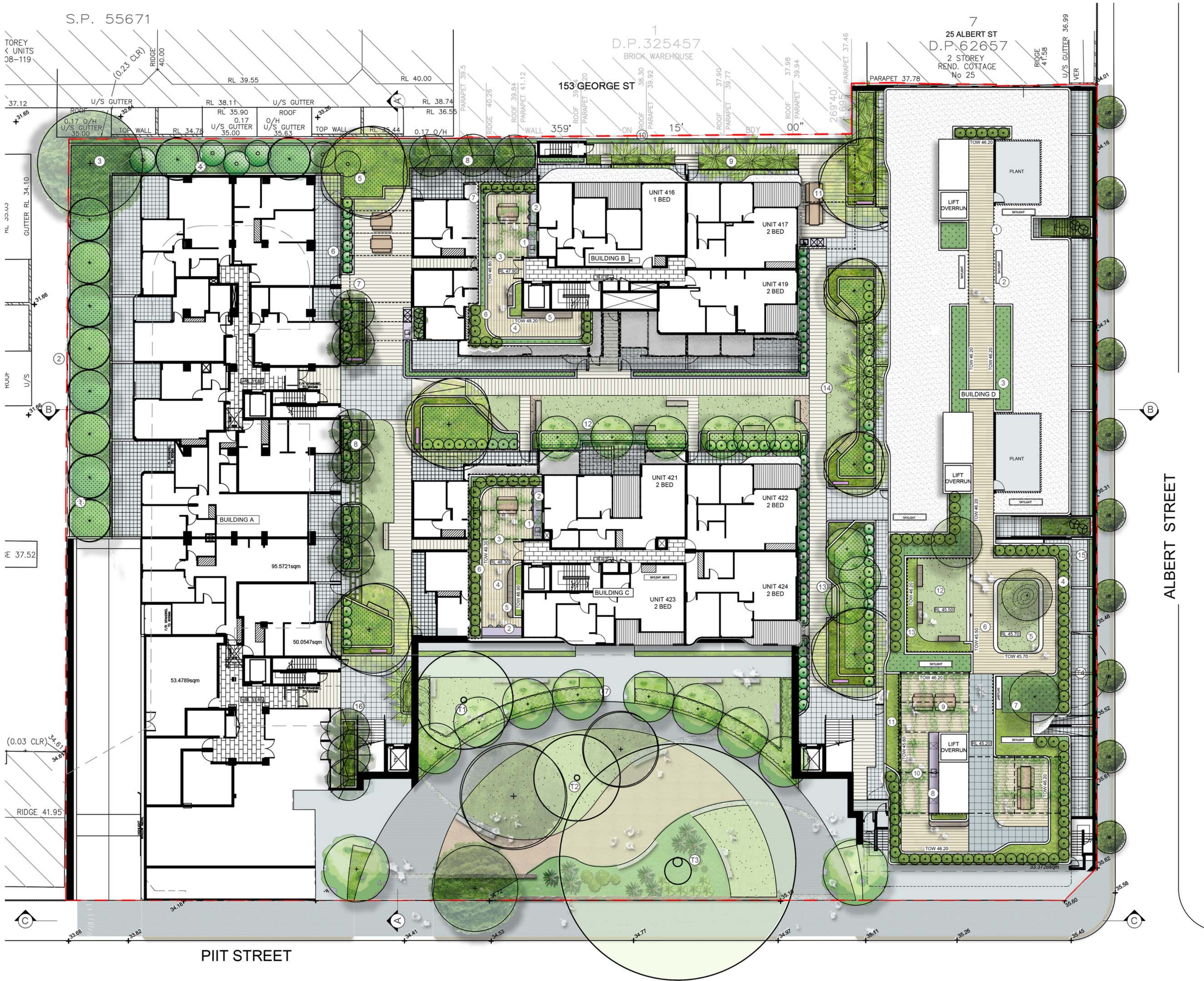


RACHEL FORSTER APARTMENTS

134-144 PITT STREET, REDFERN NSW 2016

LANDSCAPE CONCEPT PLANS
ISSUE D - FOR DEVELOPMENT APPLICATION



01 SITE PLAN
SCALE 1:250 @ A1

DRAWING REGISTER

DWG NO.	TITLE	Scale
L_100	Cover Sheet/Site Plan	1:250
L_101	Lower Ground Floor Plan	1:200
L_102	Ground Floor Plan	1:200
L_103	Communal Roof Terraces	1:200
L_104	Sections/Elevations 01	1:200
L_105	Sections/Elevations 02	As shown

SITE AREA CALCULATIONS

TOTAL SITE AREA = 6922.9m²
DEEP SOIL PLANTED AREA
GROUND + LOWER GROUND FLOOR = 475.5m²
PLANTING ON STRUCTURE
GROUND + LOWER GROUND FLOOR = 783.6m²
ROOF TERRACES (BUILDING B+C+D) = 274.2m²
TOTAL PLANTED AREAS (INCLUDING TURF) = 1533.3m²
*22% OF TOTAL SITE AREA

KEY:

DEEP SOIL PLANTED AREA

PLANTING ON STRUCTURE



02 AREA DIAGRAM
SCALE 1:500 @ A1

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Issue	Description	Drawn	Check	Date
D	UPDATED DA ISSUE	TC	BL	16.08.2017
C	ISSUE FOR DA	TC	BL	16.08.2016
B	DRAFT FOR REVIEW	TC	BL	22.07.2016
A	CONCEPT FOR REVIEW	BL	LB	07.07.2016

Key Plan:

Client:

KAYMET PTY LTD

Project:

RACHEL FORSTER APARTMENTS
134 PITT STREET
REDFERN, NSW 2000

formed gardens
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ABN 29 123 977 702

DEVELOPMENT APPLICATION

Drawing Name:

COVER SHEET AND
SITE PLAN

Scale: 1:250 @ A1

Job Number:

FG 16 432

Drawing Number:

L_100

Rev:

D

Sheet 1 of 5



LANDSCAPE NOTES

- Southside buffer landscape** - Deep soil planterboxes over basement entry (1m soil depth). Mix of tall native screening trees in deep soil planterbox (*Eleocharis acicularis* + *reticulatus*). Mass understorey plantings of shade tolerant species, refer to schedules. 1.8m high privacy fencing along planter walls to separate common area from private lower ground floor courtyards, match to architectural detailing
- Boundary fencing**- Selected boundary fencing on top of planterbox wall to secure site. NOTE- All boundary fencing to be selected in coordination with neighbouring properties. Final fencing type TBC after negotiations
- Tall native canopy trees**- Local native canopy specimens in deep soil (*Corymbia gummifera*)
- Boundary screen plantings**- Informal screen planting along Western boundary within deep soil planterboxes. Tall native screening trees with mass understorey plantings (*Callistemon*, *Callicoma*, *Ceratopetalum* sp)
- Specimen trees**- Scattered signature flowering trees at key points throughout common gardens. Medium size trees selected to be suitable for available soil volumes
- Private courtyards**- Private courtyards to lower ground floor dwellings. Selected stone tiled finish with 1.8m privacy screens + planting to perimeters.
- Communal entertaining space 1**- Communal entertaining space. Cooking + dining facilities beneath open pergola structure. Fixed table settings and bbq + sink to cater for groups and intimate gatherings. Paving treatments to be hard wearing stone tile
- Tall palm plantings**- Deep soil planterboxes to sustain tall native palms for scale against built form and passive screening between buildings (*Architophoenix* + *Howea* sp). Mass low maintenance screening shrubs + accents beneath as foliage display at human scale
- Tree fern groves**- Tall native tree ferns (*Cyathea australis*) in raised planterboxes for overhead canopy along boardwalk access paths. Mass foliage plants and accents beneath
- Warehouse vista**- Preserve vista of remnant brick warehouse wall. Preserve existing signage, remove unwanted examples of graffiti and weed species causing damage to structure
- Communal entertaining space 2**- Secondary LG floor entertaining space. Open pergola over table settings and built-in cooking facilities
- Avenue plantings**- Small to medium size deciduous flowering trees (*Lagerstroemia* + *Malus* sp) to create avenues along access boardwalks. Screening shrubs and grasses beneath for low level privacy to private courtyards- Open lawn area with benches in front for passive recreation
- Seating hubs**- Brick walling to 500mm high. Match brickwork finish to architectural detailing, timber slats on top of seats. Incorporate mass grass and accent plantings in low planters- Way finding signs in low planter boxes adjacent to lobby/ building entrances
- Through site link paths + Lawn inserts** - Timber or composite boards as access paths through lower ground floor common areas. Ramp as required to accessible grades to meet building lobbies. Ornamental lawn spaces along boardwalks, provide minimum 300mm soil profile over structure
- Albert St sunken courtyards**- Retaining wall along Albert St footway with low planter wall to front. Plant with climbing species as green facade over tensioned wire trellis system. Courtyards to be stone tiled with low feature planters (beneath lobby entry ramps) to sustain shade loving native fern and accent species
- Ground floor public space access**- Access steps and lift to ground floor public spaces. Access via security gate/intercom, refer to architectural detailing
- Ground floor public spaces**- Refer to Ground floor plan (L_102)

