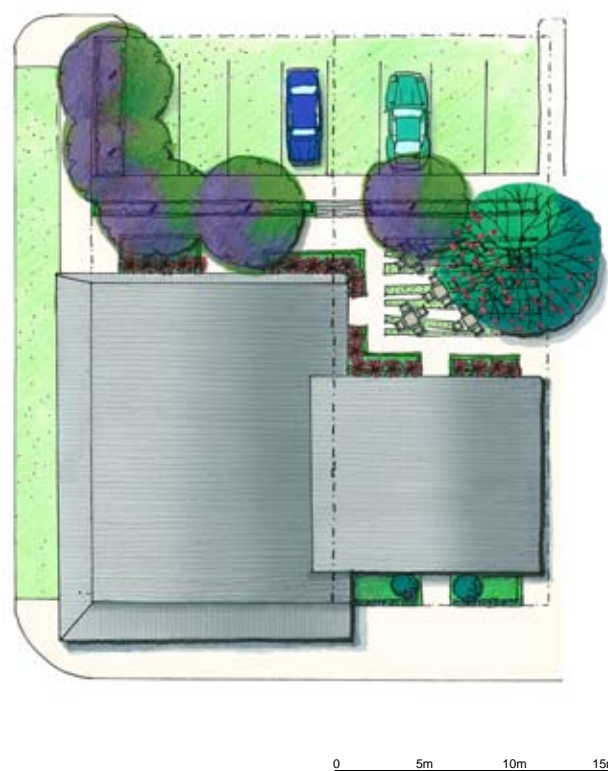
PRIVATE DOMAIN LANDSCAPE

The Centre Zone Landscape has the most urban character of all the zones. The building facades are adjacent to the pedestrian footpath to create a highly interactive interior/exterior interface. Outdoor elements in both hard and softscape are designed to encourage social interaction. Buildings address the street in a traditional "main street" manner, with shop fronts and awnings.

The Centre is vibrant with flowering trees, shrubs and groundcovers. Flowers bloom throughout the year bringing a variety of colour, texture and fragrance to the neighbourhood. Owners are encouraged to grow flowering plants that 'talk' to neighbors' garden palette.

Deep Soil Area	30%*
Non-Pervious Area	Max. 70%
Front Yard Non-Endemic Species	Max. 70%
Back Yard Non-Endemic Species	Max. 70%
Front Fencing	None or 900mm high formal fencing
Side Fencing	As above
Back Fencing	As above

* All percentage is to be applied to private landscape area

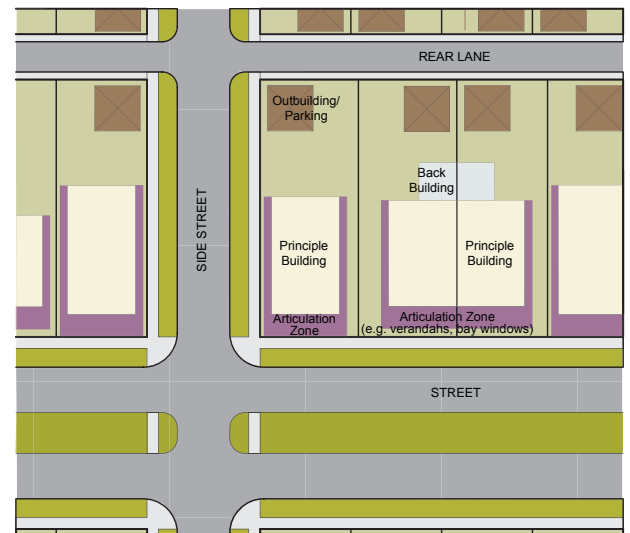


GUIDELINES TO THE GENERAL ZONE

BUILDING ENVELOPE GUIDELINES

The General Zone provides the opportunity for semi-detached building types, as well as cottages and small houses.

The buildings are now predominantly residential in use. Front setbacks are increased to 4.5 metres and now address the street with front fences, formal hedging, and/or deep verandahs. parking is either accessed off a rear lane or if accessed from the front is integrated into the lot and or building to minimize its visual impact on the public domain.



PRIVATE DOMAIN LANDSCAPE

The General Zone comprises well presented houses fronted by mono-coloured picket fences, clipped hedges and retaining walls. Softscape and hardscape elements weave together to form elegant front gardens adorned with trellises, sculptures and decorative planter pots brimming with flowering plants.

Low fencing allows for visual surveillance onto streets and parks, and encourages social interaction. Back gardens have large lawn area, water ponds, and clusters of feature plants.

Typical Lot Size	450m ² - 600m ²
Lot Width	12m min.
Lot Depth	30m min.
Building Height	2 storeys max.
Front Setback	0m - 4.5 m
Side Setback	c. 1.5m, and possibility for semi-detached zero lot line housing
Site Coverage	TBD
Frontage Types	Formal fence with clipped hedging; Integrated Retaining wall.
Parking	Front or side loaded where no laneway access is available, and rear loaded where laneway is available. Design and materials of outbuildings and driveways to minimise visual and environmental impact.
Deep Soil Area	70%
Non-Pervious Area	Max. 30%
Front Yard Non-Endemic Species	Max 50%
Back Yard Non-Endemic Species	Max 30%
Front Fencing	1100mm formal fencing with clipped hedging behind
Side Fencing	1100mm formal fencing to building façade line connected to 1800mm formal fencing allowing 50% visual penetration
	1100mm formal fencing with clipped hedging behind along length of building continued with 1800mm formal fencing with screen planting in front (Corner Lots)
Back Fencing	1800mm formal fencing with clipped hedging behind 1100mm formal fencing with clipped hedging behind (laneway)



0 5m 10m 15m

* All percentage is to be applied to private landscape area





GUIDELINES TO THE SUBRRBAN ZONE

BUILDING ENVELOPE GUIDELINES

In the Suburban Zone lot sizes are relatively conventional and range from 450-700m². Unlike conventional suburbia; the siting and housing and integration of parking is designed to contribute to the creation of a high quality public domain.

Building heights may still reach two storeys, but, in the absence of lanes, integration of parking becomes increasingly important.

Front fences and/ or heges would become less formal in character.

PRIVATE DOMAIN LANDSCAPE

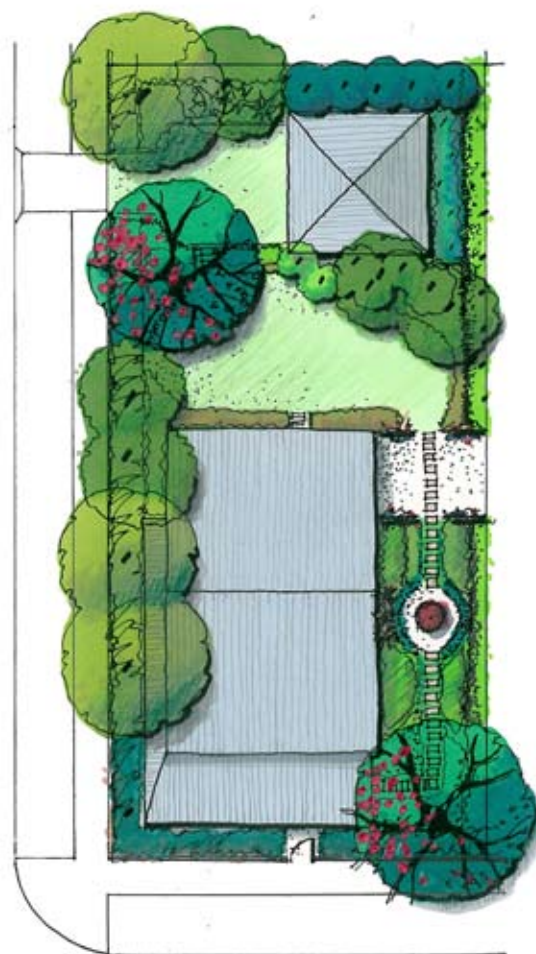
The Suburban Zone has less formality in layout compared to the Village General Zone. Lots are fronted by clipped hedges and no hard fencing. Front gardens feature highlights of flowering tree, shrub and groundcover. Back gardens are rustic in character with lawn area, feature elements and clusters of feature plants.



Typical Lot Size	450m ² - 750m ² approx
Dual Occupancy	600m ² - 900m ²
Lot Width	c. 15m min.
Lot Depth	c. 30m max.
Building Height	2 storeys max.
Front Setback	c. 4.5m - 6.5 m
Side Setback	c. 2.5m min.
Site Coverage	TBD
Frontage Types	Formal fence with informal hedging; Integrated Retaining Walls.
Parking	Front or side loaded where no laneway access is available, and rear loaded where laneway is available. Design and materials of outbuildings and driveways to minimise visual and environmental impact. Parking allocation may vary in certain circumstances in response to topography

Deep Soil Area	70%
Non-Pervious Area	Max. 30%
Front Yard Non-Endemic Species	Max 50%
Back Yard Non-Endemic Species	Max 30%
Front Fencing	Clipped hedging
Side Fencing	Clipped hedging to building façade line connected to 1500mm formal fencing with screen planting in front
	Clipped hedging along length of building continued with 1800mm formal fencing with screen planting in front (Corner Lots)
Back Fencing	Clipped hedging

* All percentage is to be applied to private landscape area



0 5m 10m 15m

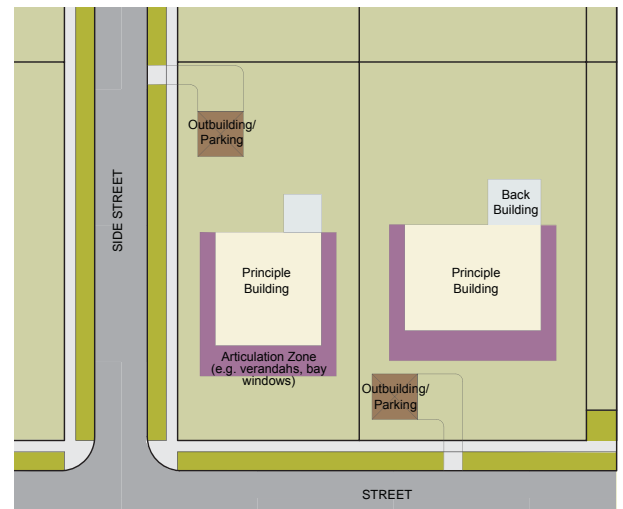
GUIDELINES TO THE EDGE ZONE

BUILDING ENVELOPE GUIDELINES

In the Edge Zone typical lot sizes range from 600m² -1200m², signalling a transition to a more rural character. Front and side setbacks expand significantly, allowing for a legible transition into the more rural character of the site.

