

ACCESS REPORT

IKEA TEMPE

PRINCES HIGHWAY, TEMPE

PART 3A – PROJECT APPLICATION

DEVELOPMENT APPLICATION

10th October 2008



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Executive Summary

The purpose of this report is to provide an accessibility review of the subject development to ascertain whether the development is consistent with accessibility provisions of the Building Code of Australia and other regulatory controls including Marrickville Council's DCP 31– Access and Mobility and the Disability Discrimination Act.

The development proposes a three level retail complex and alterations and additions to an existing four level building (former Ateco building), consisting of the following main elements and accessibility outcomes;

- **The lower ground / Basement floor level (RL10.10)** shall provide parking for approximately 1775 cars with approximately a third undercover and the remainder in outdoor at-grade parking. The carpark shall be required to provide at least 28 X 3200mm width widebay accessible spaces for the various mixed retail/commercial components and will have direct on-grade access to various lifts to access the upper levels. The accessible parking and access links can comply with Part D3.5 of the BCA and Council's DCP 31.
- With respect to vertical access between the levels the development proposes six passenger lifts in four locations (and 2 goods lifts), an indoor ramp and stairway options for vertical access from the carpark level to the retail level above. Three of the lifts provide direct access to the upper ground floor offices and café.
- **The ground floor level (RL14.10)** shall provide the main “market hall” and “self-serve furniture store area”, which adjoins the existing Ateco building at RL12.70. There is an accessway linking the two buildings at RL14.10 while the former Ateco building shall incorporate internal ramp and stairway access to facilitate the transition between levels.
- In addition to the entry access to the former Ateco building the alterations and additions to the building shall include lift access that facilitates access from the lower ground carpark to the ground and upper ground floors to enable equitable access for all.
- The ground floor level also proposes a 1:14 maximum gradient pedestrian ramp from the street frontage at approximately RL 18.00 to the ground floor level at RL14.10, which will comply with Part D3.2 of the BCA and Council's Access DCP 31.
- **The upper ground floor level (RL19.40)** shall provide a showroom and café/bistro within the new building at RL19.40 with direct ramped bridge links to the former Ateco building at RL19.20 to facilitate equitable access.
- **The level one of the former Ateco building is at RL 22.95** which shall be accessible via a passenger lift and a goods lift which both travel through all four levels of the building.
- **Sanitary Facilities** - With respect to sanitary facilities the alterations and additions to the former Ateco building shall provide a group of male, female toilets and a unisex accessible toilet on the upper ground and level 1 floors.
- Within the retail section of the development the plans indicate several groups of male, female and adjoining unisex accessible toilets to ensure equitable access.
- Detailed design of the accessible toilets can readily comply with AS1428.1 and could be enhanced to DCP 31 requirements which specify AS1428.2, including ambulant accessible male and female cubicles in selected locations.

Overall, the development proposal demonstrates that the fundamental aspects of accessibility have been incorporated into the design to enable equitable safe and dignified access to meet the

performance requirements of the BCA and the capacity to comply with the technical requirements of AS1428 parts 1, 2 and 4, AS2890.1 regarding accessible parking, AS1735.12 relating to lifts to also satisfy Council's Access DCP 31.



Mark Relf,
Access Consultant

Assessment Criteria

The assessment considers the Project Brief and the following legislation, planning instruments and standards pertaining to access for people with disabilities.

- (1) Building Code of Australia (BCA) – Parts D3, E3.6 and F2.4.
- (2) Marrickville Council's DCP 31 – Access, Mobility and Adaptability.
- (3) Australian Standard AS1428 – Design for Access and Mobility Parts 1, 4 and relevant aspects of part 2.
- (4) Australian Standard AS1735 – Lifts: Part 12.
- (5) Disability Discrimination Act.



