

23 June, 2017

Department of Planning and Environment, Planning Services
GPO Box 39
Sydney NSW 2001

**Re: Modification to Residential and Open Space Development, Former Rachel Forster Hospital,
 134-144 Pitt Street, Redfern (MP 07_0029 MOD 1 and MP 09_0068 MOD 1).**

Dear Sir/Madam

I have been asked by the owners of the above site to address a number of issues raised in a letter to them from the Department (your reference: MP 07_0029 MOD 1 and MP 09_0068 MOD 1) in connection with the above proposal. This letter accompanies revised plans prepared by Tony Owen Partners.

Weir Phillips Heritage prepared a Conservation Management Plan for the Former Rachel Forster Hospital Site in 2007 (hereafter referred to as the *CMP 2007*) and have prepared a number of Heritage Impact Statements addressing the original scheme and revised schemes for this site (February 2010; December 2011; September 2012; and November 2016). These earlier statements should be referred to for a history and heritage assessment of the site.

Weir Phillips Heritage have been asked to address the heritage issues outlined in 'Schedule 1-Key Issues' of the above letter. These are as follows:

Heritage:

- (6) The Department requests you consider a different/more varied façade design for Building A, in order to more clearly reflect the architectural character of the heritage building and to differentiate it from the new buildings on the site.
- (7) The Department notes the two storey colonnade marked for retention on the currently approved plans appears to have been demolished. The Department is separately investigating this matter, and requires you to note the outcome of this investigation and outline any implications for the proposed development in the Response to Submissions.
- (8) Please clarify the proposed extent of demolition of Building A, as the proposed demolition plan is ambiguous in respect of the proposed demolition.
- (9) Please provide a structural engineer's report that assesses the condition of Building A and the impact of the proposed construction and excavation works within its zone of influence, in order to ensure that integrity of the building will not be jeopardised by the proposed works.
- (10) Please prepare an updated HAA which reassesses any new impacts of the proposed modifications on the historical archaeological resources outlined in the 2012 assessment, prepared by MP 09_0068.

Each of these issues is addressed separately below.

Issue 6

The Department requests you consider a different/more varied façade design for Building A, in order to more clearly reflect the architectural character of the heritage building and to differentiate it from the new buildings on the site.

These concerns would appear to have arisen, in part, from a submission made to the Department by the City of Sydney (dated 16 March, 2017). The concerns raised in this submission are identified as follows and the ways in which the design has been modified to address these concerns discussed.

6.1 The Colonnade

The colonnade of Building 3 has been demolished without approval.

This issue is addressed under Issue 7 below.

The additional proposed storey to Building 3 will relegate the colonnade to a secondary element in the façade and thus have an adverse impact on the setting and spatial presentation of the colonnade; and

The proposed material will have a negative impact on the colonnade

Whilst the proposed height is retained, the design of the eastern elevation has been amended to address these concerns in the following ways:

- The size of window and door openings has been reduced. This provides a solid to void ratio more in keeping with the original pattern of openings behind the colonnade, which, in turn, makes the elevation more recessive against the colonnade.
- The architectural elements and finishes of the elevation behind the balustrade have been modified. The white balustrades and timber screens originally proposed at ground and first floor levels have been removed. The material palette is now more recessive against the rendered white masonry of the columns.

As demonstrated by a comparison of Figure 1 (a historic photograph of the original eastern elevation of Building C) and Figure 2 (a detail of the revised plan for the new elevation-below), the revised plan provides a good interpretation of the original elevation. The effect of this is as follows:

- The spatial presentation of the colonnade to the forecourt is reinstated. When standing within the forecourt, it is the area beneath the colonnade that is primarily experienced.
- When seen from Pitt Street, the aesthetic links that once existed between the front elevation of the colonnaded building and the front elevation of the retained heritage building are re-established.

With the above revisions, the colonnade is reinstated as a primary element in the front elevation.

With regard to retaining the proposed height, it is noted that the additional floors are recessed away from Building A and that the changes made to the design of the elevation beneath the colonnade will provide greater emphasis to this part of the building. Building C will still lie below the height of Building A and read as a building of lesser massing. While the angle of the view along the northern elevation of Building A may be narrowed on approach along Pitt Street from the north from that provided by the approved scheme, it will still be possible to stand on Pitt Street and view the length of the elevation of Building A in its entirety because the proposed additional levels are set back. Building A will continue to be the most prominent building on the site.

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Adding additional height to Buildings B and C to the approved scheme will not block view corridors towards the colonnade from directly outside of the site on Pitt Street or on approach from the north. Similarly, views of the junction that is formed by the northern elevation of Building A and the eastern elevation of Building C will remain unobstructed. It is this junction, together with the eastern elevation of Building A, which is retained, that form the 'iconic view.'

The other concerns raised under this heading are considered further below under 6.5 Building Expression.

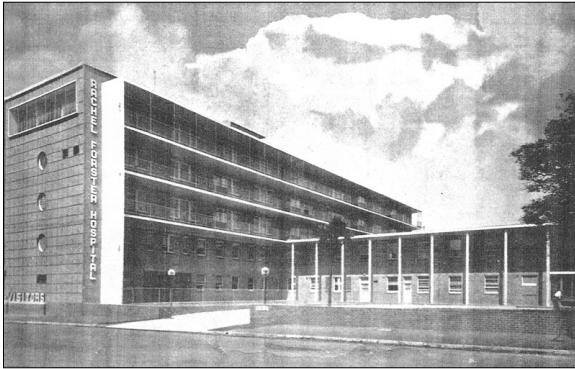


Figure 1: Rachel Forster Hospital, 1942
Construction Review, January 1942.

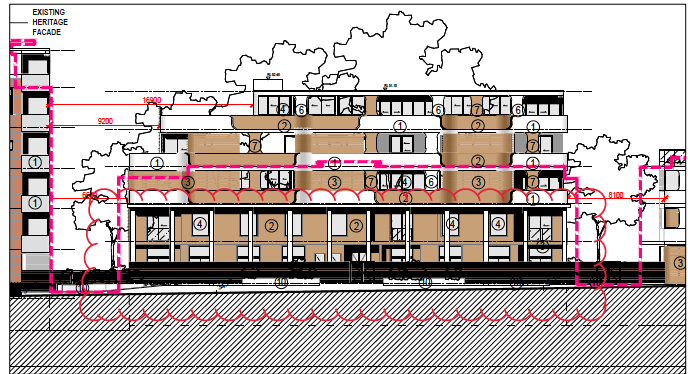


Figure 2: Revised elevation for Building C.
Tony Owen and Partners (detail).

6.2 Building A

The document is unclear as to what is retained and what will be demolished.

This is addressed under Issue 8 below.

The additions on the northern and southern sides of the retained building overwhelm the original building.

The approved design similarly retained only the eastern elevation of the building. The proposed design of the northern and southern elevations has been simplified. See under 6.5 Building Expression below. The proposed design lies within the approved footprint.

6.3 Buildings B and C

See comments with regard to Building C under 6.1 Building C above.

With regard to Building B it is noted that:

- This building has a deep-set back from Pitt Street, Albert Street and George Street, behind other buildings up to three storeys in height (to George and Albert Street) and five-six storeys (proposed Building B).
- This building will be lower in height than Building A. Its recession from Pitt Street, behind Building C, will clearly diminish its visibility from the public domain. It is noted that Building B lies close to the recently completed 'The George' fronting George Street. This is a substantial three- plus storey development. Ground level of the proposed building is set below street level.

Weir Phillips Heritage

6.4 Building D

The Albert Street elevation of Building D has been re-designed to have a stronger vertical emphasis, providing a modern interpretation of the vertical party walls that divide the terraces in a traditional terrace row. The changes made to Building D are discussed further in 6.5 Building Expression below.

6.5 Building Expression

*The building expression for all four building is homogenous; and
The use of three materials and two colours is monotonous.*

The revised design provides greater variation across the elevations so that each building reads as a separate element. There remains, however, a common language across the buildings, which is appropriate for a site where the original buildings shared a common architectural language.

With regard to the use of a limited material palette, it is noted that the original buildings on the site had a restricted palette- brick, render and timber framed doors and windows. This was an essential part of the site's original aesthetic. Most of the buildings in the surrounding Conservation Area have limited building palettes, for example, rendered walls, cast iron detailing and timber windows.

The proposed addition height to Building C will diminish the iconic view created by the eastern elevation of Building A and the colonnade of Building C.

As stated above, it is noted that the additional floors are recessed away from Building A and that the changes to the elevation beneath the colonnade will provide greater emphasis to this part of the building. Building C will still lie below the height of Building A and read as a building of lesser massing. While the angle of the view along the northern elevation of Building A may be narrowed on approach along Pitt Street from the north from the approved scheme, it will still be possible to stand on Pitt Street and view the length of the elevation of Building A in its entirety. Building A will continue to be the most prominent building on the site. Additional height to Buildings B and C will not block view corridors towards the colonnade or the junction that is formed by the northern elevation of Building A and the eastern elevation of Building C. This junction, together with the eastern elevation of Building A, which is retained, form the iconic view.

Building D does not respond to the existing streetscape of Albert Street. More specifically:

- *The horizontal proportions are out of character with the fine grained Victorian terrace houses:*

The design of the elevation has been amended to reflect the distinct vertical proportions of the Victorian terrace, particularly where it comprises part of a row. The large openings are a function of the contemporary design. Glazing bars and elements, such as the screens running across two levels, provide a stronger vertical emphasis.

- *The proposed building has an extruded relationship with the sky.*

Few infill developments in Conservation Areas have skylines characterised by traditional roof line elements such as chimneys. By dividing the elevation into distinct 'framed' bays, the long flat lines of the roofs proposed by the earlier scheme have been broken.

- *The proposal is located forward of the principal building to the west.*

Figure 3 shows that the western end of the proposed building is located no further forward than the approved building.

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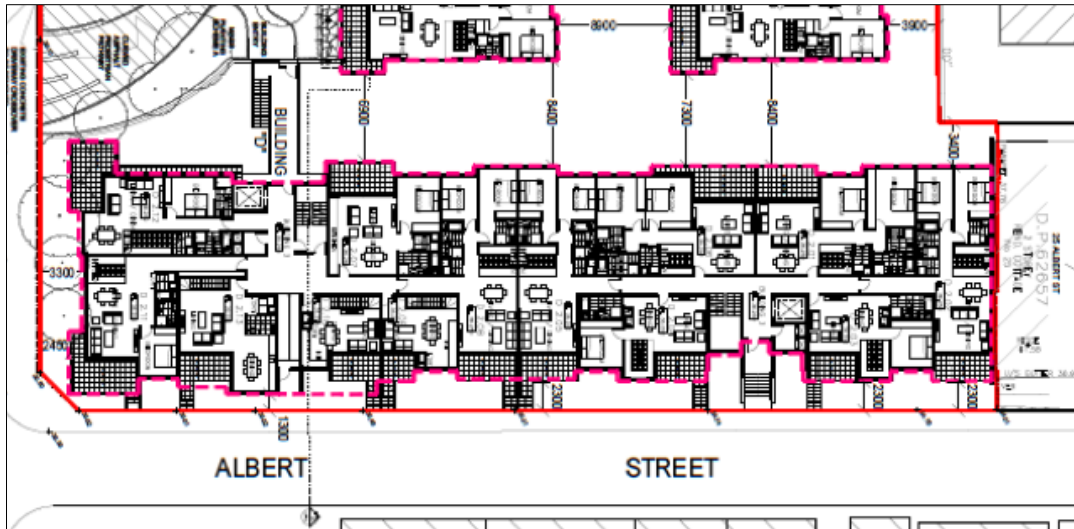


Figure 3: Detail of the accompanying plans showing the approved building line (in pink) and the proposed building line.

Tony Owen Partners.

- *The front fence is higher than the existing houses in the street.*

The approved fence height is 1.5m. The proposed fence height is 1.5m. Refer to Figure 4.