Building heights may still reach two storeys, but, in the absence of lanes, integration of parking becomes increasingly important. Double garages dominating the primary street frontage are not appropriate, would not contribute to the desired rural character, and parking is managed in a way which does not informally impact on the public domain.

Informal hedges along the front boundary form the front fence between the private and public realm that is much less formal in character.



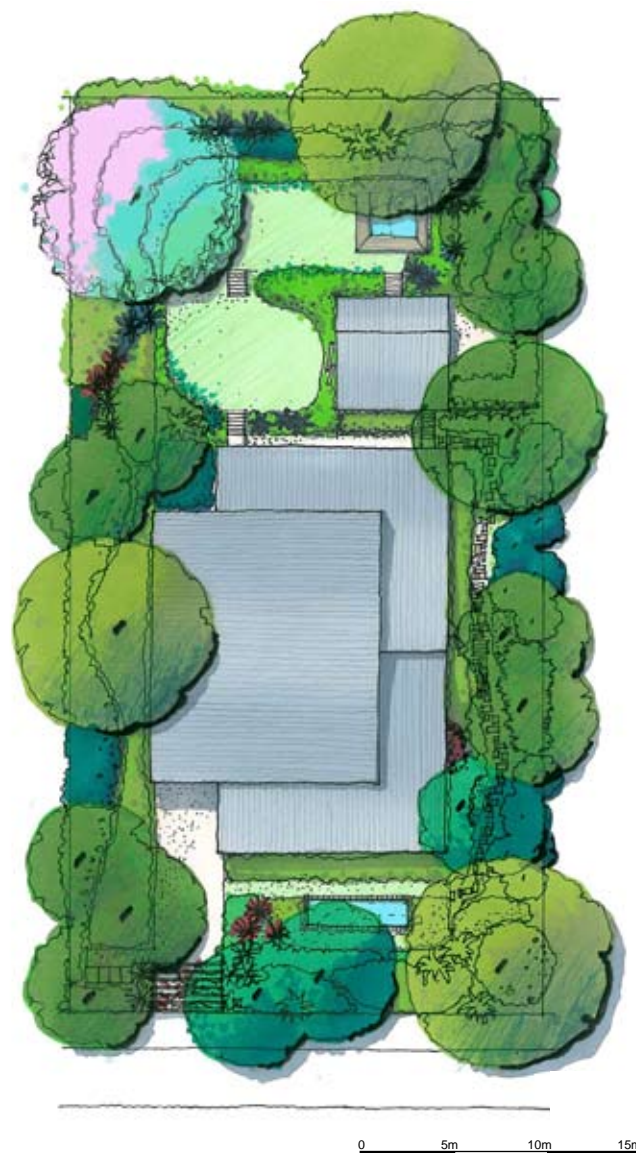
PRIVATE DOMAIN LANDSCAPE

The Edge Zone fronts onto open space and has a rustic and amiable character with informal shrubs as a lot boundary. The front yards are generally simple and reflective of the open space character across the street. Backyards can be more decorative in terms of ratio of native/ exotic species used.

Typical Lot Size	600m ² - 1200m ²
Dual Occupancy	600m ² - 900m ²
Lot Width	c. 18m min.
Lot Depth	c. 30m min.
Building Height	2 storeys max.
Front Setback	c. 8.5m min.
Side Setback	c. 3m min.
Site Coverage	TBD
Frontage Types	Informal hedging; Integrated Retaining Walls
Parking	Front or side loaded where no laneway access is available, and rear loaded where laneway is available. Design and materials of outbuildings and driveways to minimise visual and environmental impact.

Deep Soil Area	75%
Non-Pervious Area	Max. 25%
Front Yard Non-Endemic Species	Max. 15%
Back Yard Non-Endemic Species	Max. 20%
Front Fencing	1100mm high shrubs
Side Fencing	1100mm high shrubs to building façade line continue with 1600mm high screen planting
	1100mm high shrubs along length of building continue with 1600mm high screen planting (Corner Lots)
Back Fencing	1100mm high shrub planting 1500mm colorbond fence with screen planting (adjacent APZ)

* All percentage is to be applied to private landscape area







GUIDELINES TO THE COUNTRY ZONE

BUILDING ENVELOPE GUIDELINES

In the Country Zone typical lot sizes are large with a range between 800m²-4000m². They are very large and rural in character. Reinforcing this more rural character are deep front and side setbacks providing for the legible transition into the most rural character of the site.

Building heights will be restricted to one and two storey. Parking shall be integrated to respond to topography and minimise visual input on the public domain.

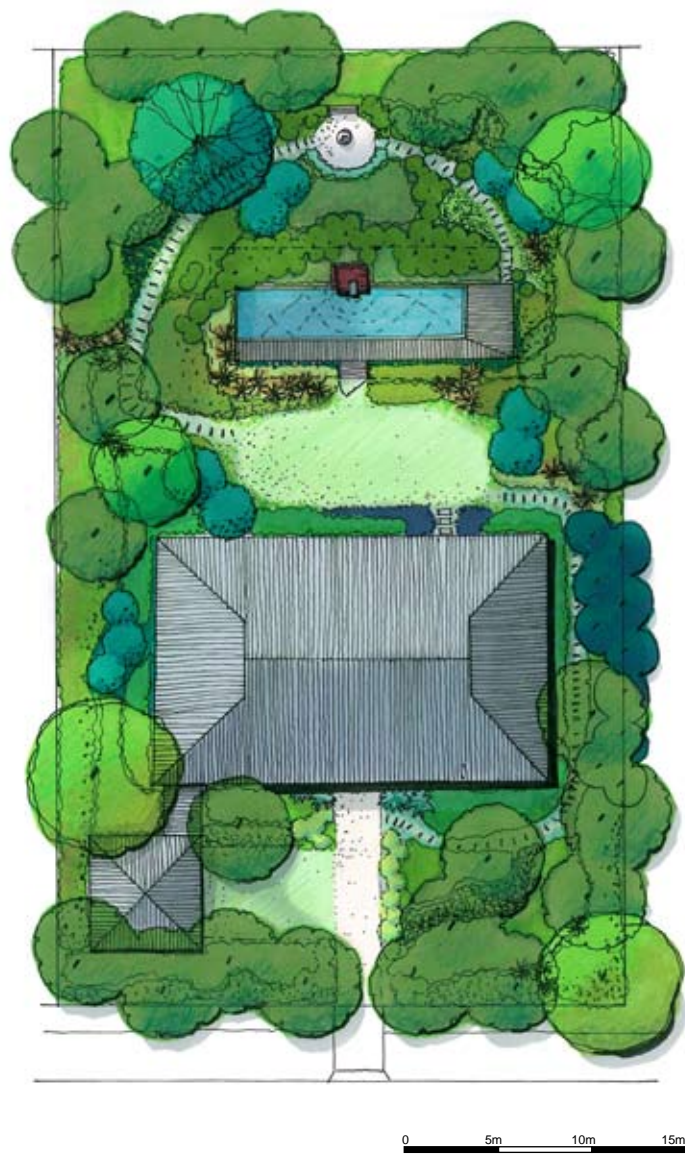
PRIVATE DOMAIN LANDSCAPE

In tune with the surrounding, the private domain landscape in this zone is lush and natural. Gardens keep a large proportion of regenerated plants to minimise water requirements and maintenance. Lawn and hard paved area is limited.

Multiple tiers of planting inclusive of trees, shrubs, grasses and groundcovers, mostly endemic, act as natural fencing between the residential building and front of the boundary.



Typical Lot Size	800m ² - 4000m ²
Lot Width	c. 20m min.
Lot Depth	c. 30m max.
Building Height	2 storeys max.
Front Setback	12.5m min.
Side Setback	c. 5m min.
Site Coverage	TBD
Frontage Types	Informal layers of shrubs and ground covers
Parking	Front or side loaded Garage sitting shall respond to slope to minimise visual impact on the public domain.
Deep Soil Area	80%
Non-Pervious Area	Max. 20%
Front Yard Non-Endemic Species	Max. 5%
Back Yard Non-Endemic Species	Max 10%
Front Fencing	1100mm high shrubs and groundcover
Side Fencing	Screen planting where required
Back Fencing	Screen planting where required Fencing 50% visually permeable at 1800mm high with screen planting facing public domain



* All percentage is to be applied to private landscape area

GUIDELINES TO DUAL OCCUPANCY

To facilitate higher density development in accordance with both Council and Department of Planning requests, it is proposed that Dual Occupancy lots could be incorporated within the development subject to certain criteria being met.

Generally, it is proposed to allow Dual Occupancies in the Southern half of the site towards the Village Centre within the Suburban and Edge Zones. The majority of viable area for Dual Occupancies is located to the South-East and South-West of the site and has been located to minimise any visual impact from surrounding areas and within the site. Lots within the Dual Occupancy zone along the Southern side of the Knoll have been specifically excluded to mitigate any visual impacts.