EXISTING TREE REGISTER			
Tree number	Botanical Name	Common Name	Recommendation
T1	<i>Lophospermum confertus</i>	Brushbox	Retain
T2	<i>Lophospermum confertus</i>	Brushbox	Retain
T3	<i>Cinnamomum camphora</i>	Camphor laurel	Retain
T4	<i>Plumeria rubra</i>	Frangipani	Relocate as per plan

* Note: trees to be retained are to be protected in accordance with AS 4970 and existing arborist report

PROPOSED PLANT SCHEDULE- LOWER GROUND FLOOR				
Botanical Name	Common Name	Approx mature Height x Width (M)	Plant centres	Installation Size
Trees/Palms				
<i>Architophoenix alexandriae</i>	Alexander Palm	10 x 5	As plan	100L
<i>Banksia integrifolia</i>	Coastal Banksia	8 x 6	As plan	100L
<i>Corymbia gummifera</i>	Red Bloodwood	15 x 10	As plan	100L
<i>Ceratopetalum gummiferum</i>	NSW Christmas Bush	8 x 5	As plan	45L
<i>Callistemon serrifolia</i>	Black Wattle	5 x 3	As plan	45L
<i>Callistemon citrinus</i>	Bottlebrush	5 x 3	As plan	45L
<i>Eleocharis reticulatus</i>	Blueberry Ash	8 x 5	As plan	200L
<i>Eleocharis eumundi</i>	Quandong	10 x 5	As plan	200L
<i>Eucalyptus Summer Beauty</i>	Dwarf Flowering Gum	8 x 5	As plan	100L
<i>Howea forsteriana</i>	Kentia Palm	8 x 5	As plan	100L
<i>Jacaranda mimosifolia</i>	Jacaranda	10 x 10	As plan	100L
<i>Lagerstroemia Natchez</i>	Crape Myrtle	6 x 4	As plan	200L
<i>Malus 'Sutzyam'</i>	Crape Myrtle	6 x 4	As plan	200L
<i>Pyrus nivalis</i>	Snow pear	8 x 4	As plan	200L
Screen/Shrub/Accents				
<i>Acmena smithii var minor</i>	Lily Pilly	2.5 x 2.0	800mm	300mm
<i>Acacia fimbriata Dwarf</i>	Dwarf wattle	1.5 x 1.0	800mm	200mm
<i>Alpinia caerulea</i>	Native ginger	1.8 x 1.0	800mm	200mm
<i>Alpinia caerulea 'Redback'</i>	Native ginger	1.8 x 1.0	800mm	200mm
<i>Backhousea myrtifolia</i>	Grey Myrtle	1.0 x 1.0	500mm	140mm
<i>Banksia aemula</i>	Wallum Banksia	3 x 1	As plan	300mm
<i>Banksia ericifolia</i>	Heath Banksia	0.8 x 0.8	600mm	200mm
<i>Cordylina glauca</i>	Ti Plant	1.8 x 0.4	400mm	200mm
<i>Cordylina petiolaris</i>	Palm Lily	4.0 x 1.0	600mm	200mm
<i>Cyathea australis</i>	Rough Tree Fern	8.0 x 4.0	As plan	1.5m Trunk
<i>Doryanthes excelsa</i>	Gymea Lily	1.2 x 1.0	1.2m	200mm
<i>Neurum Dwarf Apricot</i>	Dwarf Neurum	1.5 x 1.0	1.2m	200mm
<i>Ozothamnus diosmifolius</i>	Rice Flower	1.5 x 1.0	1.2m	200mm
<i>Westringia fruticosa</i>	Coastal Rosemary	0.8 x 0.8	600mm	200mm
Groundcovers and Climbers				
<i>Blechnum cartilagineum</i>	Gristle Fern	1.0 x 0.8	600mm	200mm
<i>Dianella caerulea</i>	Flax Lily	0.3 x 0.3	300mm	140mm
<i>Dichondra repens</i>	Kidney Creeper	Groundcover	600mm	100mm
<i>Doodia aspera</i>	Rasp Fern	0.3 x 0.3	300mm	140mm
<i>Hardenbergia violacea</i>	False Sarsparilla	Scrambler	500mm	140mm
<i>Isoplepis nodosa</i>	Club Rush	0.7 x 0.7	500mm	140mm
<i>Lomandra longifolia</i>	Katrinus Delux	Scrambler	400mm	140mm
<i>Kennedia rubicunda</i>	Dusky Coral Pea	Scrambler	500mm	140mm
<i>Lomandra Lime turf</i>	LimeTuff lomandra	0.2 x 0.2	400mm	140mm
<i>Myoporum parvifolium</i>	Creeping boobiala	0.3 x 0.6	400mm	140mm
<i>Parthenocissus tricuspidata</i>	Boston Ivy	Climber	600mm	140mm
<i>Philodendron Xanadu</i>	Dwarf Neurum	0.6 x 0.6	600mm	20mm
<i>Trachelospermum jasminoides</i>	Star Jasmine	0.6 x 0.6	600mm	140mm
<i>Viola hederacea</i>	Native violet	Groundcover	600mm	100mm

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D	UPDATED FOR ISSUE	TC	BL	16.06.2017
C	ISSUE FOR DA	TC	BL	18.06.2016
B	DRAFT FOR REVIEW	TC	BL	1.08.2016
A	CONCEPT FOR REVIEW	BL	LB	07.07.2016

LEGEND

- SITE BOUNDARY
- PROPOSED RL WALL HEIGHTS
- EXISTING TREES TO BE RETAINED.
- NATIVE CANOPY TREES TO 10m +
- NATIVE SCREENING TREES: 8-10m HIGH
- NATIVE PALMS/TREE FERNS: 8-10m HIGH
- DECIDUOUS FLOWERING TREES: 6-8m HIGH
- SPECIMEN TREES: 6-8m HIGH
- MIXED ACCENT PLANTS/SHRUBS
- SHRUBS UP TO 2m TALL
- GROUNDCOVERS/ LOW SHRUBS/ GRASSES UP TO MAX. 1m
- TURF AREA ON SLAB: 300mm SOIL PROFILE
- PAVING TYPE 1 - GRANITE UNITS
- PAVING TYPE 2 - BOARDWALK PATHS: TIMBER OR COMPOSITE
- WALL TYPE 1 - RENDERED BLOCKWORK
- WALL TYPE 2 - FACE BRICKWORK
- PERGOLA OVERHEAD
- BENCH SEATING
- BATTEN FENCING. REFER ARCHITECTURAL DETAIL
- WAY FINDING SIGNS
- BASEMENT OUTLINE + FLOOR ABOVE
- EXISTING RL
- PERGOLA OVERHEAD
- BENCH SEATING
- BATTEN FENCING. REFER ARCHITECTURAL DETAIL