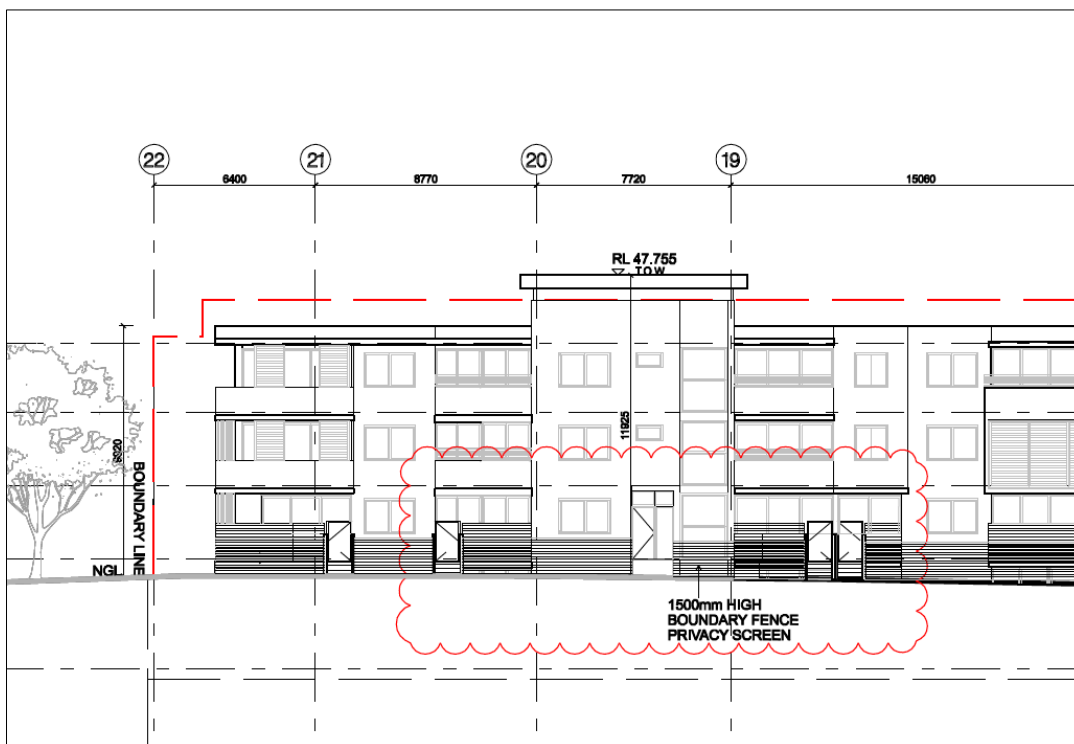


Figure 4: Detail from the approved Albert Street elevation, showing approved 1.5m high fence to Albert Street.

Architecture and Building Works.

Weir Phillips Heritage

Issue 7

The Department notes the two storey colonnade marked for retention on the currently approved plans appears to have been demolished. The Department is separately investigating this matter, and requires you to note the outcome of this investigation and outline any implications for the proposed development in the Response to Submissions.

The reasons why the columns were dismantled are set out in a letter prepared by Australian Consulting Engineers (dated 13 June, 2017). A copy of this letter is provided as Attachment 1. Briefly, this letter states that the demolition of the remainder of the building left the columns unstable; it was impractical to brace them. The engineer advised that the columns be dismantled to ensure that they were not damaged. The client has advised that the columns have been stored securely on site and will be reinstated.

Issue 8

Please clarify the proposed extent of demolition of Building A, as the proposed demolition plan is ambiguous in respect of the proposed demolition.

Tony Owen Partners have provided a set of nine plans that clarify which parts of Building A will be retained and which parts demolished. This plan set is labelled Structural Overlay-B2, B1, LG, G, L1, L2, L3, L4 and L5.

Issue 9

Please provide a structural engineer's report that assesses the condition of Building A and the impact of the proposed construction and excavation works within its zone of influence, in order to ensure that integrity of the building will not be jeopardised by the proposed works.

A separate structural report has been prepared by Australian Consulting Engineers (dated 1 June, 2017) to address this issue. This report should be referred to (Attachment 1). The engineer sets out a methodology to ensure that the existing structure will not be adversely impacted upon by the excavations required for the proposed new structure.

Issue 10

Please prepare an updated HAA which reassesses any new impacts of the proposed modifications on the historical archaeological resources outlined in the 2012 assessment, prepared by MP 09_0068.

A separate archaeological report has been prepared by Extent (dated June 2017) to address this issue. Appropriate recommendations are provided within this report.

Please do not hesitate to contact me on 8076 5317 if you have any questions,

Yours faithfully,



James Phillips (Director)

Attachment 1:

Structural Report

Australian Consulting Engineers



Australian Consulting Engineers Pty Ltd

A.C.N: 084 059 941
Suite 2/141 Concord Road
North Strathfield NSW 2137
WEB: www.aceeng.com.au

A.B.N: 82 084 059 941
Ph: +61 2 9763 1500
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E-mail: info@aceeng.com.au

Date: 01 JUNE 2017

Ref: 130485.SR02

Structural Report

PROJECT: PROPOSED MIXED USE DEVELOPMENT
CLIENT: KAYMENT CORPORATION PTY. LTD.
LOCATION: 133-144 PITT ST, REDFERN
SUBJECT: STABILITY OF EXISITING BUILDING 'A' DURING EXCAVATION

Description

The proposed development at the above mentioned address is to consist of 4 buildings, buildings 'A', 'B', 'C' & 'D' to which these buildings are to share 2 common basements. Building 'A' will utilise the existing structure as outline in image 1.

Previously the site was used as the 'Rachel Foster Hospital'. The part of the original structure which is to be kept consists of 1 Basement, Ground Level, Level 1, Level 2, Level 3 and Level 4. The proposed structure will require parts of the existing structure to be demolished and rebuilt. The new structure will require excavation approximately 7m below the existing structure. Most of the required excavation will be around the existing structure but a portion will need to be demolished for construction of a new ramp to the basements and new lift and stairs for access building A from the basements. This report will provide a methodology as to ensure that the existing structure will not be adversely affected by the excavation required for the new proposed structure.



Image 1: Site boundary and existing building to be kept/modified

Safe work method statement

The following documentation has been provided to Australian Consulting Engineers (ACE) to make an assessment.

Provided by Tony Owen Partners (project number 956):

- A350 – Structure Overlay – B2 REV B Dated May 2017 (seen in appendix 1)
- A351 – Structure Overlay – B1 REV B Dated May 2017 (seen in appendix 1)
- A352 – Structure Overlay – LG REV B Dated May 2017 (seen in appendix 1)
- A353 – Structure Overlay – G REV B Dated May 2017 (seen in appendix 1)
- A354 – Structure Overlay – L1 REV B Dated May 2017 (seen in appendix 1)
- A355 – Structure Overlay – L2 REV B Dated May 2017 (seen in appendix 1)
- A356 – Structure Overlay – L3 REV B Dated May 2017 (seen in appendix 1)
- A357 – Structure Overlay – L4 REV B Dated May 2017 (seen in appendix 1)
- A358 – Structure Overlay – L5 REV B Dated May 2017 (seen in appendix 1)

Provided by Bottaro de Nett (project reference 10541):

- Floor Plan – Basement Level “Existing Rachel Foster Hospital” (seen in appendix 2)
- Floor Plan – Ground floor “Existing Rachel Foster Hospital” (seen in appendix 2)
- Floor Plan – Level 1 “Existing Rachel Foster Hospital” (seen in appendix 2)
- Floor Plan – Level 2 “Existing Rachel Foster Hospital” (seen in appendix 2)

The following methodology will outline measures that will ensure that the excavation required for the new structure will not adversely affect the existing structure.

Methodology:

Stage 1- Underpin required existing columns. The columns that are required to be underpinned due to excavation undermining them can be found in appendix 3. Appendix 3 also outlines the process for the underpinning of columns. A detailed process to be provided by ACE should this option be approved to proceed.

Stage 2 - Install shoring. Shoring is to be designed by the engaged structural design engineer to ensure that the surcharge from the existing building has been accounted for. Refer to appendix 4 which outlines the shoring that will be required to be designed to protect the existing structure. In the case that footings are encountered whilst piling occurs the piles are to be diverted around the footing to ensure stability of the existing footings.

Stage 3 – Existing columns above proposed ramp will be required to be supported on a new suspended slab due to the need to excavate below for a new ramp. The columns will be required to be removed and reinstated. Refer to appendix 5 which outlines the process required to remove the columns above the proposed ramps and replace the slab on ground with a new suspended slab.

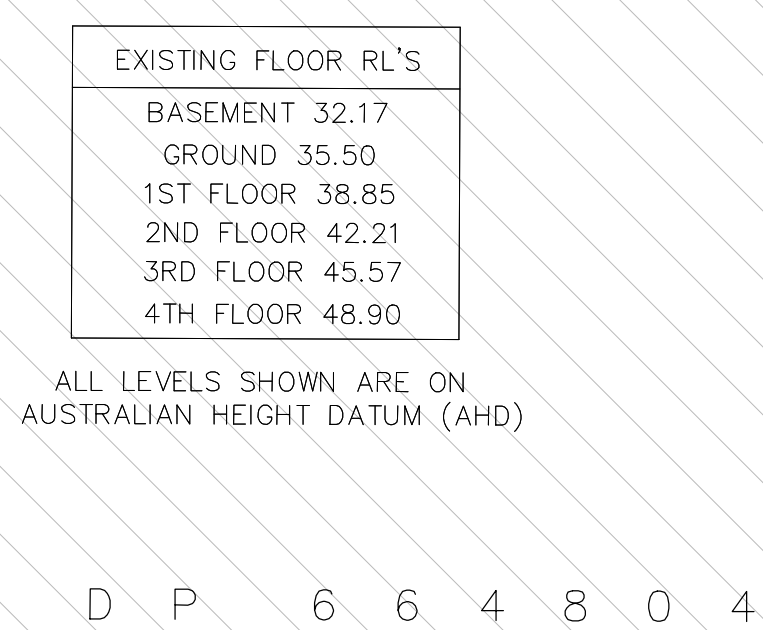
Stage 4 – Excavate in stages. Excavation is to occur in stages as it will be critical to monitor any movement of the shoring and the existing structure. As excavation continues to the required bulk excavation level it is critical that soil around the column underpinning is to be hand excavated in order to ensure the underpinning is not damaged. Soil below the new suspended slab is to be carefully removed as to not damage the new slab.

Recommendations

Above staging provides sufficient technical input to carry a feasibility study for this project. A full detailed set of drawings shall be provided should ACE be engaged for the full structural design of this project.