A number of minimum development standards have been established for Dual Occupancy lots, such as lot width and depth, and minimum area of lots (refer tables). The maximum number of Dual Occupancies that would be permitted within the whole development is 57 in order to limit the impact of increased density on adjacent properties and the development. However, the total number of lots within the development will remain at 806.

THE SUBURBAN ZONE

Within the Suburban Zone, the opportunity exists for dual occupancies on lots with a minimum size of 600m², which provides for individual dual occupancy lots of 300m² in compliance with Councils current integrated housing controls. Other minimum development criteria are noted in the column adjacent.

The plan diagram opposite identifies the in-principle locations within The Suburban Zone where dual occupancies might be appropriate.

THE EDGE ZONE

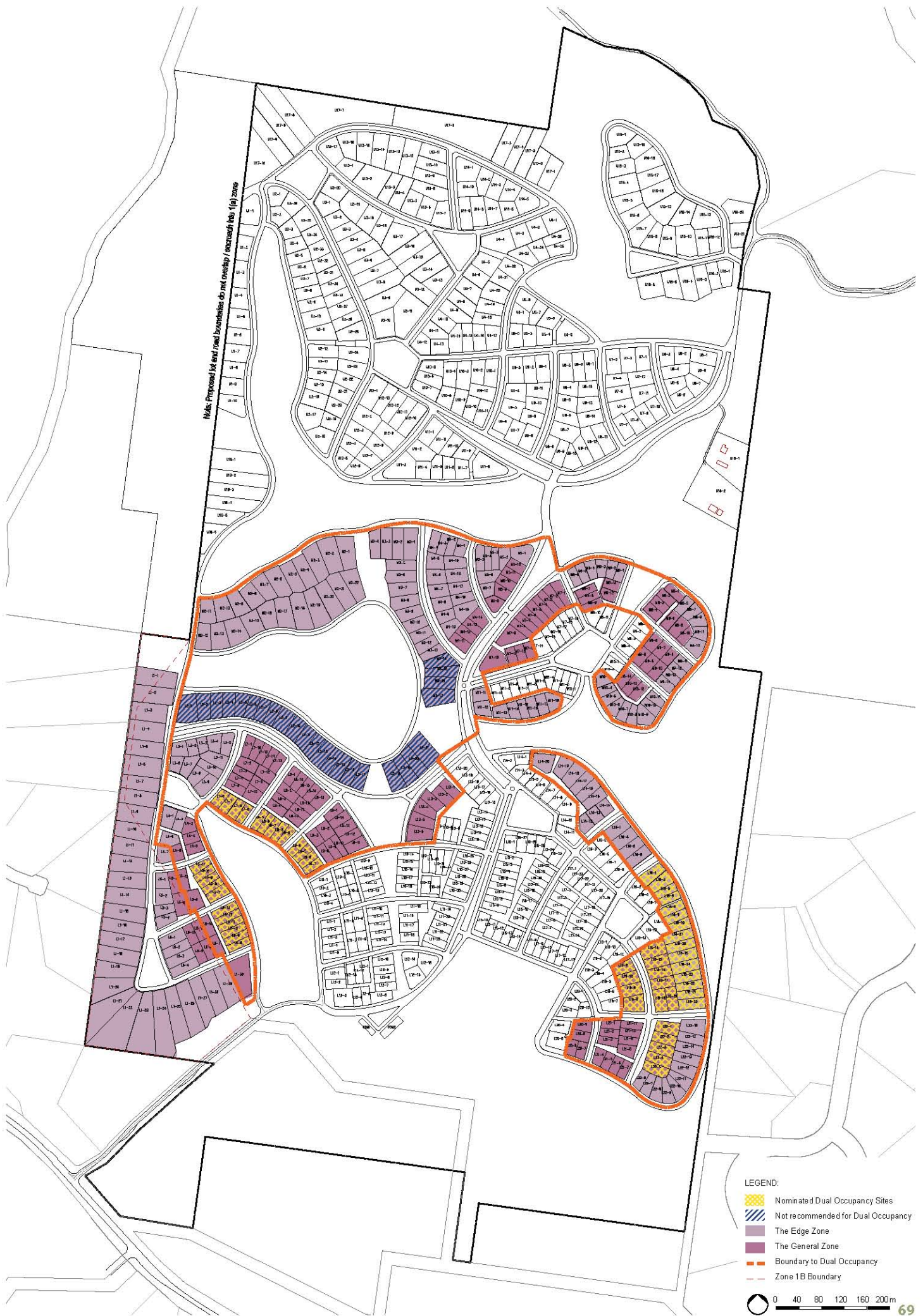
Within the Edge Zone, but excluding the area of land along the Western Boundary within the existing 1C zone, the opportunity exists for dual occupancies on lots with a minimum size of 600m² which provides for individual dual occupancy lots of 300m² in compliance with Councils current integrated housing controls. Other minimum development criteria are noted in the column adjacent.

The plan diagram opposite identifies the in-principle locations within The Edge Zone where dual occupancies might be appropriate.

Typical Lot Size	600m ² - 900m ²
Lot Width	c. 16m min.
Lot Depth	c. 41.5m min.
Building Height	2 storeys max.
Front Setback	c. 4.5m - 6.5 m
Side Setback	c. 2.5m min. c.3.5m for driveway access to rear building

Typical Lot Size	600m ² - 900m ²
Lot Width	c. 18m min.
Lot Depth	c. 41.5m min.
Building Height	2 storeys max.
Front Setback	c. 8.5m min.
Side Setback	c. 3m min. c.3.5m for driveway access to rear building

Notes: Proposed lot and road boundaries do not crosshairs / encroach into 1(a) zone



LEGEND:

- Nominated Dual Occupancy Sites
- Not recommended for Dual Occupancy
- The Edge Zone
- The General Zone
- Boundary to Dual Occupancy
- Zone 1B Boundary

0 40 80 120 160 200m

PRIVATE DOMAIN AND ECOLOGICAL ZONES

The landscape guideline identifies three ecological zones that exist across the site for the private domain. These zones provide a rational for endemic plant selection used in the private domain. Listed plant species in this section are robust in appearance and can be easily maintained. A full study of the plant species that grow within and around the site can be cross referenced in the species list attached in the Appendix of the report that has been identified in Bevia Road “Flora and Fauna Assessment Report” by Conacher Travers Pty Ltd. Where required, bush fire protection measures should be incorporated into private domain landscape design.

Transition Forest Zone (Z3)

In the transitional forest zone is encouraged to create informal clusters of tree canopy with lush understorey.

	Botanical Name	Common Name
TREES	Acmena smithii	Lilly Pilly
	Allocasuarina littoralis	Black She Oak
	Alphitonia excelsa	Red Ash
	Corymbia maculata	Spotted Gum
	Eucalyptus fibrosa	Broad Leaved Ironbark
	Eucalyptus paniculata	Grey Ironbark
	Glochidion ferdinandi	Cheese Tree
SHRUBS	Acacia floribunda	Sally Wattle
	Ficus coronata	Sandpaper Fig
	Goodenia ovata	Hop Goodenia
ACCENT GOUNDCOVERS	Macrozamia communis	Burrawang
	Clechnum cartilagium	Gristle Fern
	Dianella caerulea	Flax Lily
	Dichondra repens	Kidney Weed
	Joycea pallida	Silvertop Wallaby Grass
	Juncus usitatus	Common Rush
	Themeda australis	Kangaroo Grass
	Centella asiatica	Swamp Pennywort

Mixed Woodland Zone (Z2)

The woodlands character in this zone has open clean trunk trees with moderate to dense ground cover comprising shrubs, herbs and grasses. It is proposed that less formal three tiered vegetation for private gardens is established.

	Botanical Name	Common Name
TREES	Allocasuarina littoralis	Black She Oak
	Corymbia maculata	Spotted Gum
	Eucalyptus fibrosa	Broad Leaved Ironbark
	Eucalyptus paniculata	Grey Ironbark
	Eucalyptus pilularis	Blackbutt
	Glochidion ferdinandi	Cheese Tree
SHRUBS	Acacia floribunda	Sally Wattle
	Acacia longifolia	Sydney Golden Wattle
	Acacia terminalis	Sunshine Wattle
	Goodenia ovata	Hop Goodenia
ACCENT GOUNDCOVERS	Macrozamia communis	Burrawang
	Dianella caerulea	Flax Lily
	Lomandra longifolia	Spiky-Headed Mat-rush
	Themeda australis	Kangaroo Grass

Wetland Transition Zone (Z1)

The proposal is to encourage a sparse vegetation canopy with semi formal shrubs and groundcover understorey.

	Botanical Name	Common Name
TREES	Allocasuarina littoralis	Black She Oak
	Banksia integrifolia	Coastal Banksia
	Casuarina glauca	Swamp Oak
	Eucalyptus botryoides	Bangalay
	Melaleuca ericifolia	Swamp paperbark
	Acacia longifolia	Sydney Golden Wattle
SHRUBS	Leptospermum polygalifolium	Yellow Tea Tree
	Exocarpus cupressiformis	Native Cherry
	Goodenia ovata	Hop Goodenia
	Pittosporum undulatum	Sweet Pittosporum
	Macrozamia communis	Burrawang
ACCENT GOUNDCOVERS	Adiantum aethiopicum	Common Maiden Hair
	Dianella caerulea	Flax Lily
	Dichondra repens	Kidney Weed
	Doodia aspera	Rasp Fern
	Goodenia hederacea	Violet leaved Goodenia



LANDSCAPE PLAN

OVERVIEW

The Bevian Road site comprises some of the most distinctive environmental systems that characterize the South Coast, including a wetland, mixed forest and rural pastoral land.