Client:
KAYMET PTY LTD

Project:
**RACHEL FORSTER APARTMENTS
134 PITT STREET
REDFERN, NSW 2000**

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DEVELOPMENT APPLICATION

Drawing Name:
**LANDSCAPE CONCEPTS
LOWER GROUND FLOOR PLAN**
Sheet 2 of 5
Scale: 1:200 @ A1
Job Number: FG 16 432
Drawing Number: L_101
Rev: D



LANDSCAPE NOTES

1. **Pitt St pedestrian footway**- Retain all sandstone kerbing, consolidate/infill with replacement sandstone kerbing where required- Council to advise. Make good to existing asphalt footway to council requirements. Retain all existing street furniture and services, install new infill type lids to all pits as required. All footway treatments to satisfy requirements as per *Sydney Streets Code 2103 (Local Areas)*
2. **Avenue of deciduous flowering trees *Pyrus 'Capital'*** - hedging + mass plantings below to screen residents communal open space
3. **Shared access way through new public space**- Curved asphalt access pathway to reference existing asphalt driveway to old hospital entrance. Incorporate cobblestone banding and possible interpretive detailing into ground plane as reference of site history
4. **Entry garden bed**- Transplanted *Plumeria* Sp. (T4) as entry specimen within low mass planting of grasses/groundcovers. Incorporate non-intrusive lighting to highlight specimen tree and associated signage walling
5. **Site signage and heritage interpretation wall**- New 1.5m high interpretive wall to detail former site use and historical significance. Match brickwork treatments to existing precedents on site. Wall to form part of interpretation strategy to future detail
6. **New public open space**- Public park space to consist of primary open lawn space with existing and additional native canopy trees overhead, mass planting displays beneath existing *Cinamomum camphora* (T3), seating provisions and non-intrusive lighting to ensure safe access and surveillance to the space. All works beneath existing *Lophostemon confertus* (T2) to be in keeping with arborist recommendations

7. **Private forecourt Building C**- open lawn areas with seating benches for passive recreation- Retain existing *Lophostemon confertus* (T1) as per arborist recommendations
8. **New public courtyard**- Decomposed granite permeable surface beneath existing canopy trees. Provisions for seating along the link with potential market stall + community use space. Incorporate non-invasive lighting scheme and power provisions to facilitate mixed use requirements
9. **Existing brick wall**- Retain and repair existing remnant brick wall, project engineer to confirm integrity of wall. All plantings behind existing wall to be low shrubs/grasses/groundcovers (maintained to 600mm high) to maintain casual surveillance and ensure connectivity between streetscape, the new public space, and the proposed built form. All works beneath existing *Cinamomum camphora* (T3) to be in keeping with arborist recommendations
10. **Secondary lawn and rest space**- Create secondary lawn space with seating provisions. Grade turf levels as necessary to preserve existing levels around existing *Cinamomum camphora* (T3)
11. **Screen planting to private courtyards** - Screen planting to 2m with privacy screen/ fence for ground floor private courtyards

12. **1.5m steel picket fence + gates**- fence to separate public space and residents communal space
13. **Albert St pedestrian footway**- Remove existing concrete footway and install asphalt paving. Kerbstones to be new sandstone- subject to Council directives. Small street trees- *Elaeocarpus reticulatus* (@ 7.5m centres) along narrow pedestrian footway- Council to advise. All footway treatments to satisfy requirements as per *Sydney Streets Code 2103 (Local Areas)*
14. **Entries to Albert street terraces**- Entry ramps to building D lobbies on accessible grades. Refer to architectural detailing for site identification signage, letterboxes and security provisions
15. **Albert St walling and balustrades**- Retaining wall along Albert St footway to meet existing footpath grades and levels. Decorative balustrade/screens along top of wall to architects detail
16. **Sunken courtyards**- Refer to lower ground floor plan (L_101)
17. **Residential communal gardens**- Refer to Lower ground floor plan (L_101)

EXISTING TREE REGISTER			
Tree number	Botanical Name	Common Name	Recommendation
T1	<i>Lophostemon confertus</i>	Brushbox	Retain
T2	<i>Lophostemon confertus</i>	Brushbox	Retain
T3	<i>Cinamomum camphora</i>	Camphor laurel	Retain
T4	<i>Plumeria rubra</i>	Frangipani	Relocate as per plan

* Note: trees to be retained are to be protected in accordance with AS 4970 and existing arborist report

PROPOSED PLANT SCHEDULE- GROUND FLOOR				
Botanical Name	Common Name	Approx mature Height x Width (M)	Plant centres	Installation Size
Trees/Palms				
<i>Corymbia maculata</i>	Spotted Gum	20 x 10	As plan	200L
<i>Elaeocarpus reticulatus</i>	Blueberry Ash	8 x 5	As plan	200L
<i>Eucalyptus haemastoma</i>	Scrubby Gum	15 x 5	As plan	200L
<i>Tristanopsis laurina</i>	Water Gum	10 x 5	As plan	200L
<i>Plumeria</i> sp (extg- transplanted)	Frangipani	6 x 4	As plan	Existing 100L
<i>Pyrus 'Capital'</i>	Callery pear	10 x 4	As plan	
Screen/Shrub/Accents				
<i>Acacia fimbriata Dwarf</i>	Dwarf wattle	1.5 x 1.0	800mm	200mm
<i>Asplenium nidus</i>	Birds Nest Fern	1.0 x 1.0	1.2m	200mm
<i>Backhousea myrtifolia</i>	Grey Myrtle	1.0 x 1.0	500mm	140mm
<i>Banksia aemula</i>	Waiwaim Banksia	3 x 1	As plan	300mm
<i>Banksia ericifolia</i>	Heath Banksia	0.8 x 0.8	600mm	200mm
<i>Cordyline glauca</i>	Ti Plant	1.8 x 0.4	400mm	200mm
<i>Cordyline petiolaris</i>	Palm Lily	4.0 x 1.0	600mm	200mm
<i>Dorstenia excelsa</i>	Gymea Lily	1.2 x 1.0	1.2m	200mm
<i>Ozothamnus diosmifolius</i>	Rice Flower	1.5 x 1.0	1.2m	200mm
<i>Viburnum odoratissimum</i>	Sweet Viburnum	1.8 x 1.0	0.8	200mm
<i>Westringia fruticosa</i>	Coastal Rosemary	0.8 x 0.8	600mm	200mm
Groundcovers and Climbers				
<i>Flax Lily</i>	Flax Lily	0.3 x 0.3	300mm	140mm
<i>Dianella caerulea</i>	Kidney Creeper	Groundcover	600mm	100mm
<i>Dichondra repens</i>	Lord Howe lily	0.6 x 0.6	600mm	200mm
<i>Dielsia robinsoniana</i>	Rasp Fern	0.3 x 0.3	300mm	140mm
<i>Doodia aspera</i>	False Sarsparilla	0.7 x 0.7	500mm	140mm
<i>Hardenbergia violacea</i>	Club Rush	0.7 x 0.7	500mm	140mm
<i>Isoplexis nodosa</i>	Katinius Delux	0.7 x 0.7	400mm	140mm
<i>Lomandra longifolia</i>	Dusky Coral Pea	Scrambler	500mm	140mm
<i>Kennedia rubicunda</i>	LimeTuff Lomandra	0.5 x 0.5	400mm	140mm
<i>Lomandra lime tuff</i>	Creeping boobiala	0.2 x 0.6	400mm	140mm
<i>Myoporum parvifolium</i>	Native violet	Groundcover	600mm	100mm
<i>Viola hederacea</i>				