APPENDIX 1

ARCHITECTURAL + EXISTING STRUCTURAL OVERLAY

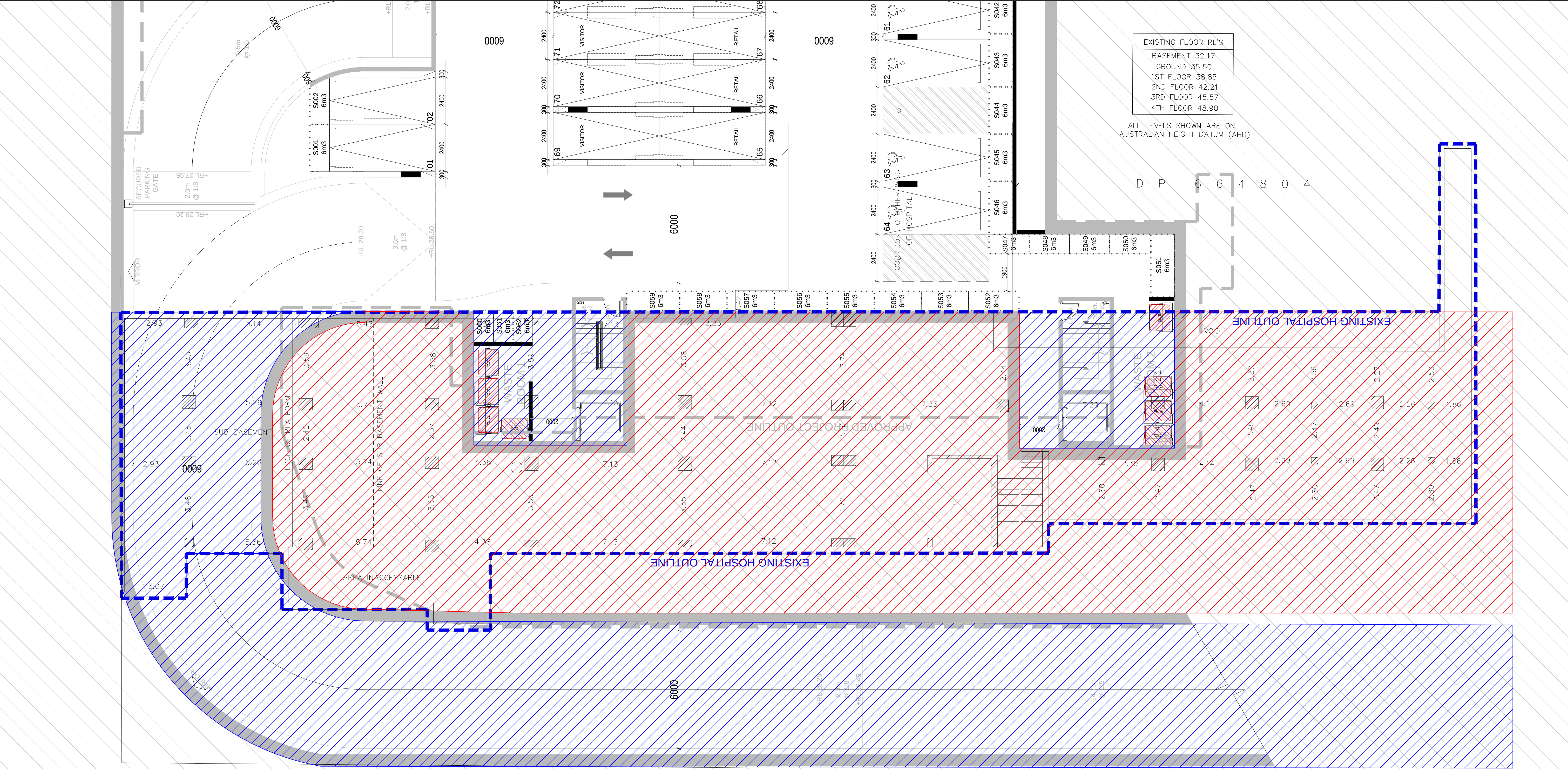


 KEEP

 DEMOLISH & REBUILD

NOTE: PROPOSED BASEMENT IS
BELOW EXISTING HOSPITAL

[illegible]



EXISTING FLOOR RL'S	
BASEMENT	32.17
GROUND	35.50
1ST FLOOR	38.85
2ND FLOOR	42.21
3RD FLOOR	45.57
4TH FLOOR	48.90

ALL LEVELS SHOWN ARE ON AUSTRALIAN HEIGHT DATUM (AHD)

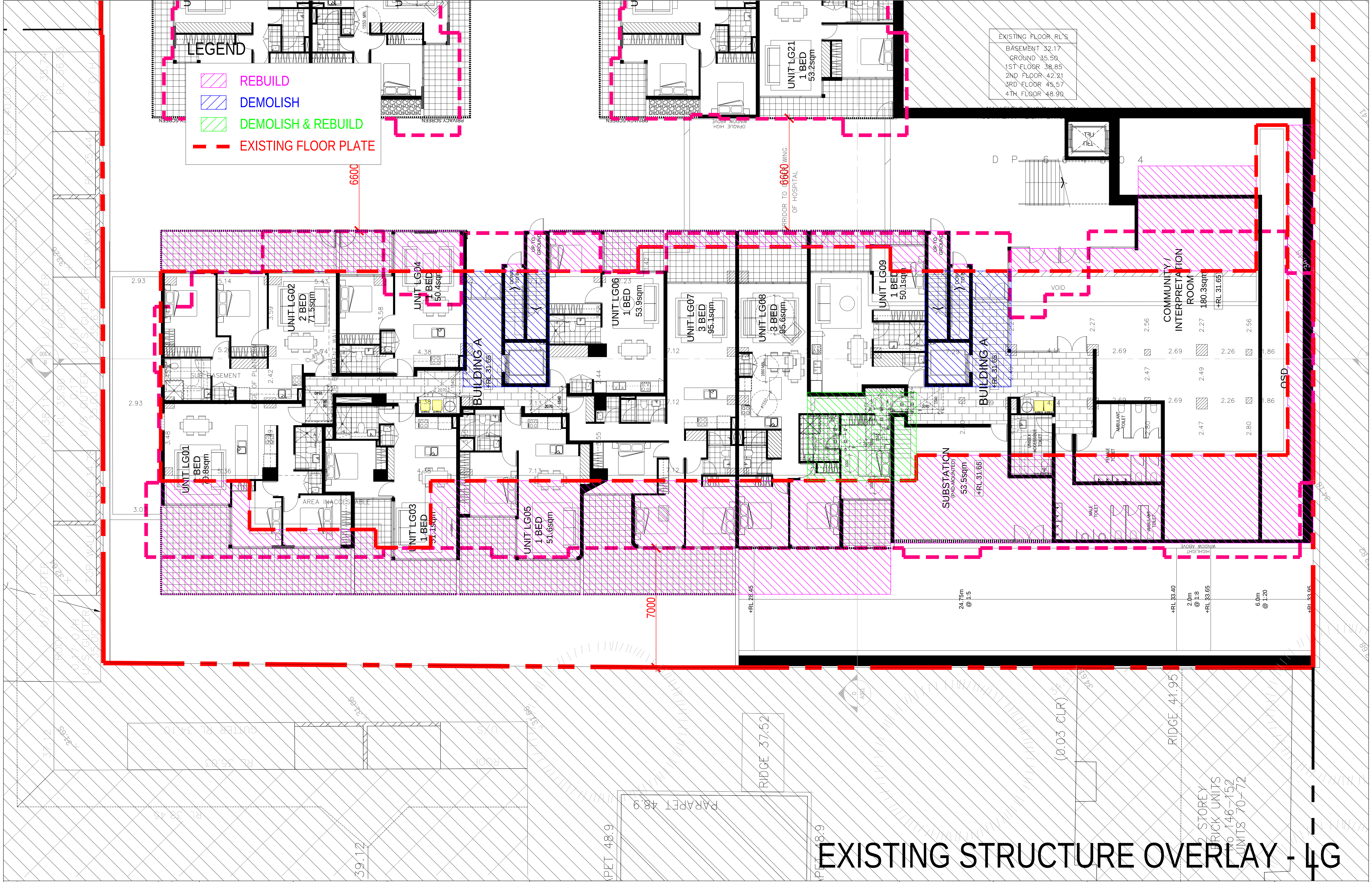
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- KEEP
- DEMOLISH & REBUILD

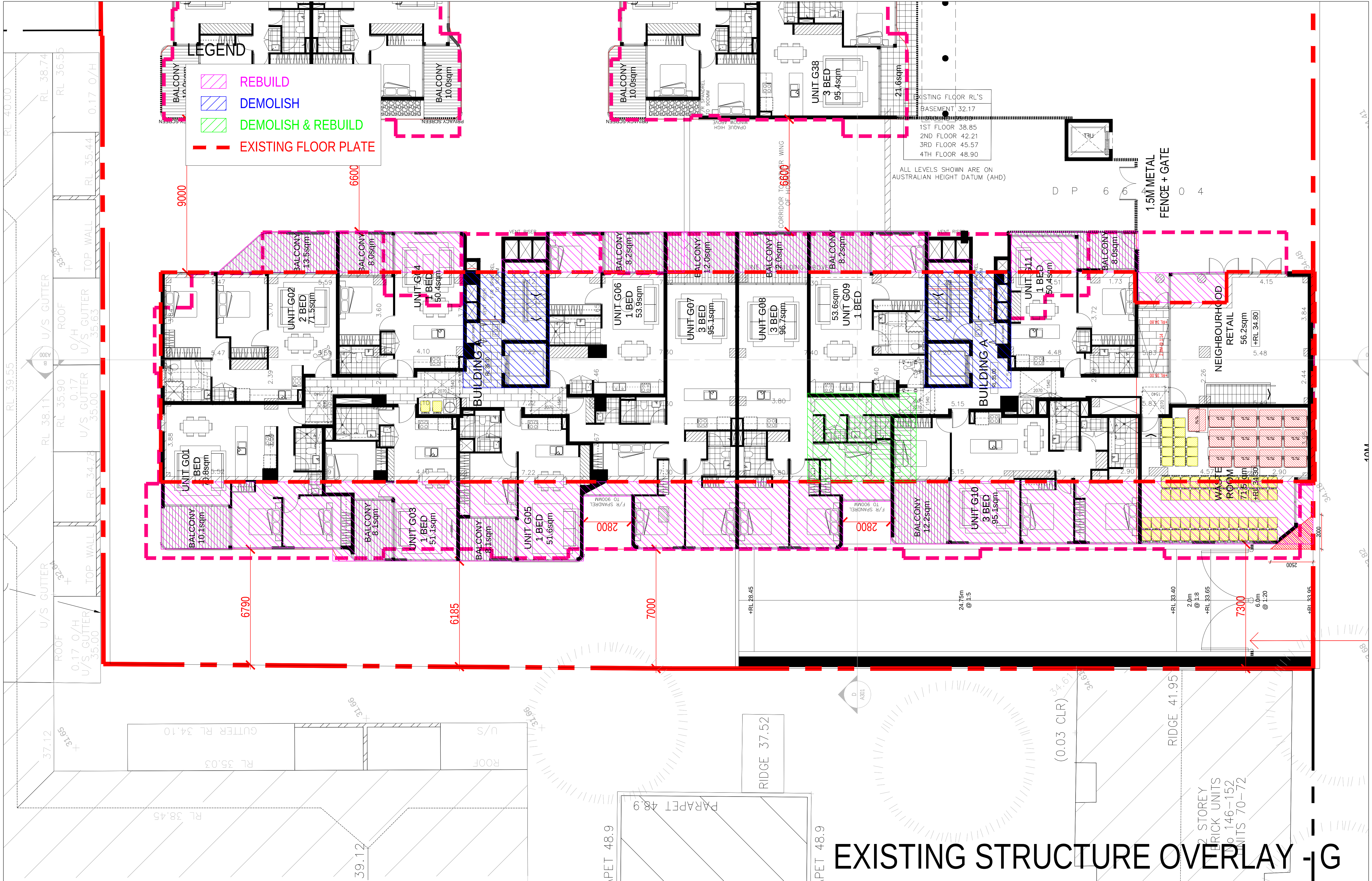
NOTE: PROPOSED BASEMENT IS BELOW EXISTING HOSPITAL