A comprehensive study of landscape precedents has been undertaken in Mogo, Tomakin and Guerilla Bay to understand the character of the environment, streetscape, landscape and parkland unique to this part of the South Coast.

The proposed landscape Concept Plan for the site provides a strategic guideline for development of landscape in both public and private domain. It aims to reinforce the South Coast character observed. It will strengthen endemic ecological systems, guide appropriate street tree design, and control of landscape species, elements and materials.

As with the private domain, the overall public Open Space character also follows Character Zone transition from formal (around village centre and neighborhood greens) to informal (towards northern and edge woodlands).

The following are the principles adapted by the landscape Concept Plan which will be carried through to detail design to achieve the desired outcome:

Integrated Approach

The aim for the landscape Concept Plan is to help create a high quality, integrated environment that is safe, enjoyable, sustainable and unique in its sense of place.

The proposal will incorporate best ESD practices, such as storm water quality control; natural corridors; retention and enhancement of existing endemic vegetation. Design incentive is taken to define or integrate the natural edge, ecology system and propagate endemic vegetation to create an open space network that is high in quality and low maintenance.

Cultural

The design embraces both indigenous and European heritage through preservation of cultural sites, selected area with pastureland character and use of cultural planting in feature design areas.

Aspect

The undulating topography of the site offers vantage views which is captured in the design through preservation of ridge tops, knolls and view corridors.

Accessibility

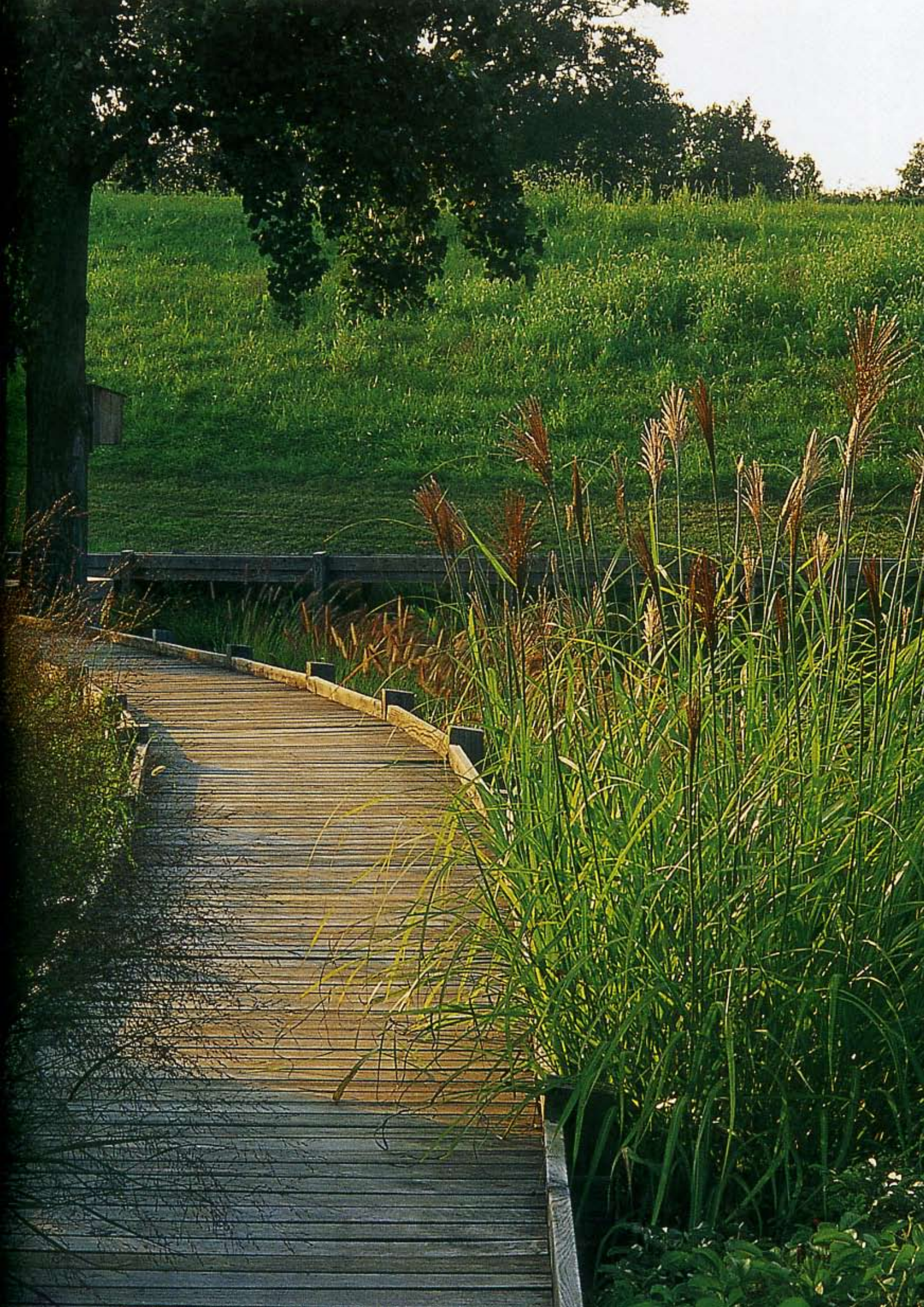
The plan provides a network of pedestrian and cycle paths that links neighborhood cores and key open space for safe public enjoyment.

Community Facility

Provide for a range of community oriented facilities which may include:

- Parks
- Pools
- Tennis courts
- Residential recreation facilities
- BBQ facilities
- Meeting Hall
- Other Structures

These facilities will be integrated into the public open space system.



OPEN SPACE TYPES



SQUARE

An open space, available for civic purposes and commercial activities. A square shall be spatially defined by building frontages. Its landscape shall consist of pavement and grass lawn. Tree planting reinforces the overall spatial character of the Square. Squares are typically located at important intersections.



GREEN

An open space available for recreation and community facilities. A green is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Greens shall be located at important intersections



GREEN CORRIDOR

A linear open space that offers significant potential for preservation of view corridors, habitat corridors and maintains the integrity of ecological communities. It facilitates an interconnected open space network that provides the users with an uninterrupted scenic route through site.



PARKLAND

A parkland is available for recreation. Its landscape consists of paths and trails and trees naturalistically disposed. Water bodies shall be used as part of a comprehensive water sensitive urban design system.



RESERVE

A reserve is for the protection of important ecological systems. It shall have appropriate degree of recreational uses that does not hamper the integrity of the nature environment, such as integrated boardwalks and public art..



LANDSCAPE CONCEPT PLAN

Village Square

It is located at the entry to the lower neighbourhood and provides a central gathering place for residents and visitors. It is at grade with a corner store adjacent, mostly hard paved with provision for public seating. It provides opportunity for outdoor dining.

Greens

Placed at prominent intersections and fronted by building facades, the greens provide a more formal, accessible and 'watched' open space for the neighbourhoods. There are a total of eleven greens proposed for the site; some are civic gathering spaces, some incorporate playgrounds, while others have more recreational focus.

Green Links

The Concept Plan allows for green links between open spaces for ecological connectivity, view corridors and pedestrian access. Within the links thoughtful placement of trees allow vantage views. Pedestrian path leads to well considered lookout posts along the way.

The Knoll Parkland

The knoll parkland ensures this feature landscape is retained. At vantage point a lookout platform provides distant view to

the ocean. Away from the Banksia scrub; grassed ridge top and a large open grassed windward slope provide a scenic picnic area for both residents and visitors.

Riparian Corridors

The riparian corridors primarily provide an open space buffer between the ephemeral creeks and the development footprint. Regeneration within the corridors ensures that appropriate massing of aquatic herbs, sedges, rushes and stands of trees form a low to median height screen for wildlife passage.

The corridor then provides coves of recreational space, trails and public art for the enjoyment of the visitors. Clean trunk trees are employed to ensure visual penetration for public safety. Carefully placed seating provides point of repose. Potential timber platform provides opportunity for wildlife observation and environmental education.

Bevian Wetland and Surrounds

This large open space area is inclusive of the Bevian Wetland and its ecological system. Vegetation regeneration ensures that a buffer is maintained around the wetland system and protects the wild life habitat.

The Centre Square 1

Stairs overlooking an active square with sculptures and water feature using recycled rain water. The Centre Square becomes a weekend market or summer outdoor theatre

Neighbourhood Green 2

Small park with community facility, feature trees and seating area

Green Link 3

Connecting The Knoll Parkland to the Bevian Wetland open space with feature flowering trees along the corridor. At a designated season of the year the unobstructed view through the green link to Jimmy's Head is highlighted by a burst of bloom

The Knoll Parkland 4

Large Open Space with open views of the valley below and ocean beyond encompassing remnants Banksia Scrub, look out platform, BBQ shelters and picnic area

Ecological Zone 5

Regenerated and newl buffer planting along the creek corridor and Wetland buffer. Pockets of look out areas, interpretive signs and sculptures dot along the pedestrian and/or cycle trail