** Street tree replacement- TBC with Council preferred species

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Issue	Description	Drawn	Check	Date
D	AMEND TO COUNCIL REVIEW	TC	BL	09.06.2017
C	ISSUE FOR DA	TC	BL	16.06.2016
B	DRAFT FOR REVIEW	TC	BL	1.08.2016
A	CONCEPT FOR REVIEW	BL	LB	07.07.2016

LEGEND

- SITE BOUNDARY
- +RL 13.350
+TOW 13.35
PROPOSED RL WALL HEIGHTS
- EXISTING TREES TO BE RETAINED.
- NATIVE CANOPY TREES TO 10m +
- DECIDUOUS FLOWERING TREES 6-8m HIGH
- SCREEN HEDGE PLANTING
- GROUNDCOVERS/ LOW SHRUBS/ GRASSES UP TO MAX. 1m
- TURF AREA
- DECOMPOSED GRANITE COMMUNAL SPACES
- PAVING TYPE 1 - GRANITE UNITS
- ASPHALT WITH COBBLE STONE BANDING- THROUGH SITE LINK
- WALL TYPE 1- RENDERED BLOCKWORK.
- WALL TYPE 2- FACE BRICKWORK.
- BENCH SEATING
- 1.5m HIGH STEEL PICKET FENCE
- +13.350 EXISTING RL
- BASEMENT OUTLINE + FLOOR ABOVE

Client:
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DEVELOPMENT APPLICATION

Drawing Name:
**LANDSCAPE CONCEPTS
GROUND FLOOR PLAN**

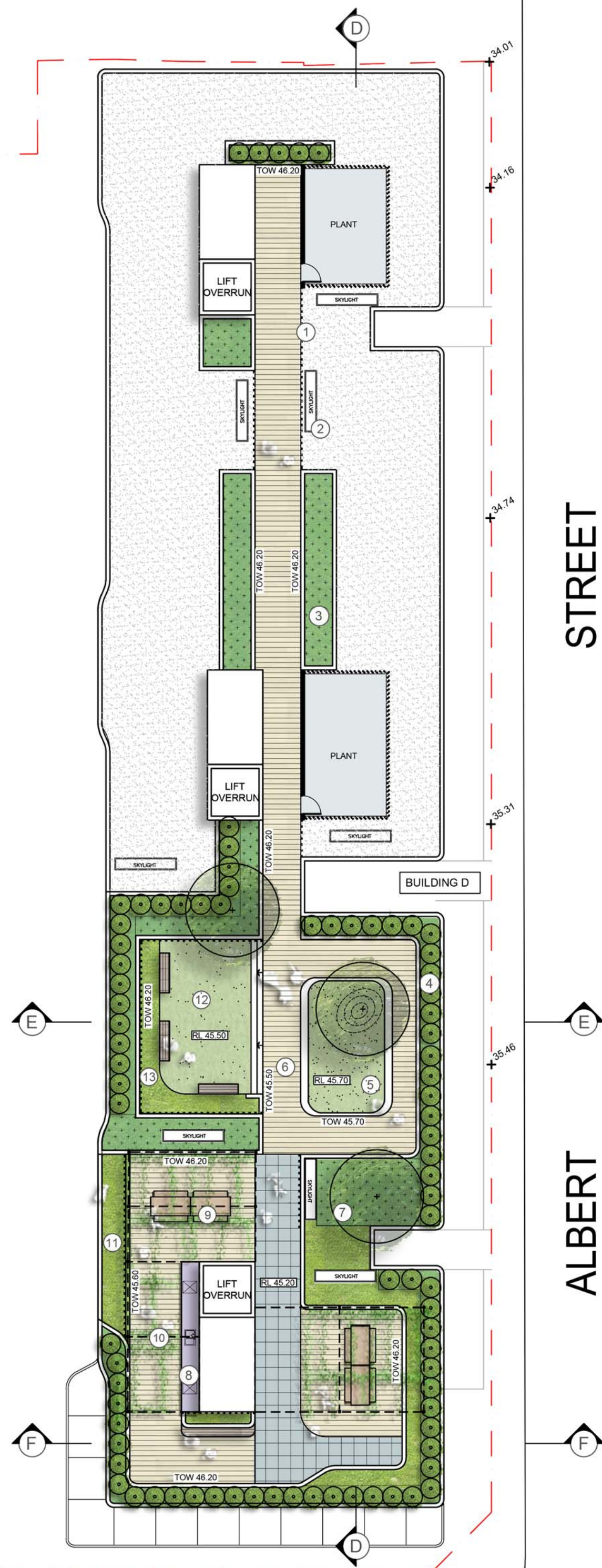
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Job Number: **FG 16 432**

Drawing Number: **L_102**

Rev: **D**





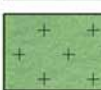









Sheet 3 of 5

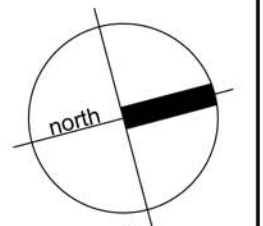


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D	UPDATED DA ISSUE	TC	BL	16.06.2017
C	AMEND ROOF TERRACE- BUILDING D	TC	BL	18.08.2016
B	DRAFT FOR REVIEW	TC	BL	01.08.2016
A	CONCEPT FOR REVIEW	BL	LB	07.07.2016
Issue	Description	Drawn	Check	Date

- | | |
|---------------------------------------------------------------------------------------|-----------------------------------------------------|
|  | SITE BOUNDARY |
| +RL 13.350
+TOW 13.35 | PROPOSED RL
WALL HEIGHTS |
|  | SMALL SPECIMEN
TREES |
|  | MIXED ACCENT
PLANTING |
|  | SCREENING PLANTS
UP TO 1.8m H |
|  | LOW SHRUBS/ GRASSES
UP TO MAX. 1m |
|  | LOW GROUNDCOVERS |
|  | TURF AREA |
|  | PAVING TYPE 2 -
BOARDWALK
TIMBER OR COMPOSITE |
|  | PAVING TYPE 1 -
GRANITE UNITS |
|  | WALL TYPE 1 - RENDERED
BLOCKWORK. |
|  | PERGOLA OVERHEAD. |
|  | BENCH SEATING |
|  | BATTEN FENCING REFER
TO ARCHITECTURAL DETAIL |
|  | BBO/ SINK |



Client: KAYMET PTY LTD

Project:

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DEVELOPMENT APPLICATION

Drawing Name:

LANDSCAPE CONCEPTS

ROOF TERRACES- B, C & D

Scale: 1:200 @ A1					
Job Number:		Drawing Number:		Rev:	

FG 16 432	L_103	D
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LANDSCAPE NOTES
BUILDING B & C- COMMUNAL ROOF TERRACES

- 1. Cooking and dining facilities-** Built-in kitchen facilities, electric BBQ w/ sink, set into bench unit with storage below. Timber or composite decking boards as ground plane finish
- 2. Bar style seating-** Casual seating space with built-in bar style table and stools
- 3. Shade structure-** Lightweight steel, open framed pergola with stainless steel wiring as trellis. Train deciduous climbing species w/ (*Vitis vinifera*) for winter solar access/summer shade
- 4. Sun deck-** Open timber terrace for passive relaxation
- 5. Oversize seating-** Built-in daybed/bed perimeter. Hardwood timbers over steel frame. Allow for led strip lighting beneath
- 6. Deep soil screen planting-** 1m deep perimeter planterboxes to sustain low maintenance shrubs and grasses to enclose the terrace. All species selected for low water and pruning requirements post establishment (refer schedules). **NOTE: All planterboxes are designed to be generally maintained from a standing position within the terraces. Contractor to install harvest points for any works at height required to the applicable BCA codes and Aust. Standards**
- 7. Fencing/Screening-** Install decorative screens to form balustrade at any climb point. Match batten screens to architectural detailing