EXISTING STRUCTURE OVERLAY - B1

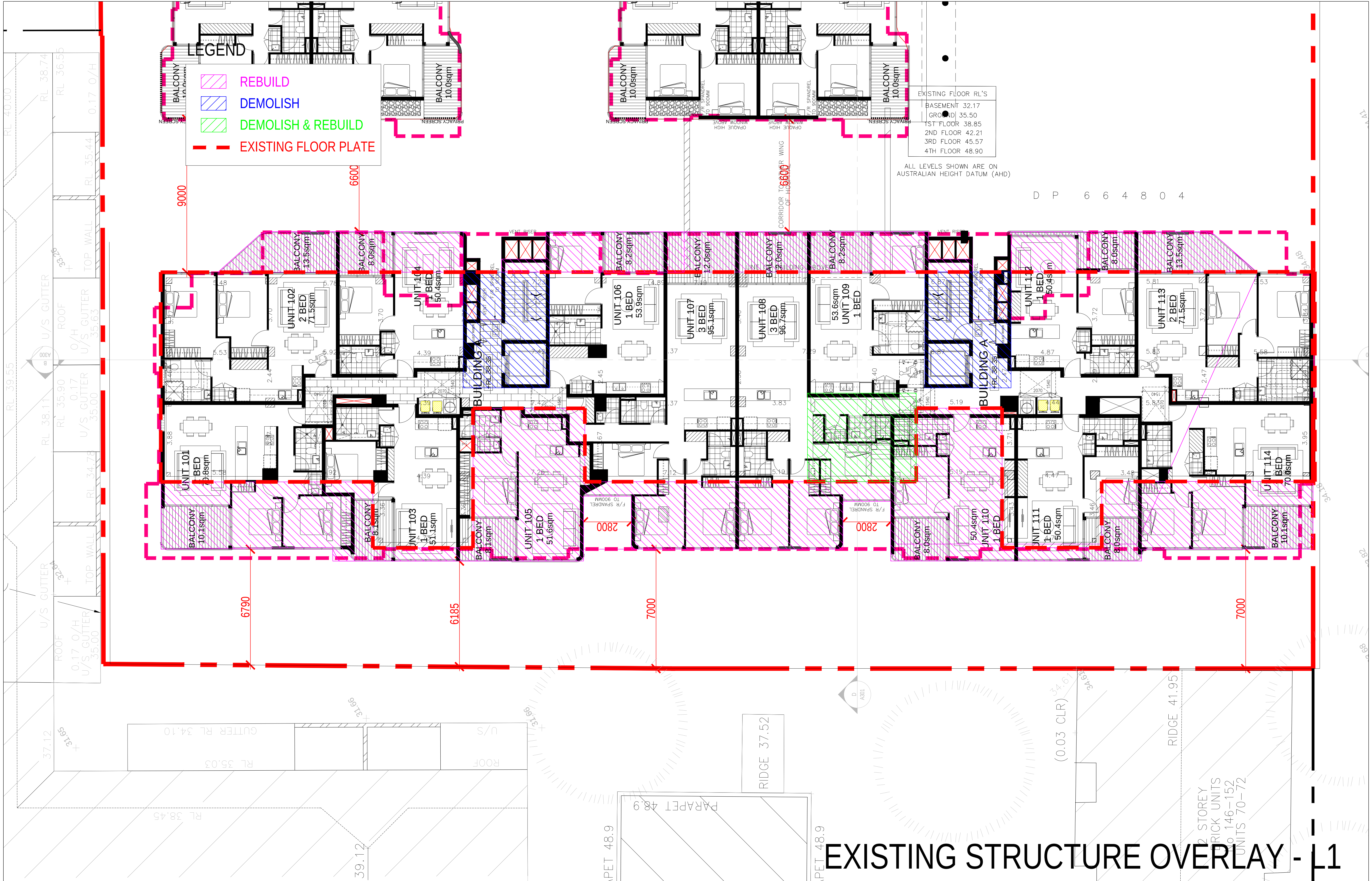
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														Drawing status
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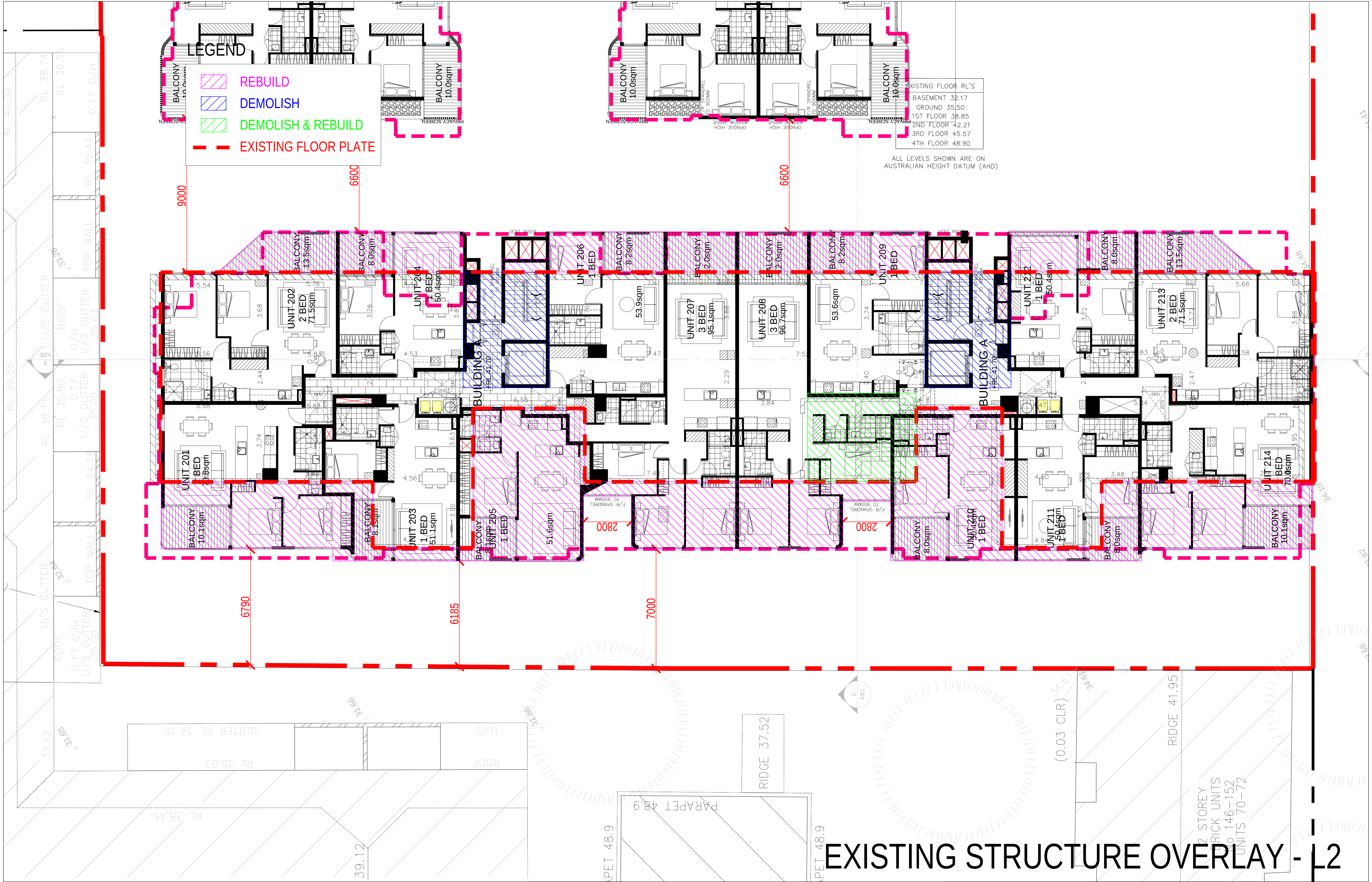
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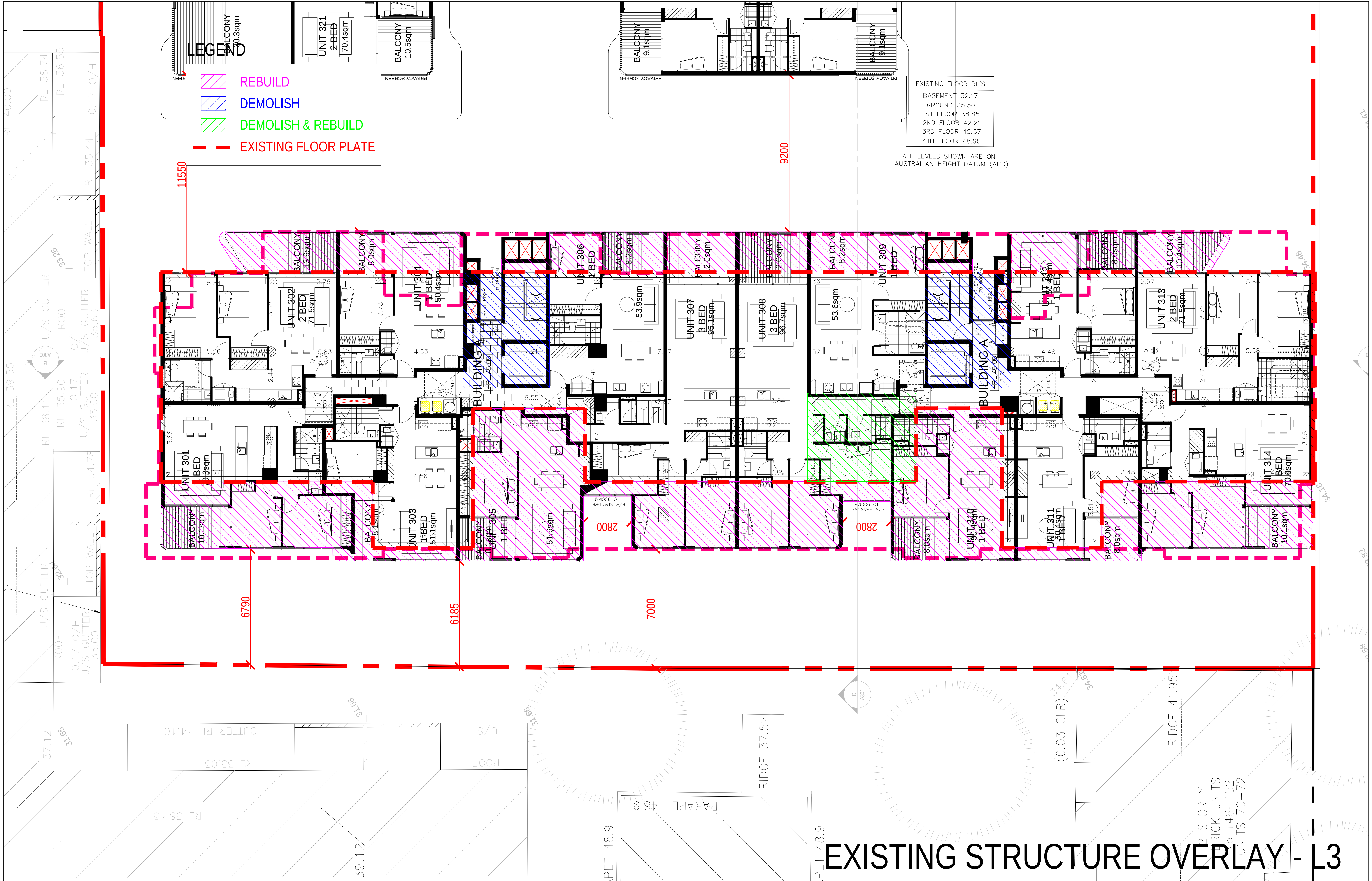
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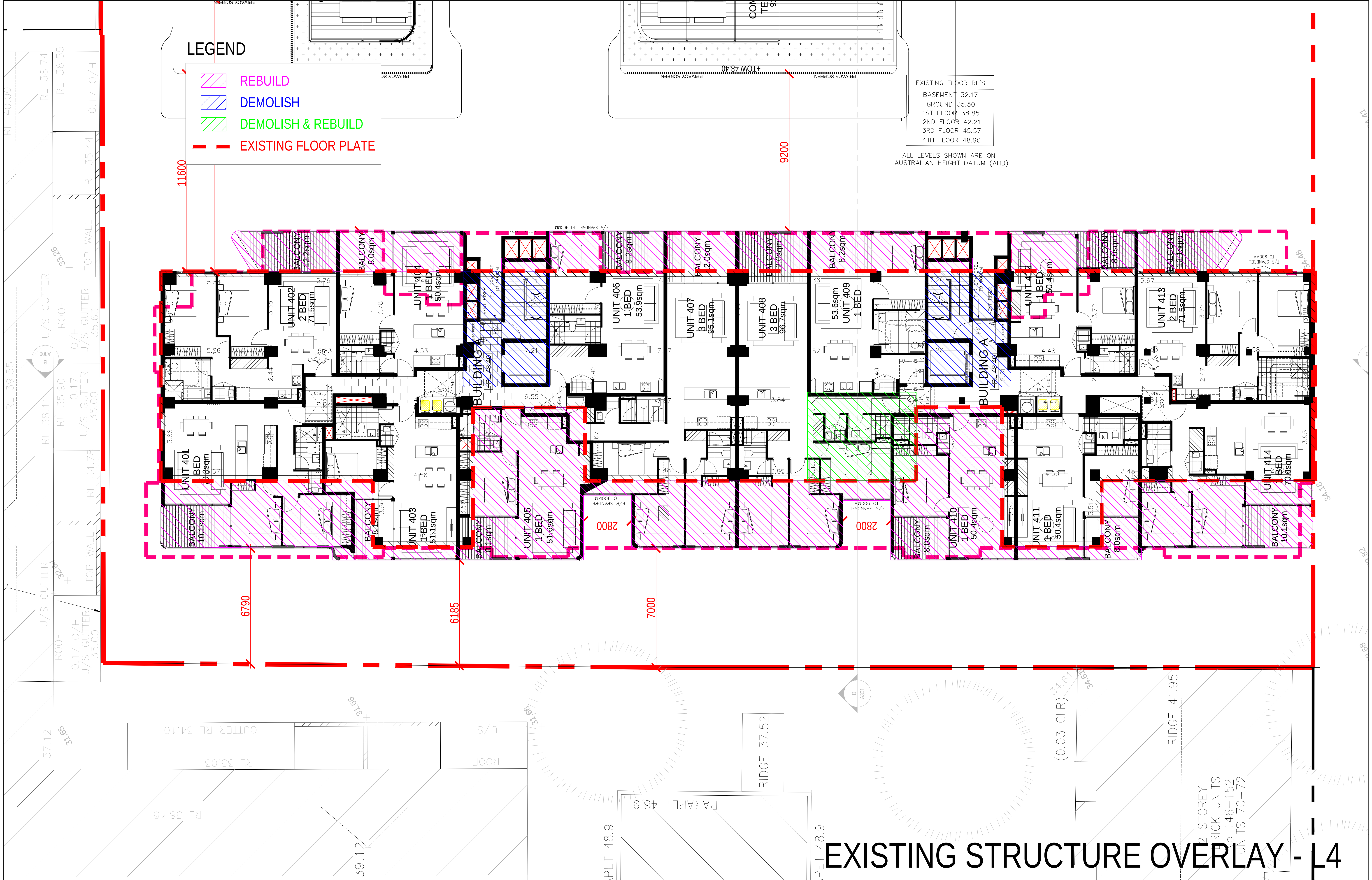
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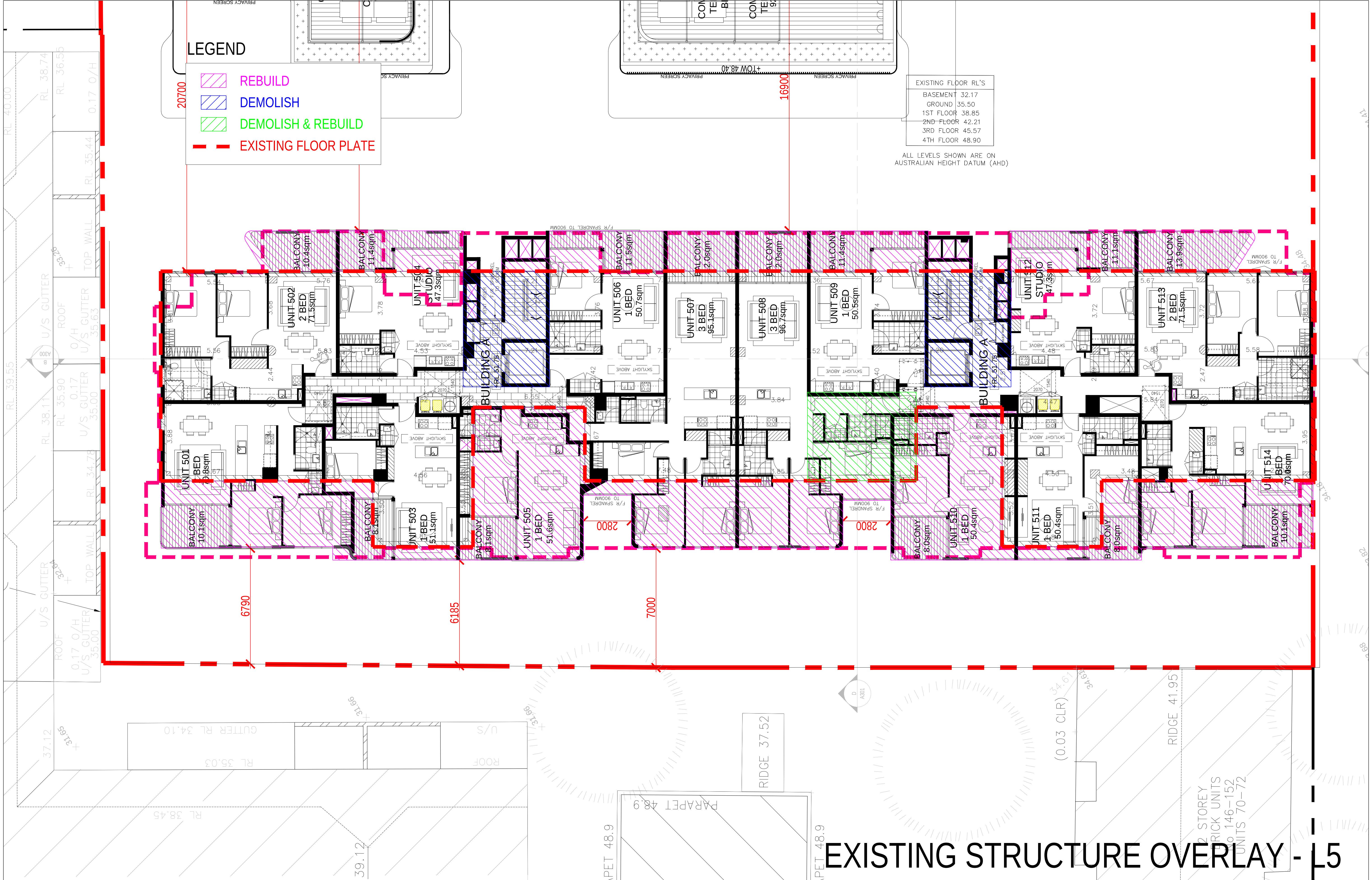
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										Drawing status MODIFIED PROJECT		