The plans and documents relied upon for this assessment include:

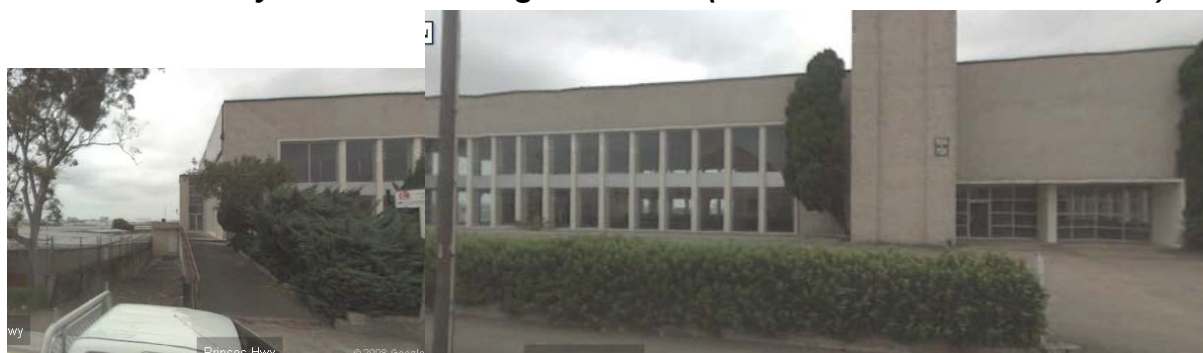
Dwg No	Issue	Title / Description
DA-001	B	Existing Site Plan
DA-002	B	Proposed Site Analysis Plan
DA-101	F	Lower Ground General Arrangement Plan
DA-102	F	Ground Floor General Arrangement Plan
DA-103	F	Upper Ground Floor General Arrangement Plan
DA-104	D	Roof – General Arrangement Plan
DA-111	D	IKEA Office Building Plans
DA-201	E	Overall Site Elevations
DA-202	C	Overall Site Elevations
DA-203	D	IKEA Building Elevations
DA-204	D	IKEA Office Building Elevations
DA-401	A	Shadow Diagrams