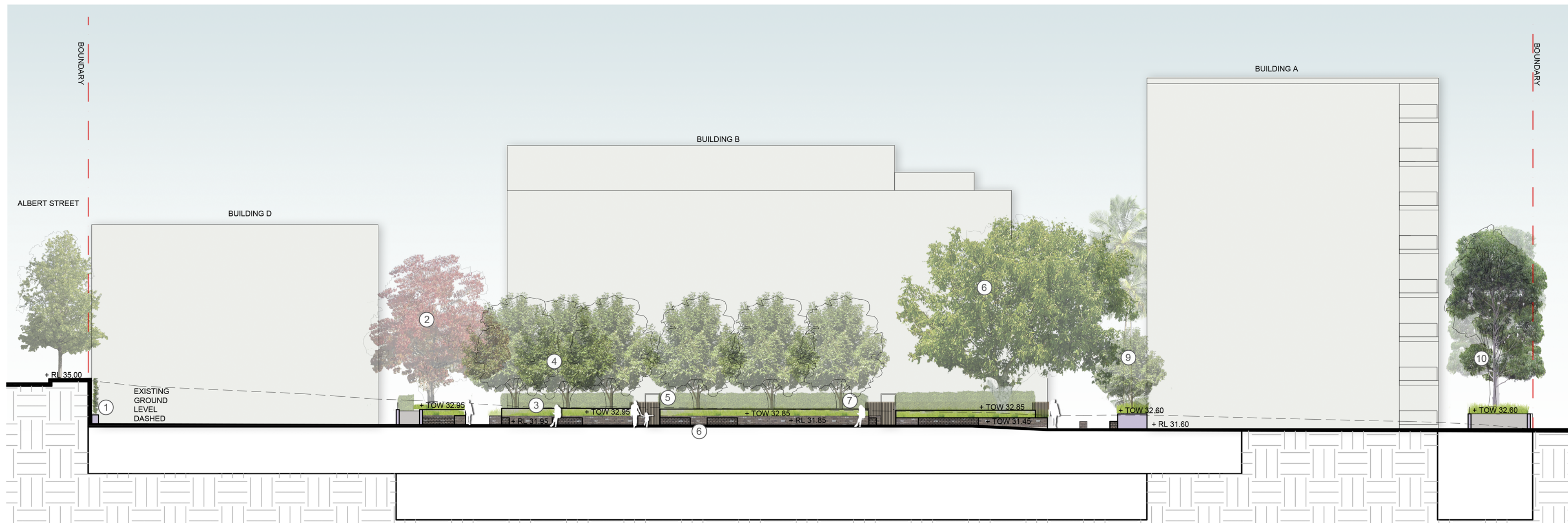
LANDSCAPE NOTES
BUILDING D- COMMUNAL ROOF TERRACE

- Batten fence/ screens to 1.5m high**
- Skylights as per architects details**
- Deep soil planterboxes 1 - Deep soil planterboxes (1m depth) - Plant with native grasses up to 500mm high.**
- Deep soil planterboxes 2 - Perimeter deep soil planterboxes (1m depth) to roof terrace perimeters to facilitate small native trees, shrubs and mass groundcovers to provide screening to the terrace. All species selected for low water and pruning requirements post establishment (refer schedules) *NOTE- All planterboxes are designed to be generally maintained from a standing position within the terraces. Contractor to install harness points for any works at height required to the applicable BCA codes and Aust. Standards***
- Turf island planting - Raised island planter with lawn surface and specimen tree (*Brachychiton rupestris*) as feature. Mound soils up gently around tree base to achieve soil depths. Wide 500mm lip along 2 sides as additional bench seating**
- Central Boardwalk- Selected timber or composite board as access way**
- Low planting around Skylights- Maximum 500mm- refer to plant schedule**

8. **Cooking and dining facilities**- Built-in kitchen facilities, electric BBQ x 2 + sink, set into bench unit with storage below.
9. **Fixed table settings for communal use**- Meeting/ dining spaces for residents
10. **Shade structure**- Lightweight steel, open framed pergola with stainless steel wiring as trellis. Train flowering climbing species over *Pandorea pandorana* 'Lemon Bells'
11. **Lookout point**- Create bench in parapet wall to facilitate view lines through to communal space on ground floor level. Balustrades as required
12. **Passive lawn space**- Raised lawn space (2 risers-min. 300mm deep soil profile) as passive recreation space. Mass native grasses to perimeter with fixed bench seating.
13. **Privacy screens**- 1.8m high fixed battan screen to ensure privacy and eliminate overlooking issues



01 SECTION AA
SCALE 1:200



02 SECTION BB
SCALE 1:200



03 SECTION CC
SCALE 1:200

SECTION AA

KEY:

1. Pitt St public forecourt
2. Access to ground floor communal spaces
3. Entry to private courtyards
4. Specimen tree. Deciduous flowering
5. Bench seating points along boardwalks
6. Tall native palms for scale against Building C
7. Mix of tall accent + shrubs along boardwalk in raised planter boxes
8. Communal entertaining space. Dining + cooking facilities beneath pergola structure
9. Tall native screening trees in deep soil planters
10. Neighbouring development. Remnant warehouse wall retained/protected

SECTION BB

KEY:

1. Narrow planters for climbers to cover boundary wall in sunken courtyards
2. Specimen tree. Deciduous flowering
3. Communal lawn spaces for passive recreation
4. Avenue of small deciduous flowering trees along boardwalks in raised planter boxes
5. Entry to private courtyards
6. Bench seating points throughout
7. Mid level screen plantings for privacy to courtyards
8. Specime flowering tree in deep soil planter
9. Tall native palms for scale against Building A

SECTION CC

KEY:

1. Tall native rainforest trees for scale against Building A. Shade tolerant understorey plantings beneath
2. Medium sized deciduous flowering trees for seasonal display
3. Interpretive wall + site signature. Specimen tree with mass plantings
4. Existing brick wall site frontage. Retain/repair
5. Pitt Street publicly accessible community space
6. Existing Camptor/laurel-T3 tree to be retained
7. Tall mature trees in deep soil along shared access way
8. Private communal gardens to Building C
9. Albert St footway- upgraded footpath + new small street trees

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Issue	Description	Drawn	Check	Date
D	UPDATED DA ISSUE	DC	BL	16.06.2017
C	ISSUE FOR DA	TC	BL	18.08.2016
B	DRAFT FOR REVIEW	TC	BL	1.8.2016
A	CONCEPT FOR REVIEW	BL	LB	07.07.2016