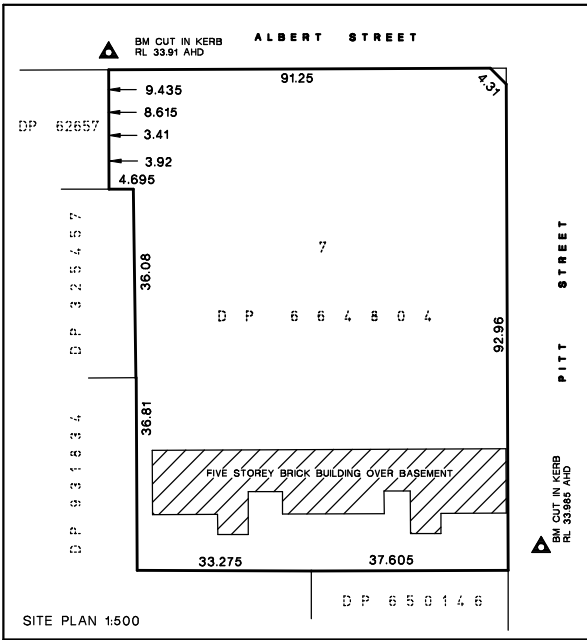
Rev.	Description	By	Date	Disclaimer	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale 1:250 @ A1 - 1:400 @ A3
A	MODIFIED PROJECT SUBMISSION	DC	SEPT 2016	"THESE DRAWINGS ARE PRELIMINARY DRAWINGS AND ARE SUBJECT TO CHANGE WITHOUT NOTICE DURING THE COURSE OF THE PROPOSED DEVELOPMENT AND IN CONSULTATION WITH COUNCIL. SUBMISSION OF THE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION OF ANY KIND BY THE DEVELOPER OR ITS SERVANTS, AGENTS OR CONTRACTORS THAT THE DRAWINGS ARE FINAL NOR THAT THE PROPOSED DEVELOPMENT WILL TAKE PLACE IN ACCORDANCE WITH THESE DRAWINGS."	Drawings made to a larger scale and those showing particular detail of works shall take precedence over drawings made to a smaller scale and for more general purposes. WHERE ANY DISCREPANCY EXISTS BETWEEN FIGURED AND SCALED DIMENSIONS, THE FIGURED DIMENSIONS SHALL PREVAIL. SUBMITTER TO CHECK ALL SITE DIMENSIONS PRIOR TO FABRICATION OF FITMENTS		dmpps	KAYMET CORPORATION PTY LTD	tony ptnrs	RACHEL FORSTER		Date, SEPT 2016
B	FOR COORDINATION	TL	MAY 2017	BEFORE CARRYING OUT ANY WORK ENSURE THAT THE DRAWINGS USED CARRY THE LATEST AMENDMENT NO.	THESE DOCUMENTS AND ANY WORKS EXECUTED AS A RESULT OF THESE DOCUMENTS SHALL BE SUBJECT TO THE CURRENT CONDITIONS SET OUT IN THE CONDITIONS OF ENGAGEMENT.					Project address		Project no. 956
										134 - 144 PITT STREET, REDFERN		Drawing no. A357
												Rev A
												Drawing status MODIFIED PROJECT



Rev.	Description	By	Date	Disclaimer	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale 1:200 @ A1 - 1:400 @ A3
A	MODIFIED PROJECT SUBMISSION	DC	SEPT 2016	These drawings are preliminary drawings and are subject to change without notice during the course of the proposed development and in consultation with the relevant authorities. The drawings are provided for information only and do not constitute a contract. The drawings are provided for information only and do not constitute a contract. The drawings are provided for information only and do not constitute a contract.	Drawings made to a larger scale and those showing particular detail of works shall take precedence over drawings made to a smaller scale and for more general purposes. Where any discrepancy exists between figured and scaled dimensions, the figured dimensions shall prevail. Builder to check all site dimensions prior to fabrication of formwork.		dmpps	KAYMET CORPORATION PTY LTD	tony ptnrs	RACHEL FORSTER		Scale 1:200 @ A1 - 1:400 @ A3
B	FOR COORDINATION	TL	MAY 2017	BEFORE CARRYING OUT ANY WORK ENSURE THAT THE DRAWINGS USED CARRY THE LATEST AMENDMENT NO.	THESE DOCUMENTS AND ANY WORKS EXECUTED AS A RESULT OF THESE DOCUMENTS SHALL BE SUBJECT TO THE CURRENT CONDITIONS SET OUT IN THE CONDITIONS OF ENGAGEMENT.					Project address 134 - 144 PITT STREET, REDFERN	Project no. 956 Drawing no. A358	Rev A
											Drawing status MODIFIED PROJECT	Date SEPT 2016