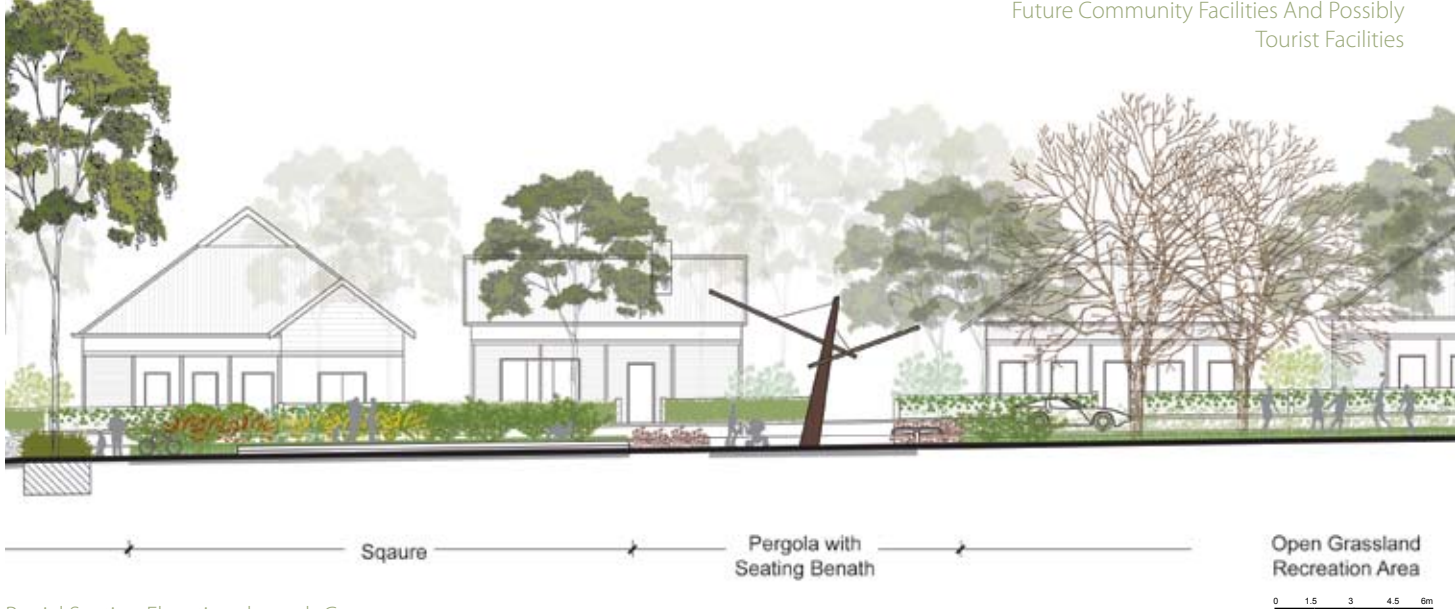
Detention Basin 6

Playground 7

Rain Garden 8

Open Space Area With Potential 9

Future Community Facilities And Possibly Tourist Facilities



Partial Section Elevation through Green



LANDSCAPE DETAIL CONCEPT PLAN

Village Square

The Village Square is situated at the most densely populated area of the site. The location makes the square easily accessible to majority of the residents by foot. The square annotates the tip of a green axis that feeds into the rest of the open space network. It is designed to be a destination point. The northern part of the square is surrounded by mixed commercial/retail lots and the southern part is adjacent the community centre and Bevan Wetland Reserve.

The Village Square provides opportunity for community gathering, outdoor dining, recreation and rest. It employs design elements that foster various social interactions. Using topography of the location, varied levels of plaza are created to allow people to observe and be observed. Stairs and benches provide both informal and formal outdoor seating. Potential water features utilising recycled storm water provide point of interest for both adults and children. Sculptures in the square are directed towards Melville Point

further south of site, offering a hidden geographic reference along with its added aesthetic value.

The use of retaining wall, pavement and stairs generates a formal character for the village centre. Simple geometry and design elements help to create a high quality outdoor space that is of south coast style. Deciduous trees are planted in key positions to allow sun into the square during winter. Flowering trees and shrubs provide colour and fragrance to the space through the seasons.

Down slope from the Village Square towards the Wetland, an open grassed recreational area allows for passive recreation. An outer ring of rain garden with lush vegetation filters the run-off and allows for rain water percolation before it is fed into a localised retention pond.

- Community Centre **1**
- Village Corner Store **2**
- Village Centre Square **3**
- Deciduous Tree Planting **4**
- Bevan Wetland Reserve **5**



Section Elevation through Village Square



LANDSCAPE DETAIL CONCEPT PLAN

Riparian Corridor

The detailed landscape to the right illustrates typical incorporation of vegetation buffer, open space, recreation facilities, pedestrian network, public art and storm water mitigation into the Riparian Corridor. This particular location is north of the Knoll adjacent to the proposed bridge over Creek. The landscape character is organic, naturalistic and informal.

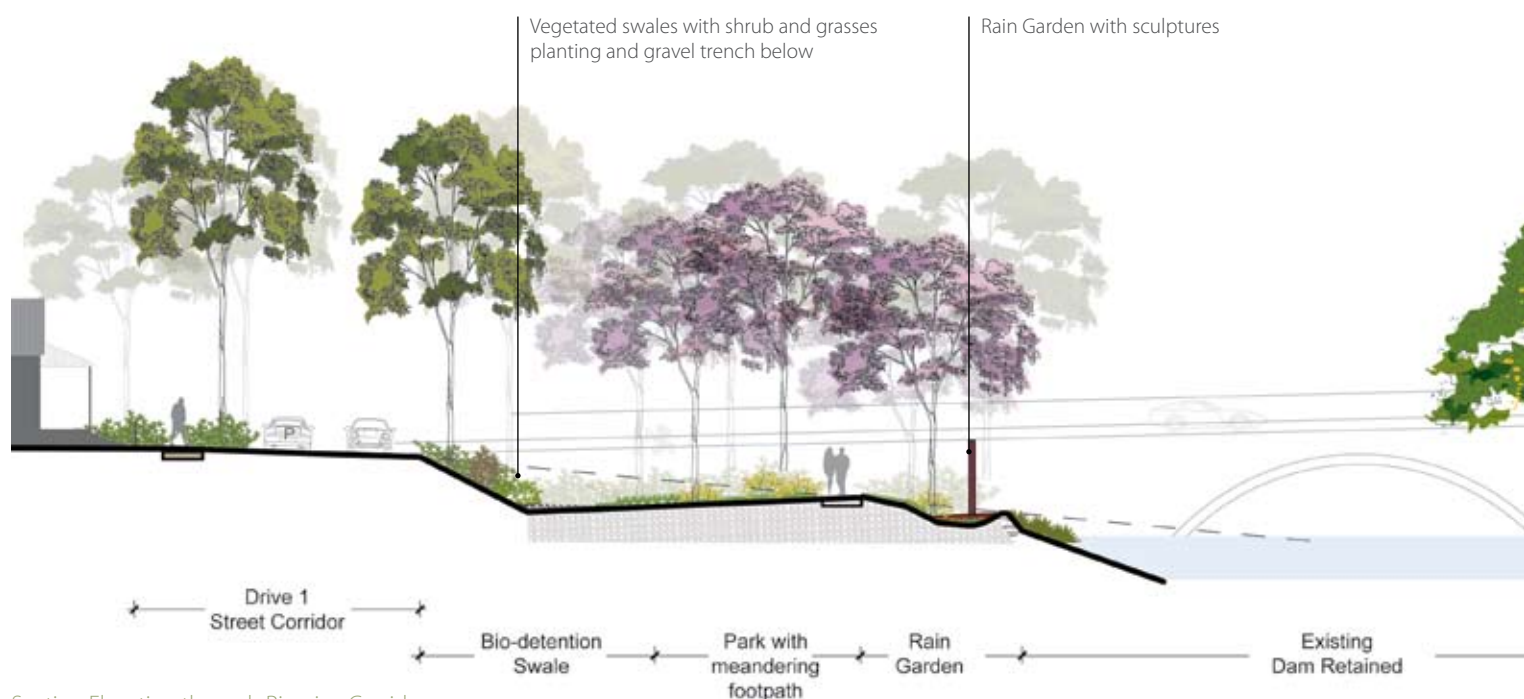
Bio-retention swales are placed adjacent to the Drives at the edge of the riparian corridor. The bio-retention swales catch the run-off from the roads. A combination of low shrubs and grasses retard the flow as well as filter the run-off. The gravel trench at low point of the swale stores part of the rain water and helps with percolation. Part of the excess run-off is funnelled through to rain water gardens. Rain gardens may incorporate elements such as a mixed array

of showy endemic vegetation, sculptures, ponds seating and feature retaining walls.