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KAYMET PTY LTD

Project:
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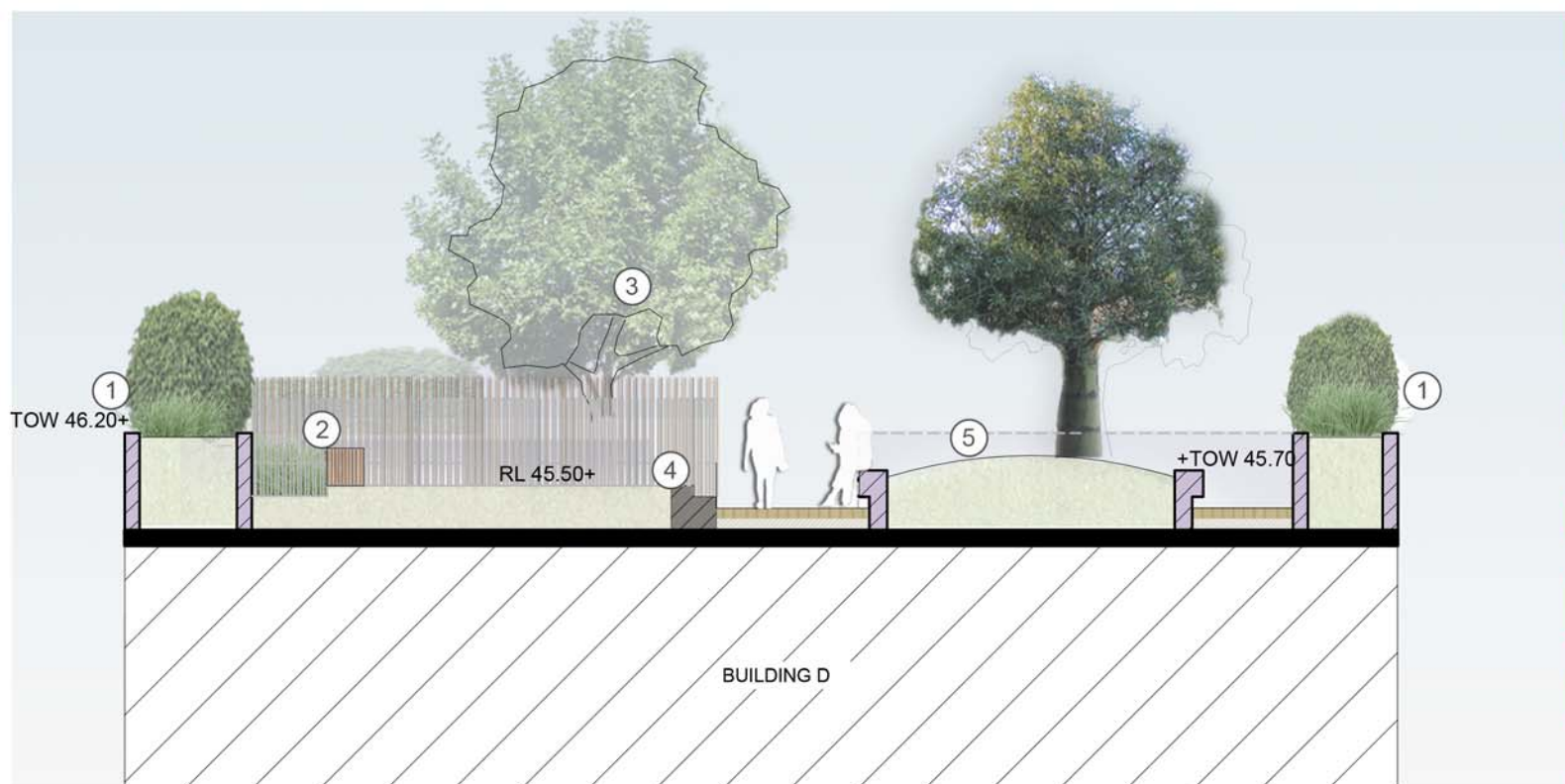
DEVELOPMENT APPLICATION

Drawing Name:
LANDSCAPE CONCEPTS
SECTIONS/ELEVATIONS 01

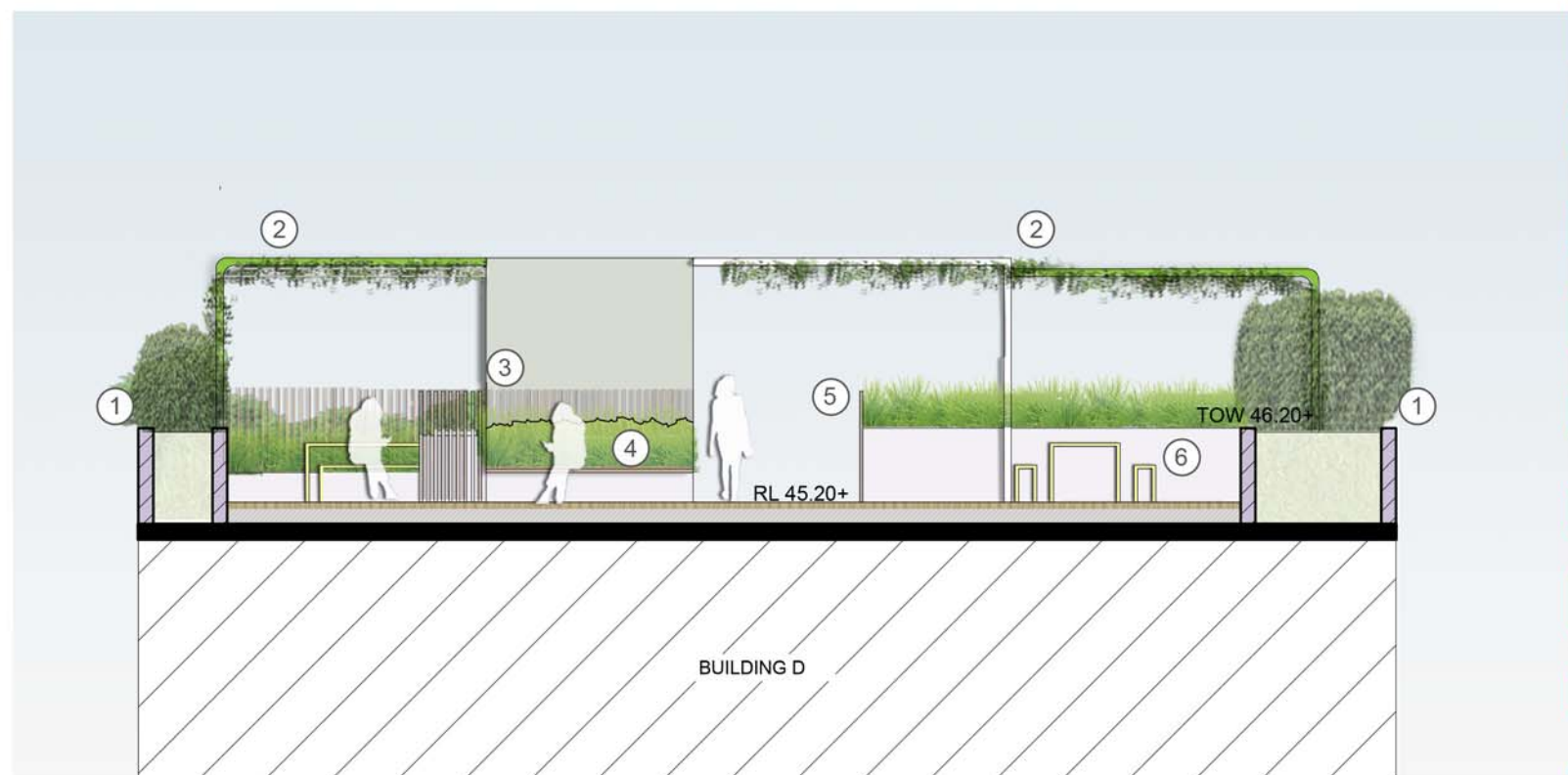
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Job Number: FG 16 432
Drawing Number: L_104
Rev: D