APPENDIX 2

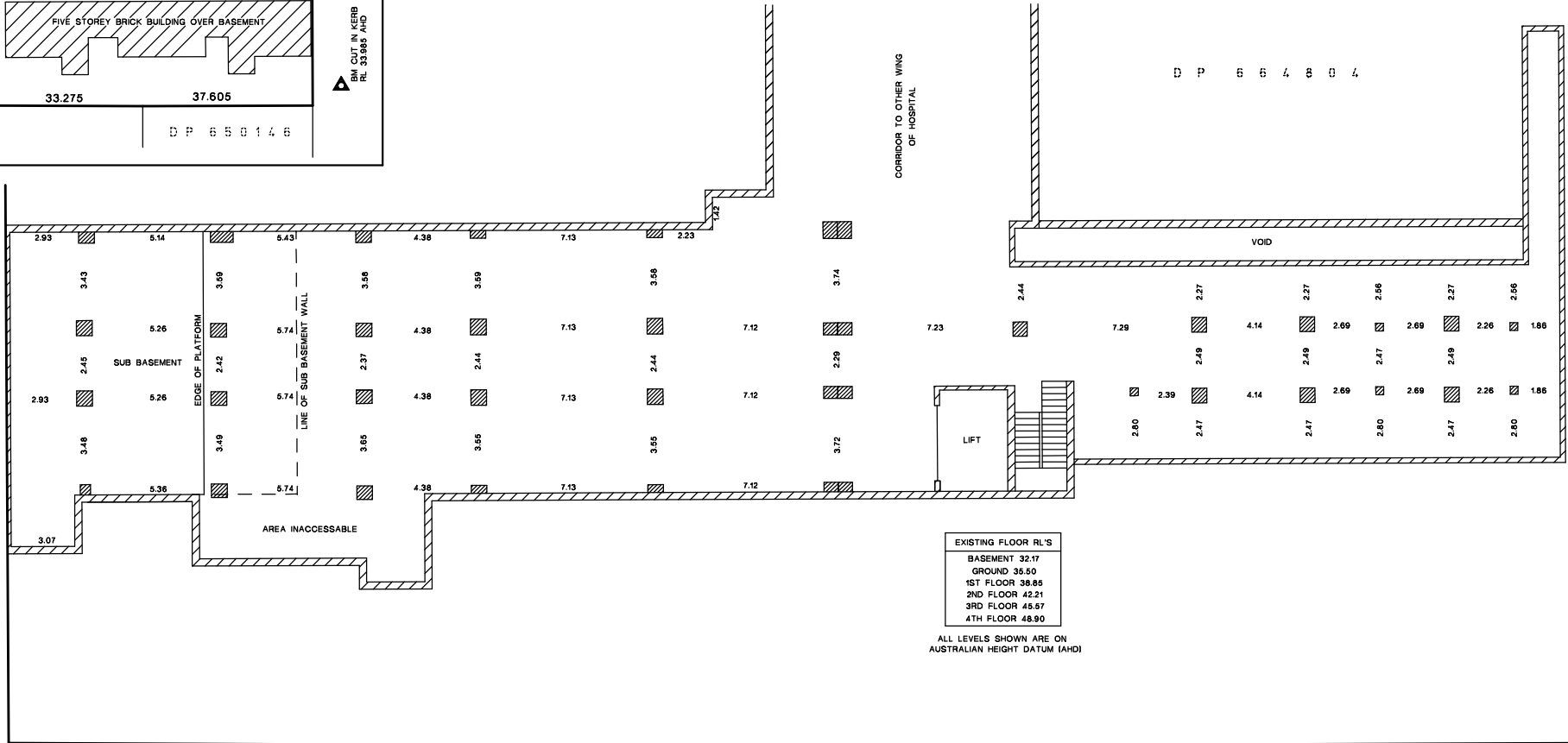
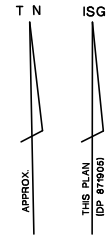
Survey of Existing Structure

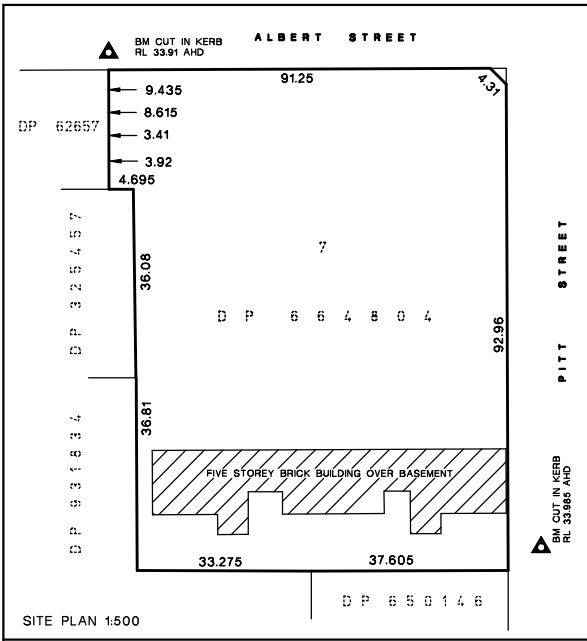


CAUTION:

THE SUBJECT PROPERTY'S DEPOSITED PLAN (DP 664804) IS A DEPARTMENTAL PLAN I.E. NO BEARINGS SHOWN AND BOUNDARY DISTANCES ARE APPROXIMATE ONLY. HENCE IT IS STRONGLY RECOMMENDED THAT IF DEVELOPMENT IS CONTEMPLATED ON THE SITE THAT A SURVEY PLAN OF REDEFINITION BE PREPARED AND REGISTERED AT THE DEPARTMENT OF LANDS PRIOR TO THE COMMENCEMENT OF DEVELOPMENT ON SITE.

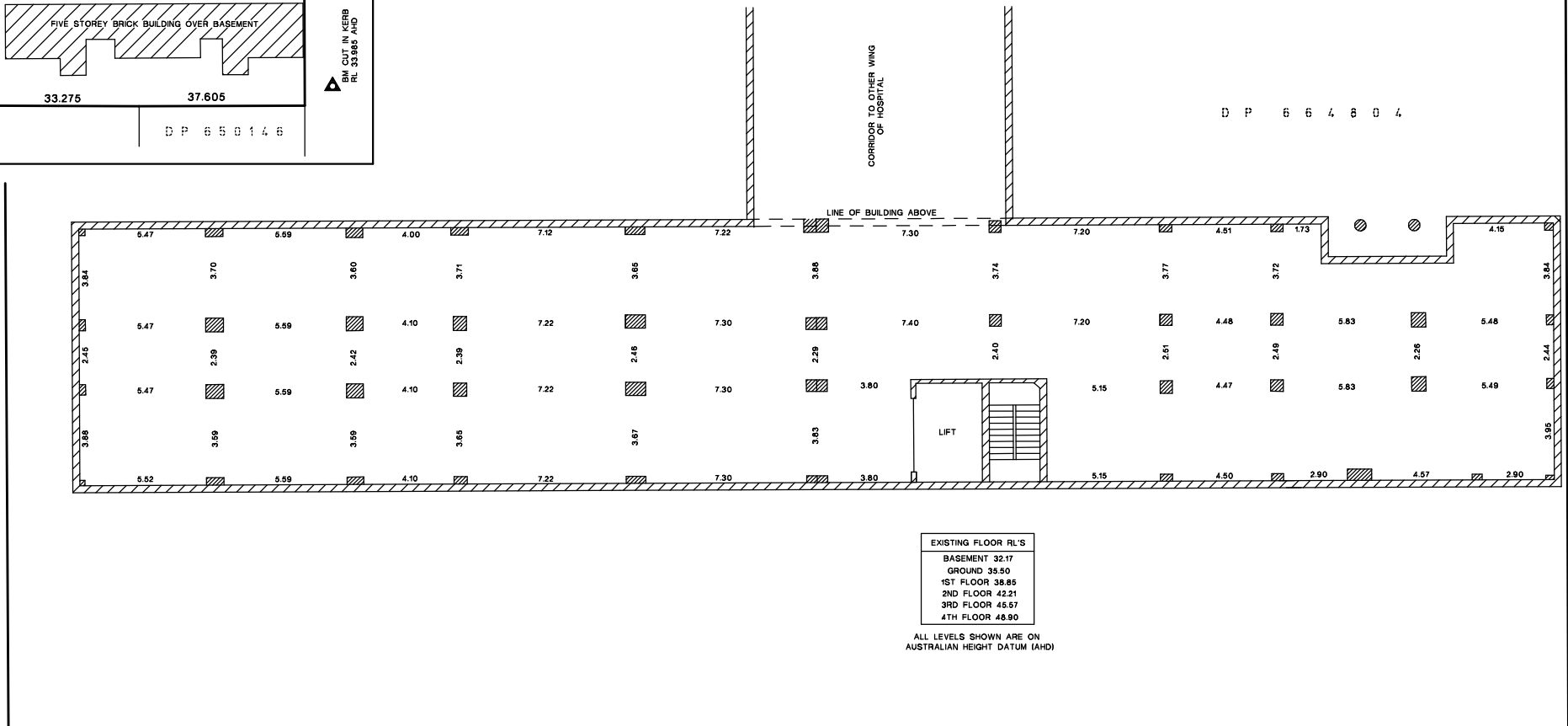
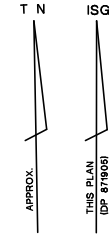
FLOOR PLAN - BASEMENT LEVEL
"EXISTING RACHEL FOSTER HOSPITAL"

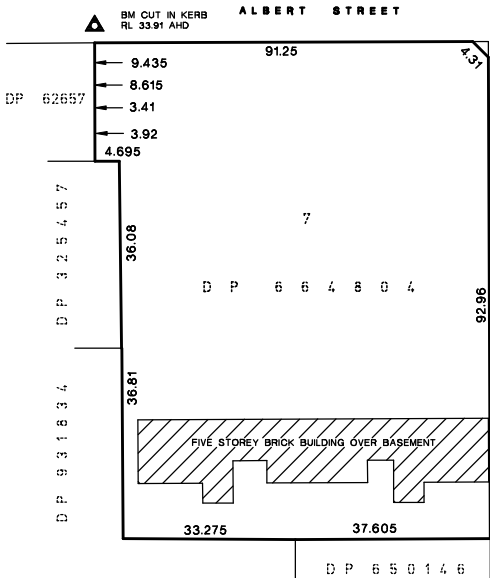




CAUTION:
THE SUBJECT PROPERTY'S DEPOSITED PLAN (DP 664804) IS A DEPARTMENTAL PLAN (I.E. NO BEARINGS SHOWN AND BOUNDARY DISTANCES ARE APPROXIMATE ONLY).
HENCE IT IS STRONGLY RECOMMENDED THAT IF DEVELOPMENT IS CONTEMPLATED ON THE SITE THAT A SURVEY PLAN OF REDEFINITION BE PREPARED AND REGISTERED AT THE DEPARTMENT OF LANDS PRIOR TO THE COMMENCEMENT OF DEVELOPMENT ON SITE.