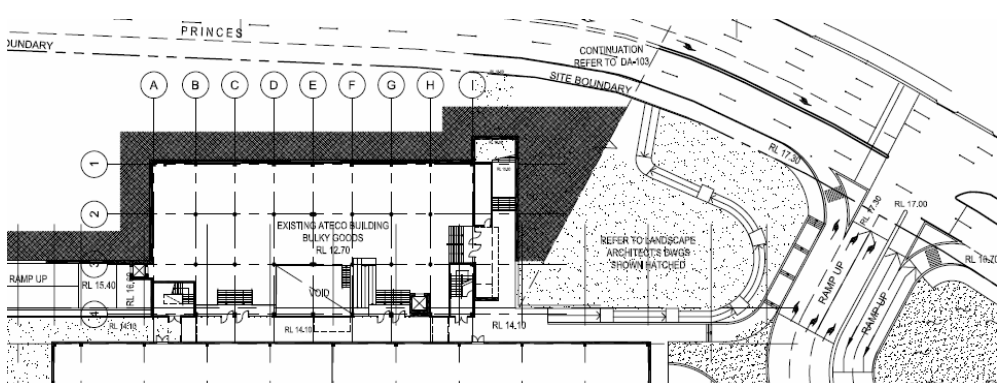
Accessibility Assessment

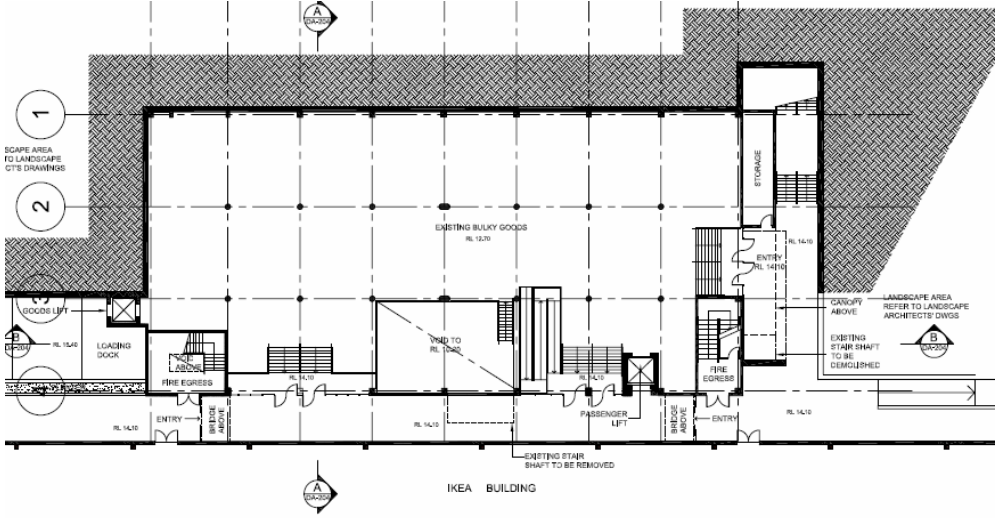
The review considers the accessibility requirements of the Building Code of Australia as expressed by Parts D3, E3.6 and F2.4 and the various referenced standards AS1428 parts 1, 2, 4 – Design for Access and Mobility, AS1735.12 – Lifts and Council's Access DCP 31.

The comments do not cover detail issues pertaining to construction documentation such as internal design of accessible toilet facilities, evaluation of slip resistant floor materials, lift specification, door schedule, tactile ground surface indicators, lighting levels, decore, signage, furniture/counter fitout and the like, which will reviewed and confirmed acceptable during construction documentation stage.

External Pathway Links & Building Entrances (Parts D3.2 & D3.3 of the BCA)



BCA Compliance	Complies
<ol style="list-style-type: none"> 1. The development site seeks to retain the existing building directly adjacent to the Princes Highway frontage and construct a new two storey plus lower ground floor undercoft carpark and adjoining outdoor carpark with a total of 1775 car spaces. 2. The development also seeks to integrate the floor levels of the existing and new buildings as much as practicable and incorporate new ramps, lifts and stairways to facilitate access. 3. With respect to pedestrian access into the site the development proposes a 1:14 gradient ramp of 1800mm minimum width to travel from the street frontage through a landscaped area on the northern side of the building that will arrive at the main retail level @RL14.10. Details of ramp handrails and ramp design shall be confirmed at construction certificate stage in accordance with AS1428.1 to satisfy Parts D3.2, D3.3 of the BCA and DCP 31. 	<p>YES</p>

BCA Compliance	Complies
<p>4. There will be an outdoor stairway almost parallel to the ramp commencing from the driveway entrance to the customer carpark. Details of the stairway handrails, step nosings and tactile indicators will be confirmed at detailed design stage in accordance with ASI428 parts 1 and 4 to satisfy DCP 31.</p> <p>5. Building Entries – While the accessway between the two buildings shall provide direct access to the new retail areas @RL14.10 the entries to the office building shall incorporate new stairs, ramp and lift to facilitate transition to the RL12.70 level of the existing building. Details of the lift, ramp and stairway handrails, step nosings and tactile indicators will be confirmed at detailed design stage in accordance with ASI428 parts 1 and 4 to satisfy Parts D3.2, D3.3, D3.8 of the BCA and DCP 31.</p>	<p>YES</p> <p>YES</p>
 <p>LOWER GROUND FLOOR PLAN</p>	
<p>6. The undercroft carpark level @RL10.10 provides direct on-grade access to the main retail lobby which includes 3 lifts to access the upper retail level.</p>	<p>YES</p>
<p>7. The undercroft carpark level @RL10.10 also provides direct on-grade access to the basement level of the existing office building and a new lift that will travel to all floors within the building and the accessway @RL14.10 adjoining the retail level.</p>	<p>YES</p>
<p>8. The outdoor carpark provides 1:14 gradient ramp to the main retail lobby and on-grade access to a mid-level entry lobby @RL13.60 which includes a lift to the upper retail level.</p>	<p>YES</p>
<p>9. It is evident that the carparking areas shall provide appropriate access to building entrances and lift access to the upper levels in accordance with Parts D3.2, D3.3, D3.5 of the BCA and DCP 31.</p>	<p>YES</p>
<p>10. Overall, the development will enable appropriate access to approach the retail and office building from several directions and enter the buildings in accordance with Parts D3.2, D3.3 of the BCA and DCP 31.</p>	<p>YES</p>