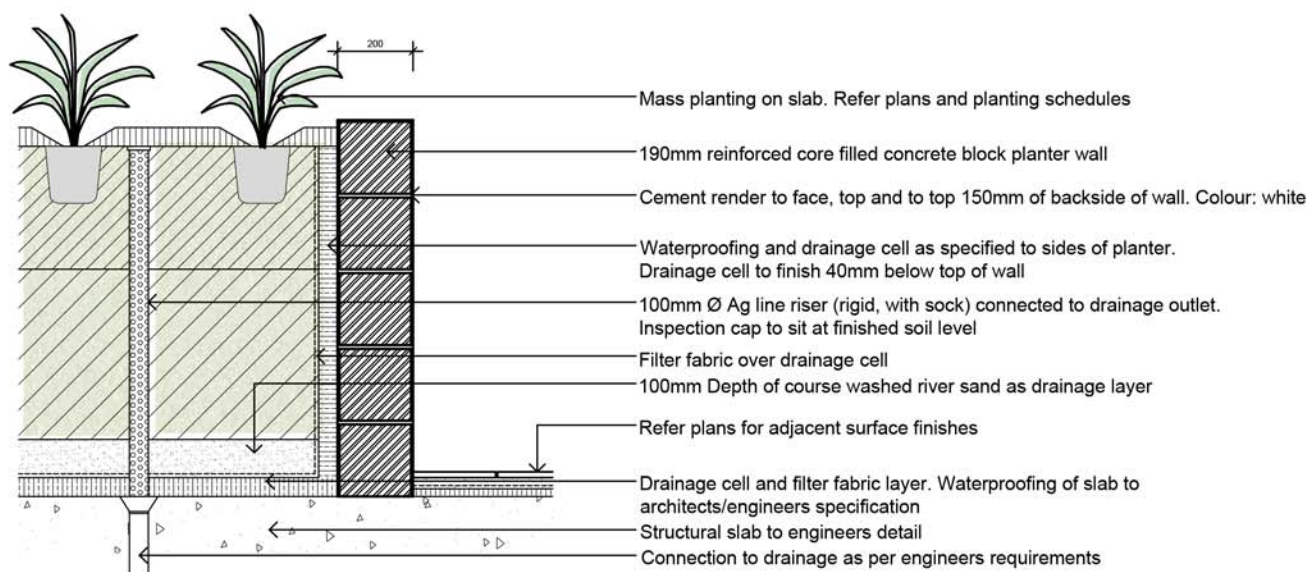
04 SECTION DD
SCALE 1:200



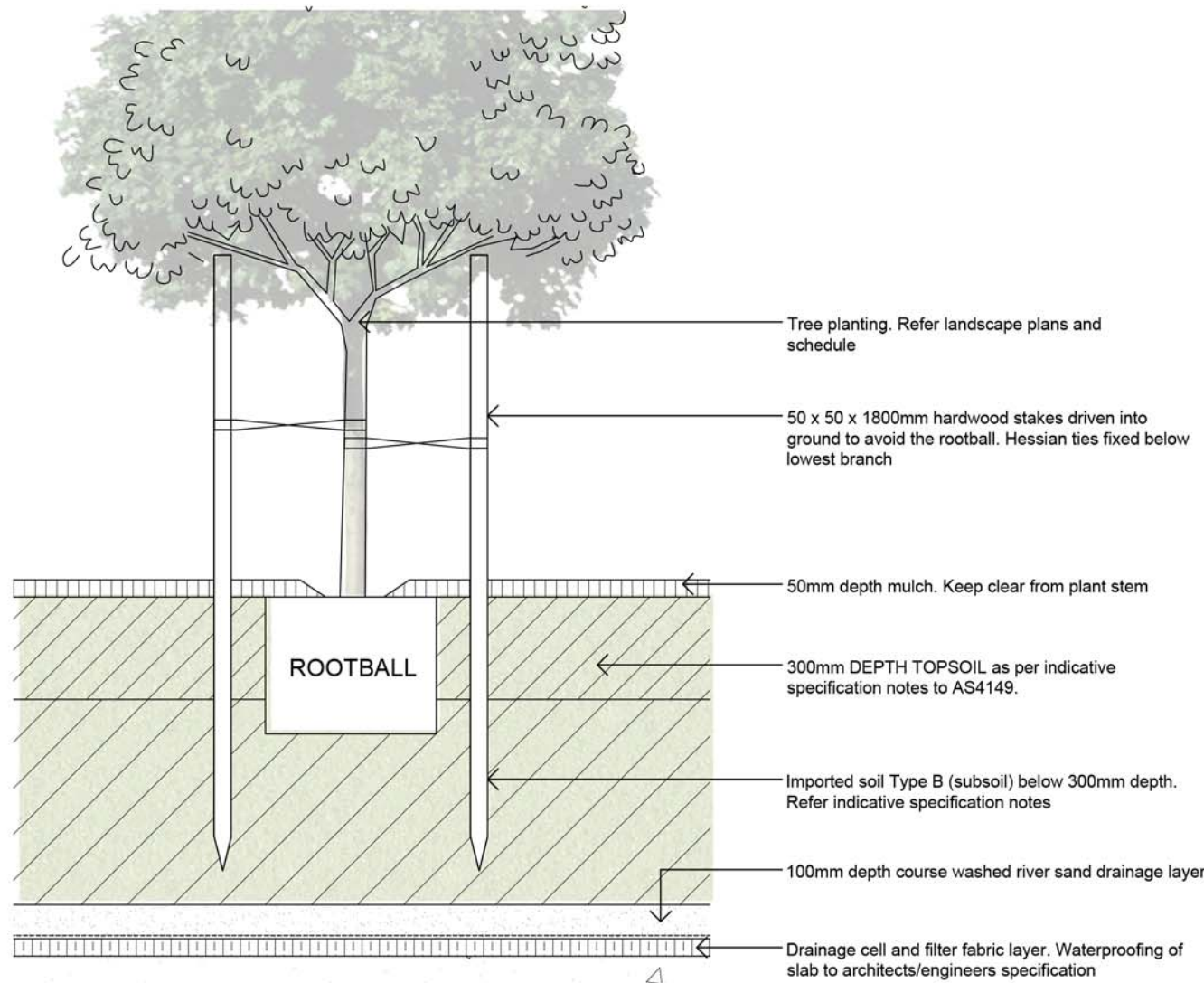
05 SECTION EE
SCALE 1:100



06 SECTION FF
SCALE 1:100



07 TYPICAL PODIUM PLANTING PROFILE- SHRUB/ACCENST/GRASSES
SCALE 1:20



08 TYPICAL PODIUM PLANTING PROFILE- TREES
SCALE 1:20

INDICATIVE LANDSCAPE NOTES

- 1.0 GENERAL**
All landscape works are to be carried out by a qualified Landscape tradespersons with the appropriate skill set and accreditation. Any changes to the required works are to be approved by the Project Landscape Architect.
- All works around existing trees on site are to be in accordance with the recommendations of the project arborist and with the arborist report by Landscape Matrix.
- 2.0 PUBLIC DOMAIN**
All paving and tree works within the public domain are to be in accordance with Sydney Street Codes 2013 and City of Sydney's Public Domain Technical manual. All treatments noted on plan are subject to review and to be confirmed/conditioned by Council.
- 3.0 SOILS**
All plantings on grade are to be a mix of cultivated site soils and imported organic mix. Improve site soils with bulk organic matter, cow manure and pelleted organic fertiliser during cultivation and before planting. Where required, supplement site soils with imported organic soil mixes
- Top Soil: Cultivated site soil with imported organic manures, topped up with locally available Native garden mix (Low phosphorus).
- Sub soil: Break up any existing heavy clay soils and improve with Gypsum

- All plantings on podium are to be the following:
Topsoil profile: Benedicts Smartmix # 4 - Lightweight planter box mix: top 300 - 400mm of soil profile
Subsoil profile: Benedicts Smartmix #5 - Lightweight planter box subsoil mix: below top 300mm of soil profile (depth varies)
Drainage layer: 75-100mm depth washed river sand
- The following minimum soil depths are to be achieved:
=300-450mm for groundcovers =450-600mm for small shrubs =600-750mm for medium shrubs =750-900mm for small trees
- 4.0 DRAINAGE TO PLANTERBOXES & RETAINING WALLS**
Supply and install drainage provisions behind all planter walls. The Landscape Contractor shall check the waterproofing is installed as per manufacturers recommendations, and notify of any breaks or inadequacies prior to installation.
Supply and install polypropylene cellular drainage cell complete with continuous geotextile filter fabric liner to back of all planterbox walls and floors, in accordance with manufacturer's instructions and details.
- Planter Walls: VersiDrain 8 Geo high density polyethylene dimpled drain sheet by *Elmich Australia P/L*
- Planter Floors: VersiCell recycled polypropylene drainage cell by *Elmich Australia P/L*
- Drainage cell and filter fabric shall extend across up planter walls to the underside of the mulch layer. Geotextile filter fabric is to be installed over all drainage cell material. Allow to tape the fabric over the top of the planter walls to ensure soil mix does not escape into drainage outlets/holes.