FLOOR PLAN - GROUND FLOOR
"EXISTING RACHEL FOSTER HOSPITAL"

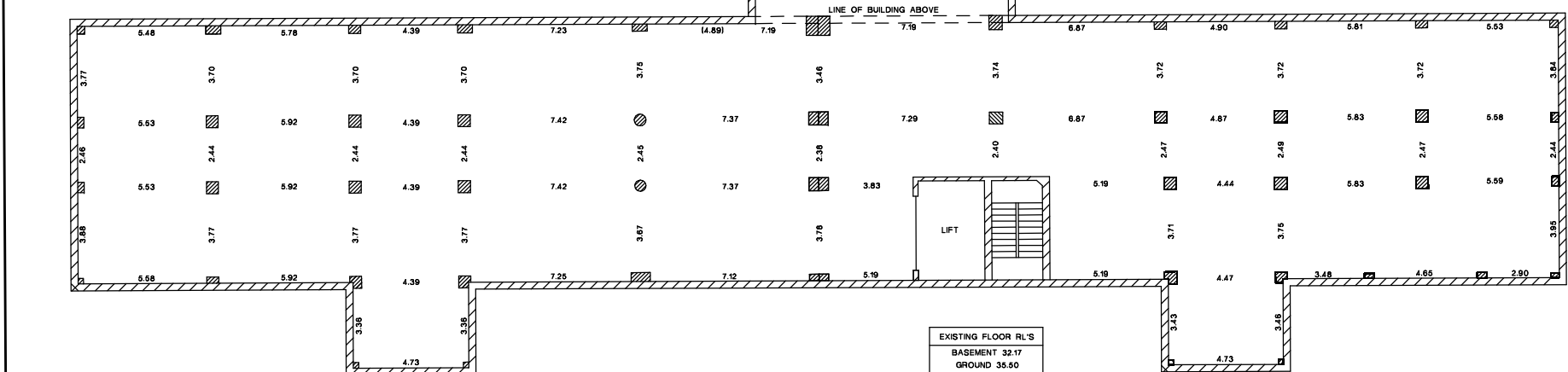




FLOOR PLAN - LEVEL 1
"EXISTING RACHEL FOSTER HOSPITAL"

CAUTION:

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Bottaro de Nett
SURVEYORS & ENGINEERS

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SUTHERLAND NSW 2232

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ABN 69 074 616 087

PLAN SHOWING EXISTING COLUMN LAYOUT
ON LEVEL ONE AT
RACHEL FOSTER HOSPITAL
134-144 PITT STREET, REDFERN
LOT 7 IN DP 664804
TOTAL SITE AREA: 6920 m² (BY DP 664804)

A1
1:100
units:metres

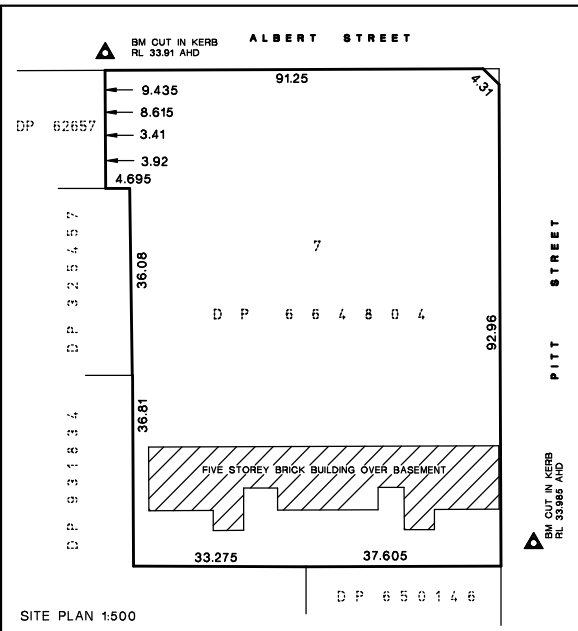
DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM (AHD)
ORIGIN OF LEVELS: SSM 66184
ADOPTED VALUE: 32.048

OUR REFERENCE: 10541 SURVEY DATE: 18/03/2008

SURVEYED: TH DRAWN: TH CHECKED: GJB

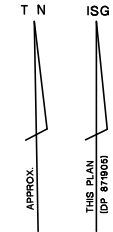
NOTES:

- Services have not been searched at the relevant authorities
- Boundary dimensions shown are taken from the subject DP 664804
- The orientation of north shown on this plan has been derived from DP 871905 and has not been verified by survey

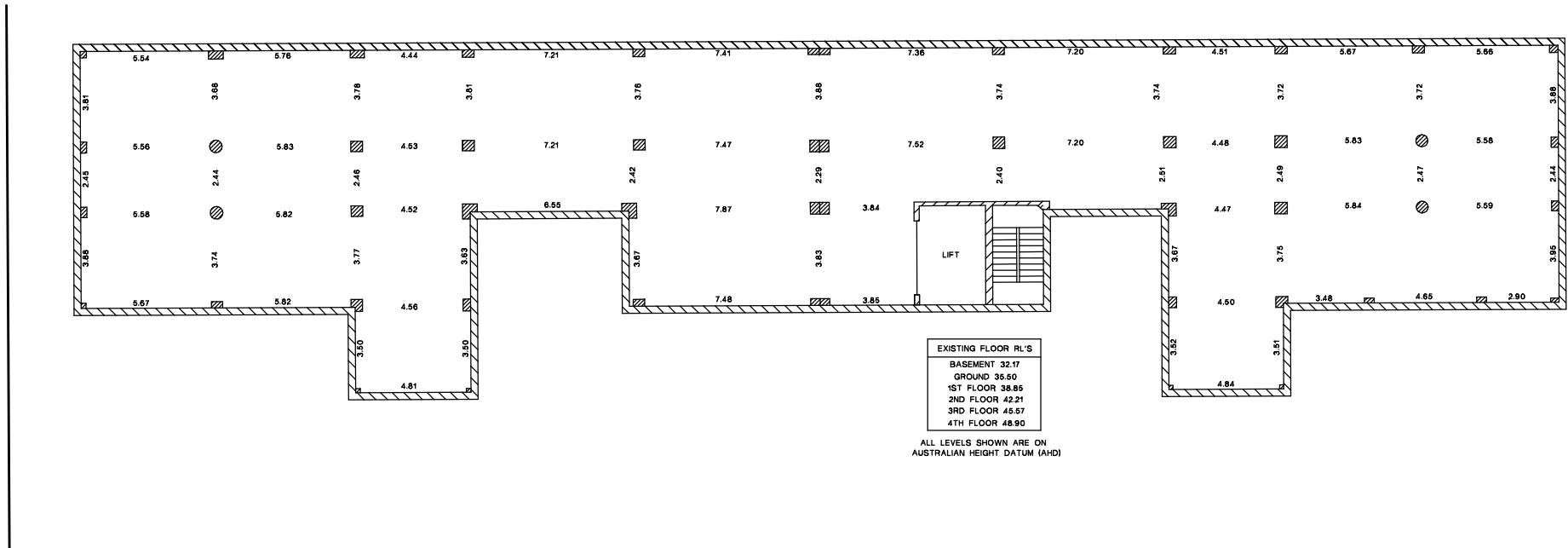


FLOOR PLAN - LEVEL 2
"EXISTING RACHEL FOSTER HOSPITAL"
(FLOORS 3 AND 4 ARE IDENTICAL)

CAUTION:
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HENCE IT IS STRONGLY RECOMMENDED THAT IF DEVELOPMENT IS CONTEMPLATED ON THE SITE THAT A SURVEY PLAN OF REDEFINITION BE PREPARED AND REGISTERED AT THE DEPARTMENT OF LANDS PRIOR TO THE COMMENCEMENT OF DEVELOPMENT ON SITE.

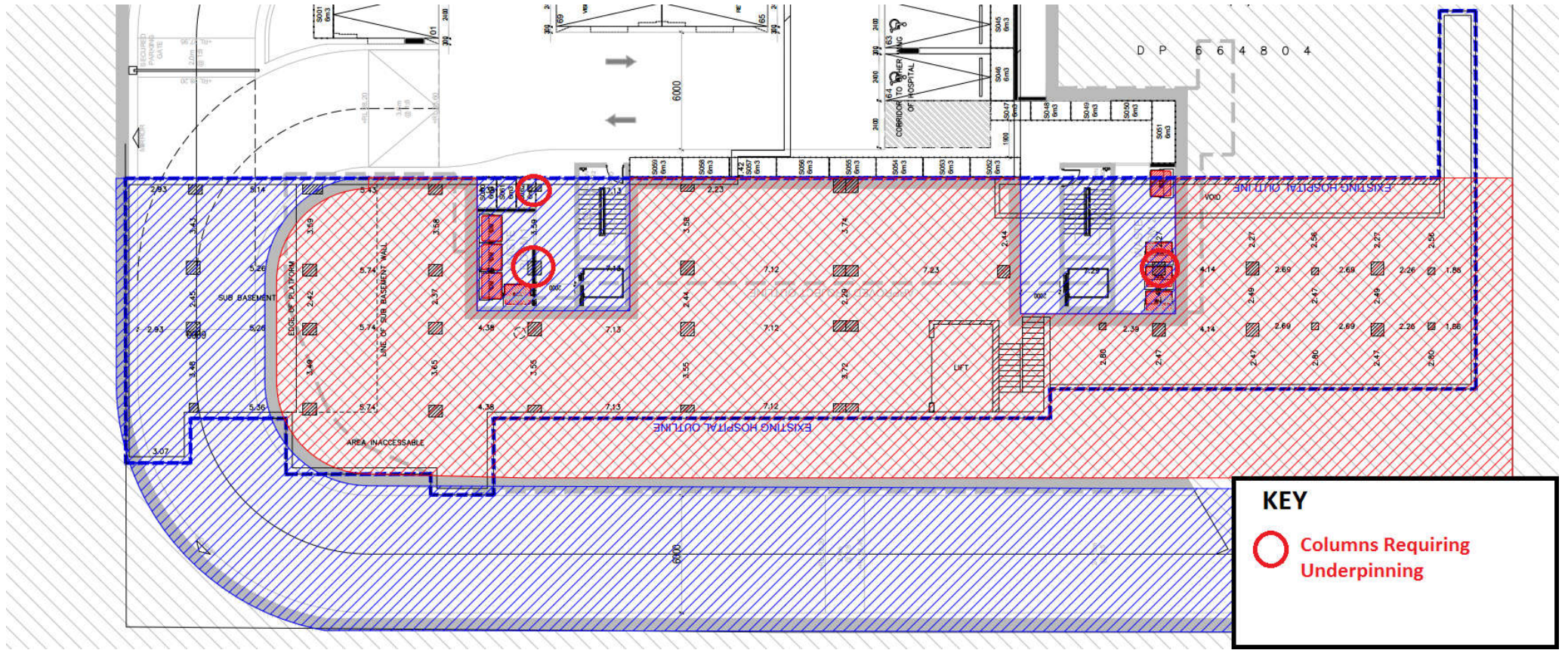


PITT STREET



APPENDIX 3

Columns to be Underpinned and Underpinning Process





Australian
Consulting
Engineers Pty Ltd
ABN: 82 084 059 941

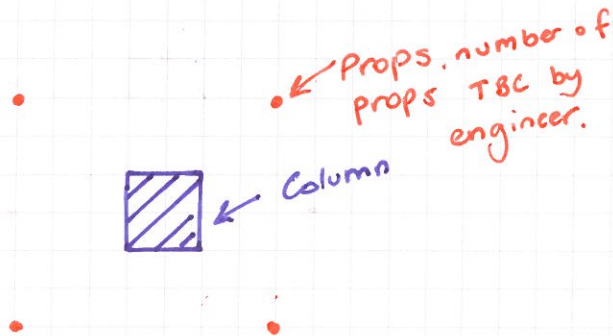
Suite 2, 141 Concord Road,
North Strathfield, N.S.W. 2137
Ph: (02) 9763 1500 Fax: (02) 9763 1515
Web: www.aceeng.com.au