Internal Accessways (Part D3.3 of the BCA)

Having regard to the requirements of Part D3.3 of the BCA and DCP 31 the assessments considers the on-site accessibility between levels and internal circulation to the;

- Retail areas, Market Hall, Self-Serve Furniture store, Showroom and Café within the new building.
- Office areas, bulky goods and light industrial within the existing building.
- Sanitary facilities.
- Lifts, stairs, ramps and escalators.

BCA Compliance	Complies
Retail areas (new building)	
11. The ground floor retail areas of the development propose a Market Hall, Self-Serve Furniture section and non-public warehouse with a northern lift lobby and western accessway facilitating access to these areas.	
12. With respect to internal circulation access to these areas the plans show the lift lobbies and double doorways shall provide ample access paths and doorway circulation spaces to comply with AS1428 parts 1 and 2 to satisfy Part D3.3 of the BCA and DCP 31.	YES
13. The areas with the Market Hall on the ground floor provide an open plan layout while the Self-Serve Furniture store proposes rows of displays with an average 2500-3000mm aisles which facilitate easy access for all that will readily comply with AS1428 parts 1 and 2 to satisfy Part D3.3 of the BCA and DCP 31.	YES
14. The upper ground floor proposes a showroom and café/bistro with direct access from the lift lobby providing ample access paths and doorway circulation spaces to comply with AS1428 parts 1 and 2 to satisfy Part D3.3 of the BCA and DCP 31.	YES
15. The Café is generally open plan is directly accessible from the lifts inherently providing appropriate access which also complies with AS1428 parts 1 and 2 and Part D3.3 of the BCA and DCP 31.	YES
16. The Showroom is generally open plan is directly accessible from the lifts inherently providing appropriate access which also complies with AS1428 parts 1 and 2 and Part D3.3 of the BCA and DCP 31. The Showroom also proposes ramped bridge links to the Office building (former Ateco) to enable easy access.	YES
17. Details of the lifts shall be provide at construction certificate stage to ensure at least 1400mm X 1700mm lift cars to satisfy Part E3.6 of the BCA, AS1735.12, AS1428.2 and DCP 31.	YES
18. Details of the stairways and escalators shall be provided at a future design stage to comply with Part D3.8 of the BCA, AS1428.2, AS1428.4 and DCP 31.	YES

BCA Compliance	Complies
Office Building (former Ateco)	
19. The existing building proposes offices on the two upper floors, bulky goods on lower ground floor and part basement level with an adjoining light industrial workshop.	YES
20. With respect to the accessibility the base building plans provide open plan layouts of all of these areas with ample circulation areas within the office entry foyers to comply with AS1428 parts 1 and 2 and Part D3.3 of the BCA and DCP 31.	YES
Stairways & Ramps	
21. The development proposes several new stairways and ramps within or adjoining the existing building. Details of the stairway and ramp handrail details, step geometry, step nosings and closed raisers shall be confirmed at construction certificate stage in accordance with AS1428 parts 1 and 2 and Part D3.3 of the BCA and DCP 31.	YES

Lifts (Part E3.6 of the BCA)

BCA Compliance	Complies
22. The development provides various passenger and goods lifts to facilitate a comprehensive array of vertical access between building levels to readily satisfy Part D3.3 BCA	YES
23. With regard to the passenger lifts the of internal floor car areas shall readily provide at least 1400mm X 1700mm to comply with AS1735.12, Part E3.6 of the BCA, DCP 31.	YES
24. Details of internal lift car controls, handrails, audio announcements, lighting and the like will be provided at construction documentation stage to confirm compliance with AS1735.12, Part E3.6 of the BCA, DCP 31.	YES
25. Details of internal lift car controls, handrails and the like will be provided at construction documentation stage to confirm compliance with AS1735.12, Part E3.6 of the BCA, DCP 31.	YES