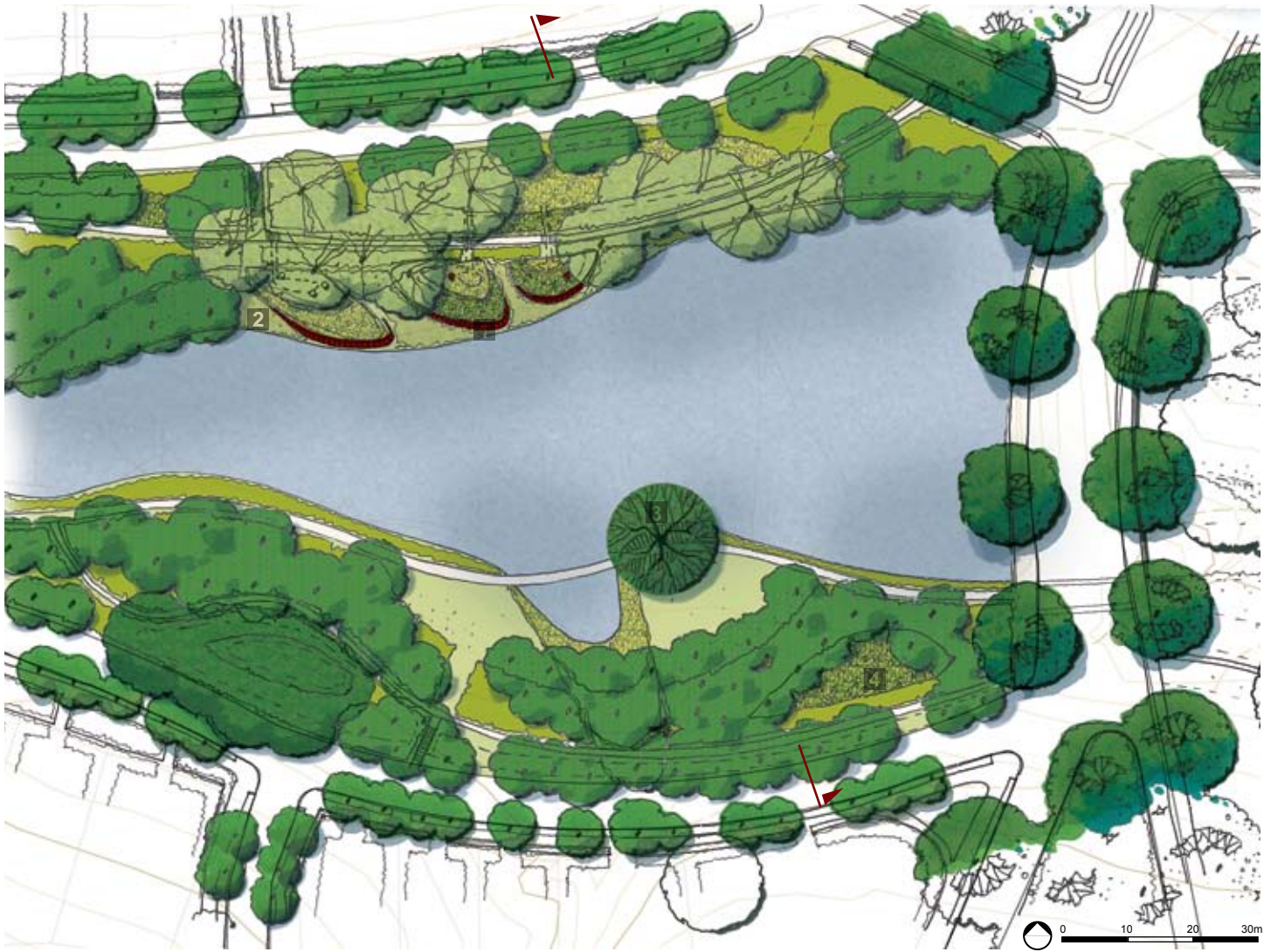
Along creeks and dams there are layers of re-established aquatic, rushes, sedges and shrubs. It is to enhance and re-establish the riparian corridor, consolidate the embankment from erosion and help to provide a safety buffer between the water and open space. Towards the edge of the corridor, stand of trees with shrubs and/or grasses understorey helps to recreate the endemic forest.

Where suitable, viewing platform with interpretive signs are placed at strategic locations to increase public awareness of the significance of the environment. Open space/open grass areas are provided for both active and passive outdoor recreation.

- Rain Garden **1**
- Vegetated Riparian Corridor **2**
- Viewing Platform with interpretive signs **3**
- Bio-swales and rain gardens **4**



Section Elevation through Riparian Corridor



LANDSCAPE DETAIL CONCEPT PLAN

Bevian Wetland and Surrounds

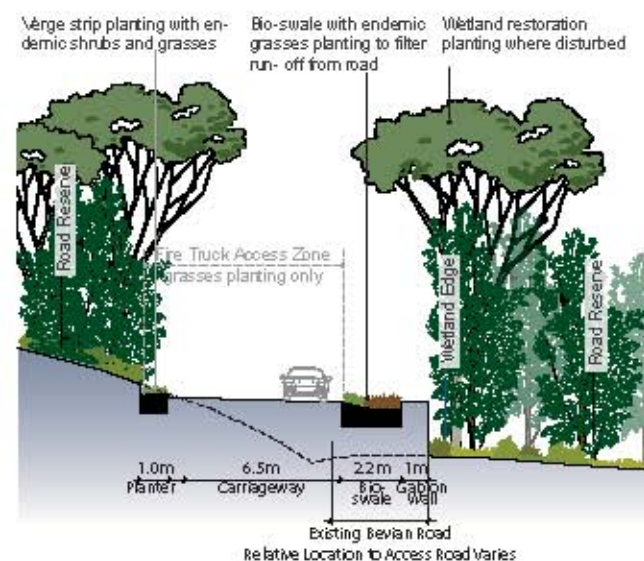
The Southern Parkland has been allocated to enclose the Wetland within the open space so there is sufficient buffer between the sensitive environment and the built environment. A Conservation zone (shown right in black dotted line) has been identified that clearly defines the extent of the vegetated buffer. Planting within the Conservation Zone regardless of formal or informal in character will use locally occurring native plant species.

A light structure boardwalk weaves between existing trees and connects the pedestrians from Village Centre precinct to George Bass Drive. The boardwalk with interpretive signs brings residents and visitors closer to the wetland so the users are able to observe, understand and appreciate the diversity of nature.

To minimize the impact of the development on Bevian Wetland a rain garden and detention pond filters and recycles the run-off from village centre, and a larger ephemeral detention basin on both east (shown in right) and west side of the village centre help filter storm water run-off from the development.

In the east detention basin there are mounds colourfully adorned by layers of wetland sedges and grasses. These mounds enable the retention of existing trees, slow water flow and are earth sculptures set in the landscape.

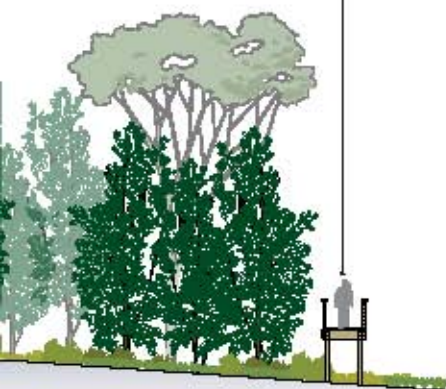
North of the Sewage Treatment Plant towards the high point, the open space can potentially incorporate larger community facilities such as swimming pool and tennis courts. The lower area is suitable for open grass land for public recreation.



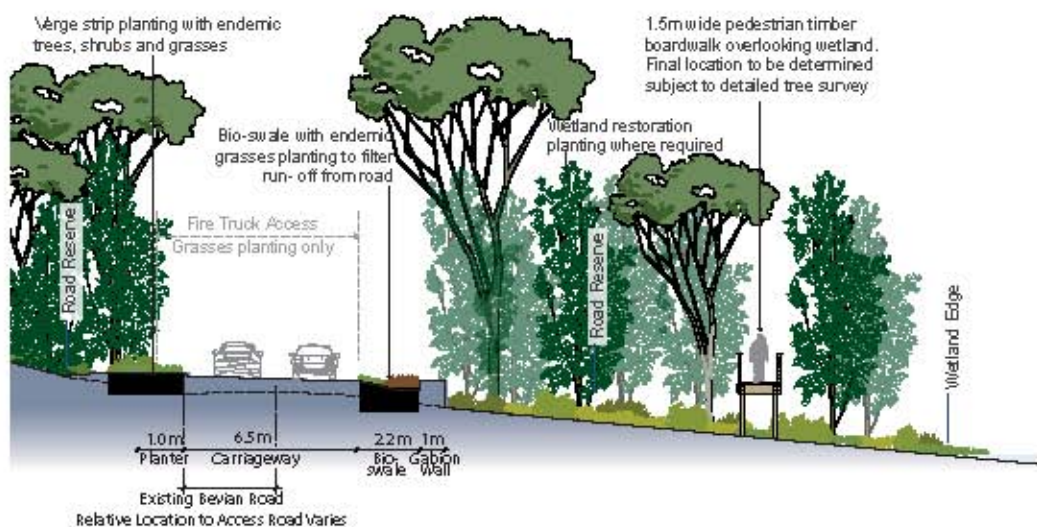
Section through Southern Access Road - CH 70



1.5m wide pedestrian timber boardwalk overlooking wetland. Final location to be determined subject to detailed tree survey



Verge strip planting with endemic trees, shrubs and grasses



1.5m wide pedestrian timber boardwalk overlooking wetland. Final location to be determined subject to detailed tree survey

Section through Southern Access Road - CH 360

0 2.5 5 7.5 10m

SUGGESTED PLANT PALETTE



Banksia integrifolia



Brachychiton acerifolius



Casuarina glauca



Ceratopetalum gummiferum



Eucalyptus ficifolia



Eucalyptus botryoides



Acacia floribunda



Acacia longifolia



Juncus usitatus



Acmena smithii



Leptospermum polygalifolium



Pandorea jasminoides



Dianella caerulea



Schoenoplectus validus



Lomandra longifolia



Lomandra multiflora



Eucalyptus fibrosa



Eucalyptus pilularis



Corymbia maculata



Magnolia grandiflora 'Little Gem'