Job No: 130485
Design by: S.R. & M.B.
Date: As per report date

Column Underpinning Process

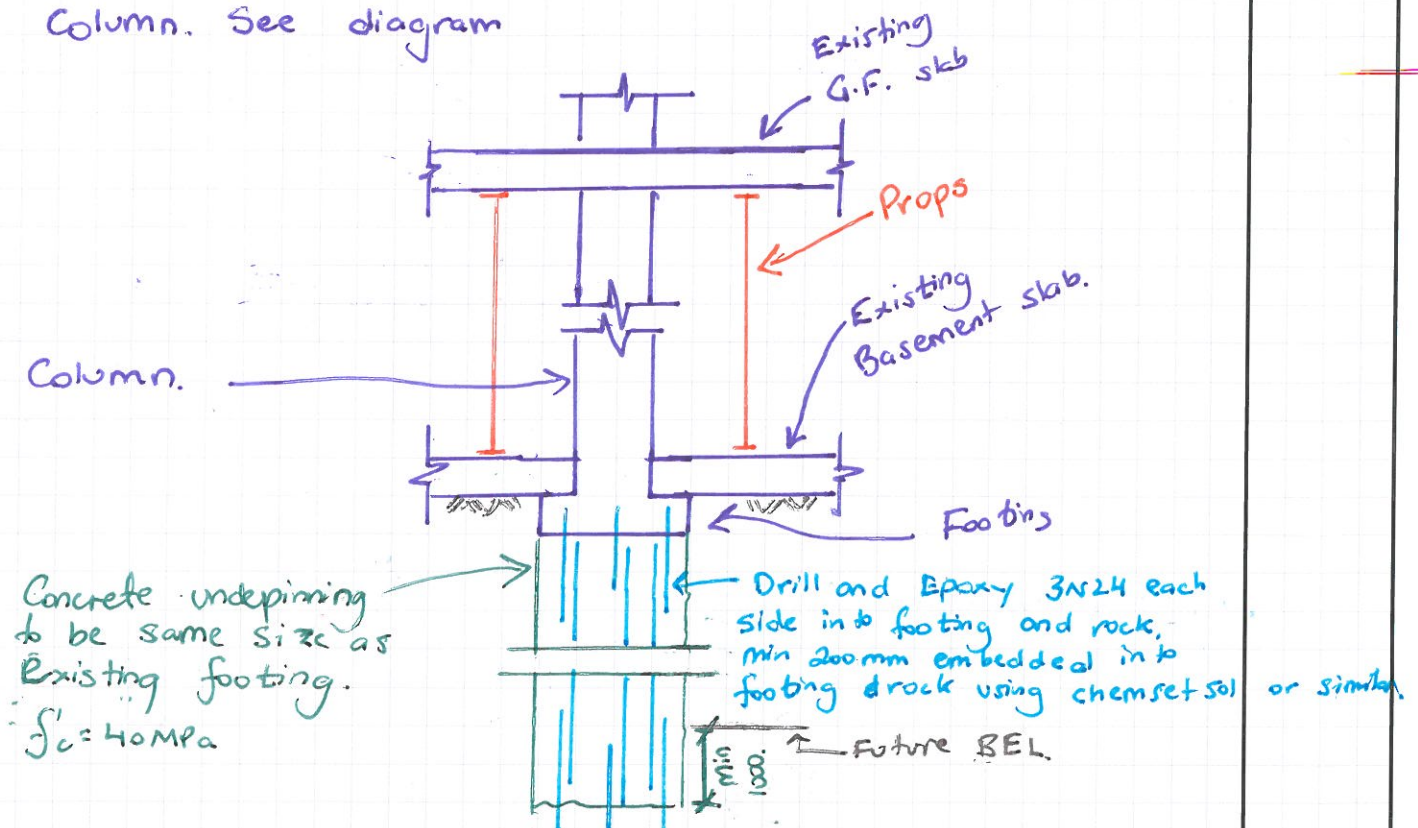
Step 1: Ensure building is empty during underpinning process.

Step 2: Prop all sides of column as shown below, props are to be designed by Structural Engineer.



Step 3: Structural Engineer to inspect and approve.

Step 4: Underpin column by excavating below propped column. See diagram

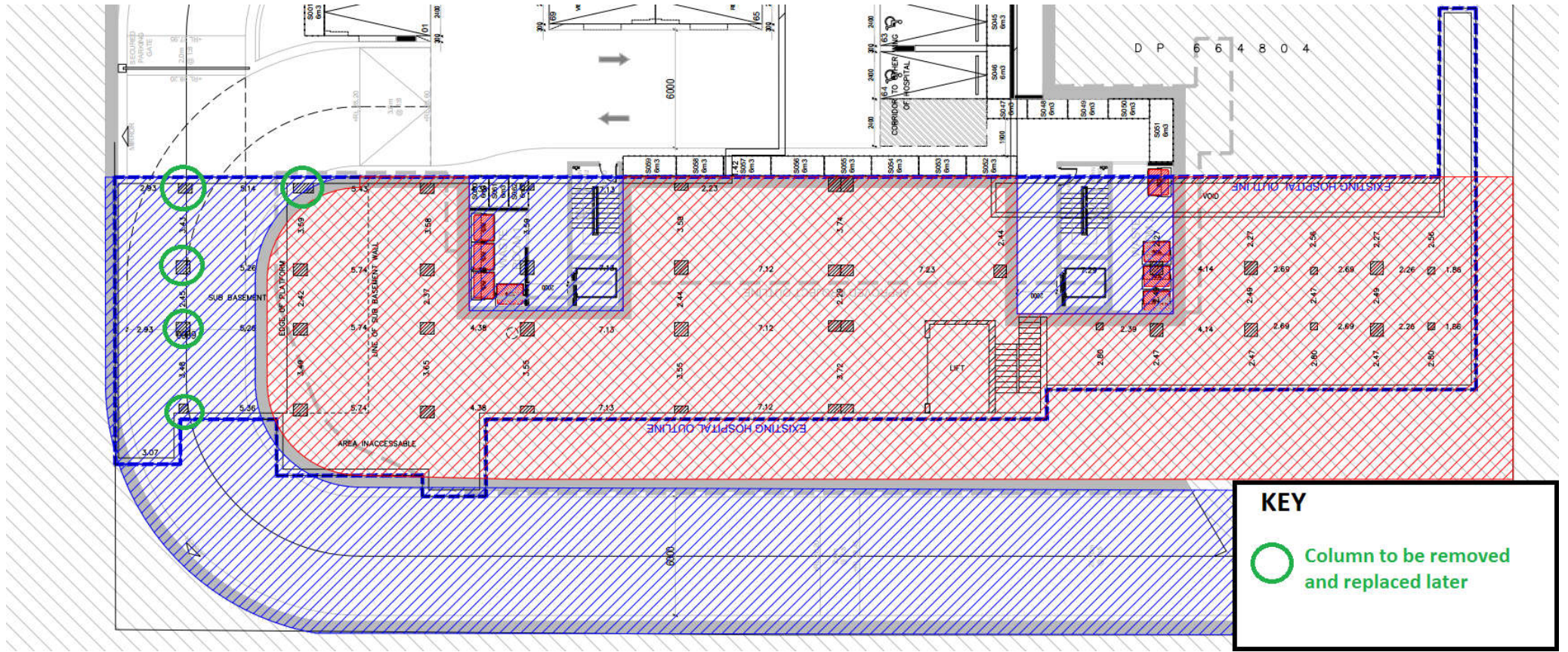


APPENDIX 4

Shoring Required to Protect Existing Building

APPENDIX 5

Columns to be Removed and Reinstated and Process

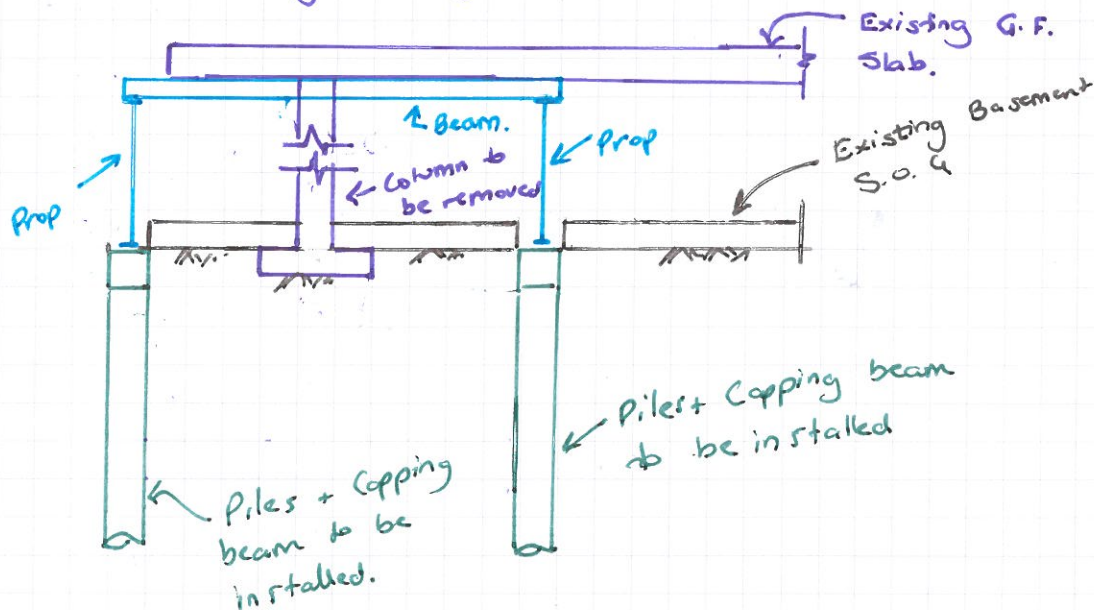




Columns above future ramp removal Process

Step 1: Shoring and Capping to be fully set.

Step 2: Existing Ground floor Slab is to be backpropped and supported using beams, See diagram below. Props and beams to be designed by ACE.



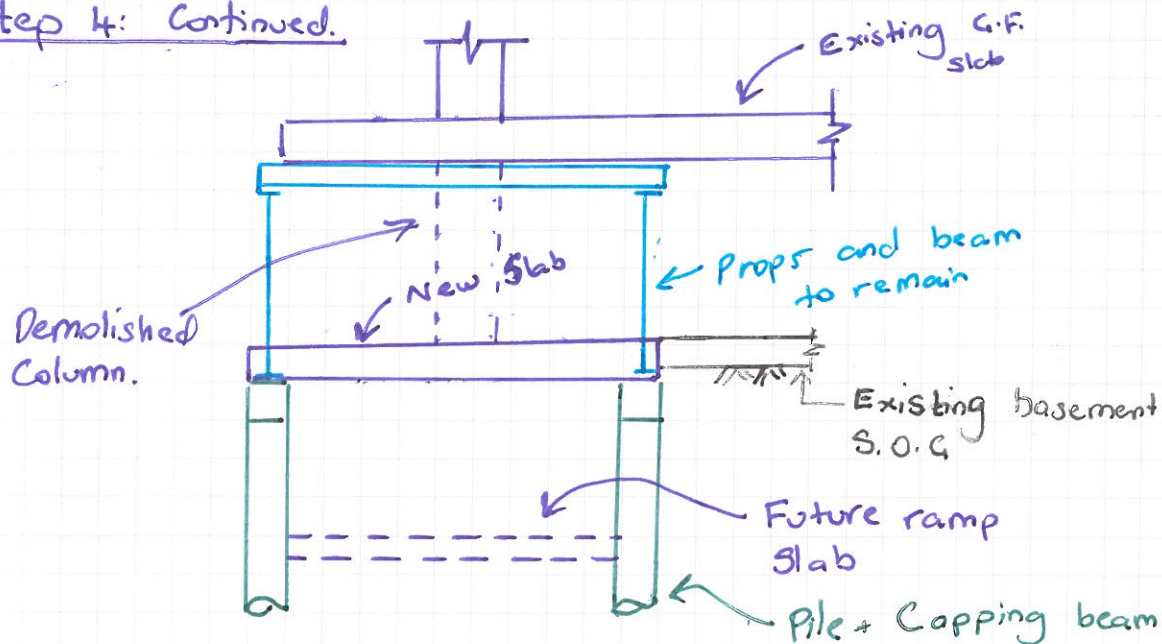
Step 3: Once back-propping has been installed, inspected and approved by Engineer columns that need to be removed may now be removed, back-propping to remain in place.

Step 4: A new transfer slab needs to be poured between the new shoring, this is to be designed by ACE, it may be assumed this slab is most likely going to be post-tension.



Page 2 of 2.

Step 4: Continued.



Note: Starter bars will be required for columns in new slab.

Step 5: Form and pour columns that will replace demolished columns. ACE to design new column. Allow 28 days for concrete to set. Structural Engineer to inspect and approve

Step 6: Propping may be removed once approval from Structural Engineer is obtained.