- 5.0 MULCHING**
All planting areas, unless otherwise specified, to be mulched with a coarse and open mulch to 50mm depth with catchment dish to be left around base of all plants. Mulch to be composted bark and wood waste, free from any diseased or noxious plant material- equivalent to 'Forest Blend' from *Australian Native Landscapes*
- 6.0 TURF**
Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Provide turf of even thickness, free from weeds and other foreign matter.
Lay the turf in stretcher pattern with the joints staggered and close butted. Finish flush, after tamping, with adjacent finished surfaces of ground. Do not allow newly turf areas to dry out between waterings throughout establishment period.
Turf types:
Private communal spaces = Soft Leaf Buffalo or approved equal
Public communal spaces = Soft Leaf Buffalo or approved equal
Synthetic lawn (SE area of Roof terrace) = 'Summer Envy' By *TigerTurf* or approved equal, installed to manufacturers specification

- 7.0 PLANTS**
Supply all plants in accordance with the landscape schedules, which have the following characteristics:
- Large healthy root systems, with no evidence of root curl, restriction or damage
- Vigorous, well established, free from disease and pests, of good form consistent with the species or variety
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site
- Trees, unless required to be multi-stemmed, shall have a single leading shoot

- 9.0 STEEL LAWN EDGING**
Install steel strip edging at interface between all turf and planted areas.
Material: 100 x 4mm Galvanised flat bar.
Fixings: 300 x 10mmD Galvanised deformed bar welded to the flat @ max. 1.0m centres and 300mm from ends.

- 8.0 IRRIGATION**
Automatic drip irrigation watering system to be selected and installed to extend to all landscaped areas. The Landscape Contractor is to liaise with council as necessary, to ensure that the irrigation conforms with all Sydney Water, Council and Australian Standards and Regulations. Contractor is to use collected rainwater wherever possible.
- A schematic design of the proposed irrigation system is to be prepared by the contractor, showing solenoids, pipe diameters, and all drip and sprinkler attachment types (including spray/head angle), for review by the superintendent prior to installation

- Provide an automatic controller that provides for two week scheduling and hourly multi-cycle operation. Programming shall be undertaken by the contractor who shall advise on the operation of the system. It shall be the contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system.
- Provision of secure housing for the automatic irrigation controller to be located alongside the corresponding plant/services equipment store on site and in association with the landscape contractor and location confirmed by the Hydraulic consultant. Wiring to connect remote solenoid locations is to be provided. The controller shall be located in a dry place, protected from the weather, and all cable connections shall be made with waterproof connectors. Water supply points to be supplied by builder.
- Implement a review of all irrigation systems after plant establishment and amend programmes and flows to suit the requirements of the established landscape.

- 10.0 PAVING**
All paving is to be sealed with penetrative, water based sealer prior to installation. Refer to manufacturer's specification.
Grade all external paving to even falls. Drain the surfaces away from structures and towards drainage outlets, or the surface run-off system provided, without ponding.
Pavements shall be constructed to the lines, profiles and cross sections shown and/or approved. Installed plus or minus 10mm from the correct level, plus or minus 3mm from a 3m straight edge laid in any direction on an area of uniform grade.
*All selected stone is to comply with AS 4586 for slip resistance and be certified by supplier to R11 and R12 slip resistance. All step treads to have 5m pencil edge. Suppliers/contractor to provide certification at installation
*Install TGS's and nosing strips to AS 1428.1 & 4.1
*All paving and base courses to be certified by engineer prior to installation
Types as noted on plan to be:
Type 1 & 2- Selected Granite tile/paver equivalent to 'Sesame grey' By Samstone P/L (T1-600mm2 T2- 600 x 400mm)
Type 3- Timber boards (Refer 1.0- Timber)
Type 4- Segmental 'Brick style' unit paver (200 x 100 x 50) Note- Final selection to be coordinated with architectural finish
Type 5- Decomposed granite. Compacted and stabilised, equal to 'Deco Gold' from *Australian Native Landscapes*
Type 6- Asphalt with granite cobble banding. 'A' class finished asphaltic paving with 90mm2 granite cobble 'Sesame Grey' (mix of 'natural split' and 'exfoliated' finish) from Samstone P/L
Type 7- Granite tile equivalent to 'Sesame grey' By Samstone P/L (600mm2 + 600 x 400mm)

Final paving selection TBC with architectural finishes

- 11.0 WALLING**
All landscape walling/planters as noted on plan to be:
Type 1- Correlift blockwork with integrated colour render finish (white)
Type 2- Face brickwork (double) to match architectural finishes and existing remnant brickwork
All finishes to be coordinated with architectural schedules
All footings to engineers details.
All subsurface walling and where masonry walls will be in contact with soils, back of walls to be waterproofed and treated as per item 3.0
All planterboxes at height to be fitted with harness points for maintenance access to BCA requirements

- 12.0 TIMBER**
Supply and install decking in the configurations shown on the drawings. Decking materials shall be selected for durability and good long term appearance characteristics. Deck material shall be 150mm wide with buttled end joints shall be avoided in favour of full length strips. All edges shall be either chamfered or arrised or pencil round. Decking shall be free of knots, shakes, splits and other blemishes that may affect the life of the material. Provide access panels made of deck strips where ever service access is required for drainage maintenance or other services located under the deck. Structural design to engineer's detail.
Type to be 'Spotted Gum' hardwood in 140mm board OR Composite engineered product- Modwood or equivalent 'Silver Gum' wide board in brushed finish.

- 13.0 FENCING**
Courtyard privacy screens + gates- Match to architectural details and finishes
Boundary fencing- Where new boundary fencing is required, type and final heights to be by negotiation with neighbouring parties and the applicant.

SECTION DD

- KEY:
- 1m high planter boxes with perimeter screen planting to ensure privacy and prevent overlooking
 - Decorative steel shade structure overhead with climbing/flowering plant species
 - Over size communal dining settings adjacent to outdoor cooking facilities
 - Low plantings around skylights to max 0.5m high
 - Turf island to 500mm high. Mound soils up to create additional depth around specimen tree
 - Raised lawn area- 2 steps (300mm min soil depth). Bench seating with perimeter native grass plantings
 - Specimen tree in deep soil planterbox. Mass grasses and spreading groundcovers beneath
 - 1m high planter boxes with mass native grass species to line boardwalk

SECTION EE

- KEY:
- 1m high planter boxes with perimeter screen planting to ensure privacy and prevent overlooking
 - Bench seating for passive recreation with low grass planting behind
 - Specimen tree in deep soil planterbox. Mass grasses and spreading groundcovers beneath.
 - Raised lawn area- 2 steps (300mm min soil depth)
 - Turf island to 500mm high. Mound soils up to create additional depth around specimen tree

SECTION FF

- KEY:
- Perimeter screen planting to ensure privacy and prevent overlooking
 - Decorative steel shade structure overhead with climbing/flowering plant species
 - Communal outdoor cooking facilities
 - Raised planter box with built-in seating edge, batten timber screen behind
 - Batten style screen along boardwalk to screen skylights
 - Over size communal dining settings

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Project:
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DEVELOPMENT APPLICATION

Drawing Name: LANDSCAPE CONCEPTS SECTIONS/DETAILS		
Sheet 5 of 5		
Scale: AS SHOWN	Drawing Number:	Rev:
FG 16 432	L_105	D