Glochidion ferdinandi



Macrozamia communis



Melaleuca ericifolia



Photinia glabra



Pittosporum undulatum



Doryanthes excelsa



Bauera rubioides



Doodia aspera



Hydrocotyle-peduncularis



Plumeria alba



Grevillea robusta



Jacaranda mimosifolia



Lavandula dentata

SUGGESTED PLANTING SCHEDULE

OVERALL PLANTING SCHEDULE

Trees				
Botanical Name	Common Name	Height	Spread	Origin
<i>Acmena smithii</i>	Lilly Pilly	15m	6m	Endemic
<i>Allocasuarina littoralis</i>	Black She Oak	10m	5m	Endemic
<i>Alphitonia excelsa</i>	Red Ash	18m	5m	Endemic
<i>Banksia integrifolia</i>	Coastal Banksia	12m	8m	Endemic
<i>Brachychiton acerifolius</i>	Illawarra Flame Tree	20m	10m	Native
<i>Casuarina glauca</i>	Swamp Oak	15m	5m	Endemic
<i>Ceratopetalum gummiferum</i>	New South Wales Christmas bush	4m	3m	Native
<i>Corymbia maculata</i>	Spotted Gum	45m	12m	Endemic
<i>Eucalyptus botryoides</i>	Bangalay	12m	8m	Endemic
<i>Eucalyptus fibrosa</i>	Broad Leaved Ironbark	30m	10m	Endemic
<i>Eucalyptus ficifolia</i>	Red-flowering gum	15m	10m	Endemic
<i>Eucalyptus paniculata</i>	Grey Ironbark	30m	15m	Endemic
<i>Eucalyptus pilularis</i>	Blackbutt	30m	10m	Endemic
<i>Ficus coronata</i>	Sandpaper Fig	12m	8m	Endemic
<i>Glochidion ferdinand.</i>	Cheese Tree	15m	8m	Endemic
<i>Grevillea robusta</i>	Silky Oak	30m	15m	Native
<i>Jacaranda mimosifolia</i>	Blue Haze Tree	12m	10m	Exotic
<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	18m	8m	Exotic
<i>Melaleuca ericifolia</i>	Swamp paperbark	3m	3m	Endemic
<i>Plumeria alba</i>	Frangipani	5m	4m	Exotic
Hedges and Screens				
Botanical Name	Common Name	Height	Spread	Origin
<i>Acacia floribunda</i>	Sally Wattle	4-6m	6m	Endemic
<i>Acacia longifolia</i>	Sydney Golden Wattle	4-6m	6m	Endemic
<i>Acacia terminalis</i>	Sunshine Wattle	4-6m	6m	Endemic
<i>Exocarpus cupressiformis</i>	Native Cherry	8m	6m	Endemic
<i>Grevillea</i> 'Robyn Gordon'	Grevillea	1.5m	1.5m	Native
<i>Leptospermum polygalifolium</i>	Yellow Tea Tree	2m	1.5m	Endemic
<i>Photinia glabra</i> 'Rubens'	Red-leaf Photinia	5m	5m	Native
<i>Pittosporum undulatum</i>	Sweet Pittosporum	12m	7m	Endemic
Shrubs				
Botanical Name	Common Name	Height	Spread	Origin
<i>Goodenia ovata</i>	Hop Goodenia	1-2.5m	2m	Endemic
<i>Lavandula dentata</i>	French Lavender	450mm	1m	Exotic
Accent Plants				
Botanical Name	Common Name	Height	Spread	Origin
<i>Macrozamia communis</i>	Burrawang	1.5m	1.5m	Endemic
<i>Doryanthes excelsa</i>	Gymea Lily	2m	2m	Native
Grasses				
Botanical Name	Common Name	Height	Spread	Origin
<i>Dianella caerulea</i>	Flax Lily	450mm	400mm	Endemic
<i>Joycea pallida</i>	Silvertop Wallaby Grass	400mm	400mm	Endemic
<i>Juncus usitatus</i>	Common Rush	600mm	400mm	Endemic
<i>Lomandra longifolia</i>	Spiky-Headed Mat-rush	450mm	450mm	Endemic
<i>Lomandra multiflora</i>	Many-flowered Mat-rush	300mm	300mm	Endemic
<i>Schoenoplectus validus</i>	River club rush	200mm	150mm	Endemic
<i>Themeda australis</i>	Kangaroo Grass	1200mm	1000mm	Endemic
Groundcovers				
Botanical Name	Common Name	Height	Spread	Origin
<i>Adiantum aethiopicum</i>	Common Maiden Hair	400mm	400mm	Endemic
<i>Centella asiatica</i>	Swamp Pennywort	100mm	na	Endemic
<i>Clechnum cartilagiurn.</i>	Gristle Fern	400mm	400mm	Endemic
<i>Dianella caerulea</i>	Flax Lily	450mm	400mm	Endemic
<i>Dichondra repens</i>	Kidney Weed	150mm	150mm	Endemic
<i>Doodia aspera</i>	Rasp Fern	400mm	400mm	Endemic
<i>Goodenia hederacea</i>	Violet leaved Goodenia	200mm	500mm	Endemic
<i>Grevillea</i> 'Poorinda Royal Mantle'	Royal Mantle Grevillea	300mm	6m	Native
<i>Hydrocotyle peduncularis</i>	Pennywort	100mm	na	Endemic
<i>Myoporum parvifolium.</i>	Creeping Boobialla	200mm	200mm	Native
<i>Viola hederacea</i>	Native Violet	150mm	na	Native
Turf				
Botanical Name	Common Name	Height	Spread	Origin
<i>Stenotaphrum secundatum</i>	Buffalo Palmetto Grass	150mm	150mm	Exotic

THOROUGHFARE PLANTING SCHEDULE

Main Street

Botanical Name	Common Name	Height	Spread	Origin
<i>Eucalyptus ficifolia</i>	Red-flowering gum	15m	10m	Endemic
<i>Bauera rubioides</i>	Dog Rose	1.5m	1.5m	Native
<i>Doryanthes excelsa</i>	Gymea Lily	2m	2m	Native
<i>Stenotaphrum secundatum</i>	Buffalo Palmetto Grass	150mm	150mm	Exotic

Boulevard

Botanical Name	Common Name	Height	Spread	Origin
<i>Corymbia maculata</i>	Spotted Gum	45m	12m	Endemic
<i>Macrozamia communis</i>	Burrawang	1.5m	1.5m	Endemic
<i>Grevillea 'Robyn Gordon'</i>	Grevillea	1.5m	1.5m	Native
<i>Dichondra repens</i>	Kidney Weed	150mm	150mm	Endemic
<i>Doodia asapera</i>	Rasp Fern	400mm	400mm	Endemic
<i>Dianella caerulea</i>	Flax Lily	450mm	400mm	Endemic
<i>Themeda australis</i>	Kangaroo Grass	1200mm	1000mm	Endemic

Avenue

Botanical Name	Common Name	Height	Spread	Origin
<i>Eucalyptus pilularis</i>	Blackbutt	30m	10m	Endemic
<i>Acacia floribunda</i>	Sally Wattle	4-6m	6m	Endemic
<i>Pittosporum undulatum</i>	Sweet Pittosporum	12m	7m	Endemic
<i>Elaeocarpus reticulatus</i>	Blueberry Ash	8m	4m	Native
<i>Dichondra repens</i>	Kidney Weed	150mm	150mm	Endemic
<i>Doodia asapera</i>	Rasp Fern	400mm	400mm	Endemic
<i>Dianella caerulea</i>	Flax Lily	450mm	400mm	Endemic
<i>Themeda australis</i>	Kangaroo Grass	1200mm	1000mm	Endemic

Road 1 - Mixed naturalistic cluster planting, Tree height <18m, select species from Z3 plant schedule

Road 2 - Alternative planting at 10m o.c., Tree height <18m, select species from Z1 & Z2 plant schedule

Drive 1 - Mixed Informal cluster planting, Tree height >18m, select species from Z3 plant schedule

Drive 2 - Formal planting to residential verge at 10m o.c., informal cluster planting at park verge,

Tree height >18m, select species from Z1 & Z2 plant schedule

Lane - Alternative tree planting at 8m o.c., Tree height >15m, select species from Z1 & Z2 plant schedule

SUGGESTED PLANTING SCHEDULE

Ecological Zones Planting Schedule

Zone 3 (Z3)

Trees

Botanical Name	Common Name	Height	Spread	Origin
<i>Acmena smithii</i>	Lilly Pilly	15m	6m	Endemic
<i>Allocasuarina littoralis</i>	Black She Oak	10m	5m	Endemic
<i>Alphitonia excelsa</i>	Red Ash	18m	5m	Endemic
<i>Corymbia maculata</i>	Spotted Gum	45m	12m	Endemic
<i>Eucalyptus fibrosa</i>	Broad Leaved Ironbark	30m	10m	Endemic
<i>Eucalyptus paniculata</i>	Grey Ironbark	30m	15m	Endemic
<i>Glochidion ferdinandi</i>	Cheese Tree	15m	8m	Endemic

Shrubs

Botanical Name	Common Name	Height	Spread	Origin
<i>Acacia floribunda</i>	Sally Wattle	4-6m	6m	Endemic
<i>Ficus coronata</i>	Sandpaper Fig	12m	8m	Endemic
<i>Goodenia ovata</i>	Hop Goodenia	1-2.5m	2m	Endemic
<i>Macrozamia communis</i>	Burrawang	1.5m	1.5m	Endemic

Grasses and Groundcovers

Botanical Name	Common Name	Height	Spread	Origin
<i>Clechnum cartilagineum</i>	Gristle Fern	400mm	400mm	Endemic
<i>Dianella caerulea</i>	Flax Lily	450mm	400mm	Endemic
<i>Dichondra repens</i>	Kidney Weed	150mm	150mm	Endemic
<i>Joycea pallida</i>	Silvertop Wallaby Grass	400mm	400mm	Endemic
<i>Juncus usitatus</i>	Common Rush	600mm	400mm	Endemic
<i>Themeda australis</i>	Kangaroo Grass	1200mm	1000mm	Endemic
<i>Centella asiatica</i>	Swamp Pennywort	100mm	na	Endemic

Zone 2 (Z2)

Trees

Botanical Name	Common Name	Height	Spread	Origin
<i>Allocasuarina littoralis</i>	Black She Oak	10m	5m	Endemic
<i>Corymbia maculata</i>	Spotted Gum	45m	12m	Endemic
<i>Eucalyptus fibrosa</i>	Broad Leaved Ironbark	30m	10m	Endemic
<i>Eucalyptus paniculata</i>	Grey Ironbark	30m	15m	Endemic
<i>Eucalyptus pilularis</i>	Blackbutt	30m	10m	Endemic
<i>Glochidion ferdinandi</i>	Cheese Tree	15m	8m	Endemic