Accessible Sanitary Facilities (Part F2.4 of the BCA)

BCA Compliance	Complies
26. Wheelchair Accessible Toilets - The plans show various installations of sanitary facilities on each level of the building with male female and adjoining unisex accessible toilets to achieves equitable access in terms of distribution. The facilities include;	YES

BCA Compliance	Complies
<ul style="list-style-type: none"> • I on the ground floor and I on Level One of the former Ateco building, • I on the ground floor and I on the upper ground floor of the retail building. 	YES
27. The toilet facilities include unisex accessible toilets providing 2400mm X 2400mm or 3000mm X 2000mm, in accordance with AS1428.2, Part F2.4 of the BCA and DCP 31.	YES
28. Ambulant Accessible Toilets – To comply with DCP 31 the construction certificate plans shall be required to incorporate a cubicle in the male and female groups to accommodate people with ambulant physical disabilities with details enhanced internal circulation and grabrails on both sides of the WC pan shall in accordance with Figures 38 and 39 of AS1428.1 consistent with AS1428.2.	YES
29. Shower Facilities – The sanitary facilities shall provide shower facilities including one accessible shower in accordance with AS1428, which will be detailed at construction certificate stage.	

Tactile ground surface indicators (Part D3.8 of the BCA)

BCA Compliance	Complies
<p>30. Details concerning the provision of tactile ground surface indicators (TGSI's) as required by Part D3.8 of the BCA will be provided at construction certificate stage that will include;</p> <ul style="list-style-type: none"> a) Public stairway landings internally and externally. b) Public ramp landings internally and externally. c) Escalator landings. d) At-grade pedestrian crossing points with vehicular driveways. e) Overhead hazards of less than 2000mm such as stairway and escalator undercroft areas. 	YES

Appendix A – Statement of Expertise

CONSULTANCY PROFILE & STATEMENT OF EXPERTISE

Accessibility Solutions consultancy offers a range of services to provide advice for clients to develop new and modify existing buildings, facilities and services to be accessible to people with disabilities to comply with legislation and regulations relevant to people with disabilities.

Relevant legislation and regulations that underpins advice includes the Disability Discrimination Act (DDA) Building Code of Australia, Australian Standards 1428, HREOC Advisory Notes on Premises, DDA Transport Standard, State Environment Planning Policy No. 5 Housing for Older People or People With a Disability (SEPP 5) / Seniors Living Policy, SEPP 65 – Residential Flat Buildings Design Code and various local government DCP's.

The scope of services provided by Accessibility Solutions includes:

- Plan Appraisals and design advice
- Access Reports for development applications and construction certificates
- Expert Reports for Court evidence
- Access Auditing of existing buildings, facilities, transport conveyances and infrastructure
- Policy and document reviews and development of Disability Action Plans
- Staff training in access auditing

The services consider issues concerning people with all types of disability including; physical; vision; hearing, intellectual and other cognitive impairments that may affect access for people with a disability consistent with the Disability Discrimination Act.

As principle consultant Mark Relf has considerable experience and expertise in a wide range of access related projects and is a recognised Access Adviser approved by the NSW Ageing and Disability Department and has attained accreditation with the Association of Consultants in Access Australia for the purposes of providing advice concerning access to the built environment and services for people with disabilities.

His expertise has been gained over 20 years working in management and advocacy roles within the disability sector and since 1994 providing advice to clients on access issues. Mark also participates on various key committees concerning access for people with disabilities. His qualifications and affiliations are:

- Accredited Member of the Association of Consultants in Access Australia and Committee of Management member.
- Accredited Member of the Access Institute of NSW.
- Member, Standards Australia ME/64 Committee responsible for the AS1428 suite and AS4299 – Adaptable Housing.
- Member, NSW Heritage Office's – Fire, Access & Services Advisory Panel



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