Shrubs

Botanical Name	Common Name	Height	Spread	Origin
<i>Acacia floribunda</i>	Sally Wattle	4-6m	6m	Endemic
<i>Acacia longifolia</i>	Sydney Golden Wattle	4-6m	6m	Endemic
<i>Acacia terminalis</i>	Sunshine Wattle	4-6m	6m	Endemic
<i>Goodenia ovata</i>	Hop Goodenia	1-2.5m	2m	Endemic
<i>Macrozamia communis</i>	Burrawang	1.5m	1.5m	Endemic

Grasses and Groundcovers

Botanical Name	Common Name	Height	Spread	Origin
<i>Dianella caerulea</i>	Flax Lily	450mm	400mm	Endemic
<i>Lomandra longifolia</i>	Spiky-Headed Mat-rush	450mm	450mm	Endemic
<i>Themeda australis</i>	Kangaroo Grass	1200mm	1000mm	Endemic

Zone 1 (Z1)

Trees

Botanical Name	Common Name	Height	Spread	Origin
<i>Allocasuarina littoralis</i>	Black She Oak	10m	5m	Endemic
<i>Banksia integrifolia</i>	Coastal Banksia	12m	8m	Endemic
<i>Casuarina glauca</i>	Swamp Oak	15m	5m	Endemic
<i>Eucalyptus botryoides</i>	Bangalay	12m	8m	Endemic
<i>Melaleuca ericifolia</i>	Swamp paperbark	3m	3m	Endemic

Shrubs

Botanical Name	Common Name	Height	Spread	Origin
<i>Acacia longifolia</i>	Sydney Golden Wattle	4-6m	6m	Endemic
<i>Exocarpos cupressiformis</i>	Native Cherry	8m	6m	Endemic
<i>Leptospermum polygalifolium</i>	Yellow Tea Tree	2m	1.5m	Endemic
<i>Pittosporum undulatum</i>	Sweet Pittosporum	12m	7m	Endemic
<i>Goodenia ovata</i>	Hop Goodenia	1-2.5m	2m	Endemic
<i>Macrozamia communis</i>	Burrawang	1.5m	1.5m	Endemic

Grasses and Groundcovers

Botanical Name	Common Name	Height	Spread	Origin
<i>Adiantum aethiopicum</i>	Common Maiden Hair	400mm	400mm	Endemic
<i>Dianella caerulea</i>	Flax Lily	450mm	400mm	Endemic
<i>Dichondra repens</i>	Kidney Weed	150mm	150mm	Endemic
<i>Doodia aspera</i>	Rasp Fern	400mm	400mm	Endemic
<i>Goodenia hederacea</i>	Violet leaved Goodenia	200mm	500mm	Endemic

GLOSSARY

A

Abut Directly adjacent to.

Access Roads These are the lowest order streets within Rosedale and their design is intended to provide access to residential development while discouraging through traffic.

Awning A fixed or retractable covering to shelter persons or protect parts of a building from the effects of sun and rain, usually erected above a window, door, balcony or deck.

B

Back Building The portion of a building extending along a side lot line toward a rear laneway and/ or outbuilding. This may be built initially or as a later addition, and may or may not be attached to the Principal Building. The back building sits within the buildable area of the lot as shown in the Private Realm Standards.

Balcony An open area above ground level, not being an enclosed room or area, attached to or integrated with a dwelling for the exclusive enjoyment of the occupant or occupants of a dwelling.

Building Footprint The area of land measured at finished ground level that is enclosed by the external walls of a building.

Building Type A structure defined by the combination of configuration, disposition and function.

C

Carpark Premises used primarily for parking vehicles whether open to the public or not, but does not include any part of a public road used for parking or for a taxi rank, or any premises in which cars are displayed for sale.

Carriageway The area of a street that is provided for the movement or parking of vehicles measured from kerb to opposite kerb.

Commercial Workplace, office and retail functions.

Cottage A small single family detached residence on its own lot.

D

Deep Soil Area Area with no paving nor underlying structure to allow for ground water percolation and landscape planting.

Design Speed Is the speed at which a thoroughfare can be comfortably driven without signage or enforcement.

Driveway A vehicle accessway between a parking area of a dwelling and the property boundary.

Duplex A single family residence on its own lot that is attached on one side to a similar house.

Dwelling A building or portion of a building being used, adapted, or designed or intended to be used for the purpose of human habitation on a permanent basis by a single person, a single family, or no more than six persons who do not comprise a single family.

E

Elevation The surface of a building around its perimeter. Elevations are subject to setback and height restrictions.

Encroachment An element that extends beyond the main elevations of a building, such as bay windows, verandahs, eaves, shopfronts, awnings, chimneys, shading devices, etc.

F

Flush Kerb A kerb with no upstand between abutting surfaces.

Front Loaded Describes the type of vehicular access provided to a building type. When a building is front loaded, vehicles access driveways, parking spaces and/ or garages directly from the street.

G

Garage A roofed structure designed to accommodate one or more vehicles.

L

Lot Refers to an individual parcel of subdivided land.

Lot Area Lot area is the area (in square meter) of a lot.

Lot Coverage Lot coverage is that portion of a lot which, when viewed from above, is covered by a building.

Lot Depth Lot depth is the mean horizontal distance between the front lot line and rear lot line of a lot.

Lot Width Lot width is the mean horizontal distance between the side lot lines of a lot.

M

Medium House A typical single family detached residence on a medium sized lot within the Suburban Zone.

Mixed-Use Building A flexible building type containing two or more uses. In this case, the configuration must be a ground floor commercial treatment and units above capable of accommodating residential or office uses.

Mountable Kerb A kerb with a front face raking at an angle of some 17.5 degrees to the horizontal.

N

Neighbourhood Activity Centre The Neighbourhood Activity Centre provides convenience retailing, community services and facilities for the local community.

O

O.C. On Centre (With reference to the placement of trees measured from trunk to trunk).

Outbuilding A structure that is physically detached from, secondary and incidental to, and commonly associated with the Principal Building. The Outbuilding sits within the buildable area of the lot as shown in the Private Realm Standards, either independently of the Principal Building or connected to it by the Back Building. An outbuilding may contain a garage and can be located in the front or rear yard, as specified within the Place Code.

P

Parking Space An area of pavement to park one car and is usually delineated.

Pedestrian Lanes The defined zone within the public frontage dedicated exclusively to pedestrian activity (sometimes also including Shared Use Paths).

Principal Building A structure that accommodates the primary use of the site.

Private Frontage The privately held zone between the front property line and the front elevation of the Principal Building. Private Frontage may overlap the Public Frontage where awnings occur.

Public Frontage The zone between the front property line and the kerb; including type of kerb, pedestrian lanes, street trees and street lighting.

R

Rear Laneway A lane is an area of street reserve which is provided for vehicular access to rear loaded dwellings. Laneways provide access to garages, carports, utilities and services such as garbage collection.

Rear Loaded Describes the type of vehicular access provided to a building type(s). When a building is rear loaded, vehicles access driveways, parking spaces and/ or garages via a rear laneway.

Rear Setback An established setback line which the principal building

GLOSSARY

shall not extend. This setback is measured from the rear property boundary and may abut a rear laneway or adjoining property. As specified within the Place Code, back buildings and outbuildings may be permissible within the rear setback zone.

Reserve Width The width of the land set aside for a carriageway and verge incorporating the full width from property line to opposite property line and usually vested in a public authority.

Retail Building types allocated for the sale of merchandise and food service.

Rural House A single family detached dwelling on a very large lot of rural character.

S

Setback This is the line beyond which the building shall not extend. The setback is usually an established minimum. The building is not required to extend to this line unless specified.

Shared Use Path A pathway that is constructed and detailed in such a way as to allow for its shared use by pedestrians, bicycles, wheelchairs, etc.

Shopfront A building conventionally used for retail, where the front elevation of the building has a substantial amount of glazing on the sidewalk level.

Side Street Refers to 'Setback from the Side Street.' Where a corner lot abuts a primary and secondary (or side) street, a line which the building shall not extend along this side property boundary is established.

Side Yard Refers to 'Side Yard Setback.' An established setback line which the building shall not extend. This setback may occur along one or more side property boundaries where a neighbouring lot immediately adjoins.

Site Coverage Site coverage is determined by dividing the total area of ground covered by the building/s by the total ground area within

the curtilage of the lot.

Small House A typical single family detached residence on a small lot.

Storey A habitable level within a building, measured from finished floor to finished ceiling. Attics and raised basements up to 0.75m above ground level are not considered a storey.

Street Refers to the area of the street reserve which is provided for the movement or parking of vehicles and bicycles.

Street Frontage Refers to the lot line that coincides with the greater Street Right of Way and generally the shorter lot dimensions.

Streetscape The term refers to the various components that make up the Street, both in the Right of Way, and on private lot frontages. It includes pavement, parking spaces, planting areas, street trees, street lights, sidewalks, front fences, open yards, verandahs, etc.

Street Tree Street trees are the trees situated between the development property line and the edge of the street kerb parallel to the street, within the Public Frontage.

T

TBD To Be Determined

Thoroughfare The element within the Public Realm which includes public streetscape, landscape and lighting elements, as well as parking and moving lanes for vehicles, pedestrian and cyclists.

Town Activity Centre The Town Activity Centre Place Code Area is the most urban, mixed-use Area within the site. It will provide for the weekly shopping needs, local offices, health, welfare and community facilities, along with social, recreational and community activities serving several neighbourhoods.

Travel Lane A single lane of the carriageway that is used for vehicle travel and does not include the area normally used for parking.

V

Verandah A roofed platform along the outside of a house, level with the ground floor.

Verge The part of the street reserve between the road and the boundary of adjacent lots.