
Urban Design Report

Rogers Stirk Harbour + Partners

Urban design statement in response to proposed modifications to the Concept Plan.

12th December 2019

Urban Design Statement in response to proposed modifications



Jim Betts
Secretary
NSW Department of Planning,
Industry & Environment
320 Pitt Street
Sydney
NSW 2000

12 December 2019

Dear Mr Betts

Barangaroo South – Concept Plan Modification 10

Urban design statement in response to proposed modifications to the Concept Plan. To be read in conjunction with the accompanying annotated extract of the concept plan modification 8. See attached.

- 1 The proposed Building Envelope Plan enables the height of Building R4B to be increased by 25m making a change to the approved composition of the buildings north of the completed commercial towers at Barangaroo South. The increase is in response to an additional allowance of 5,650m².
- 1.1 The Modification 8 masterplan calls for an ascending mass towards a peak on block Y arranged along the radial geometry of the ‘fan of buildings’.
- 1.2 The masterplan calls for a significant difference in height, greater than or equal to 30m between buildings on Block 4A.
- 1.3 The urban design controls call for a minimum separation between the buildings on block 4A of 9m in order to avoid a wall effect as seen from the harbour bridge.
- As we understand it, the proposals make no changes to building plan forms or locations and thus remain in compliance with the fan geometry and the space between buildings.
- We are advised that the proposals will enable building R4B to increase in height to RL235 in response to additional GFA.
- 2 The buildings R4A and R4B are relatively small in plan area compared with the adjacent commercial towers.
- 2.1 We consider that by bringing the relative heights of R4A and R4B closer together there will be a commonality of alignment vertically whereby they will read as a singular entity; a pair, together similar in scale to the adjacent commercial tower.
- 2.2 Together, in this aligned form, they will retain their place as one part of the composition of buildings ascending in height towards H1 at RL275 and would therefore remain in compliance with the spirit of the masterplan.

- 2.3 We consider additionally that, reading as a singular entity, they will better set off the landmark tower H1 and will possibly more clearly express the fan geometry of the masterplan.
- 3 The proposed modification also provides for an increase of 2,350m² in GFA for Block 4B which enables Building R5 to have an increased floorplate.
- 3.1 This proposed change to Building R5 is within the approved Building Envelope Plan. The building separation is maintained, and the fan principle is not diminished.

In the context of these observations, we would recommend the architects designing R4A and R4B demonstrate how, with this reduction in relative heights, the buildings will then read as a pair, as described.

If resolved satisfactorily we would recommend the relaxation of the urban design control requiring a significant variation in height, greater than or equal to 30m between buildings R4A and R4B and would wholly support the proposal.

Yours sincerely

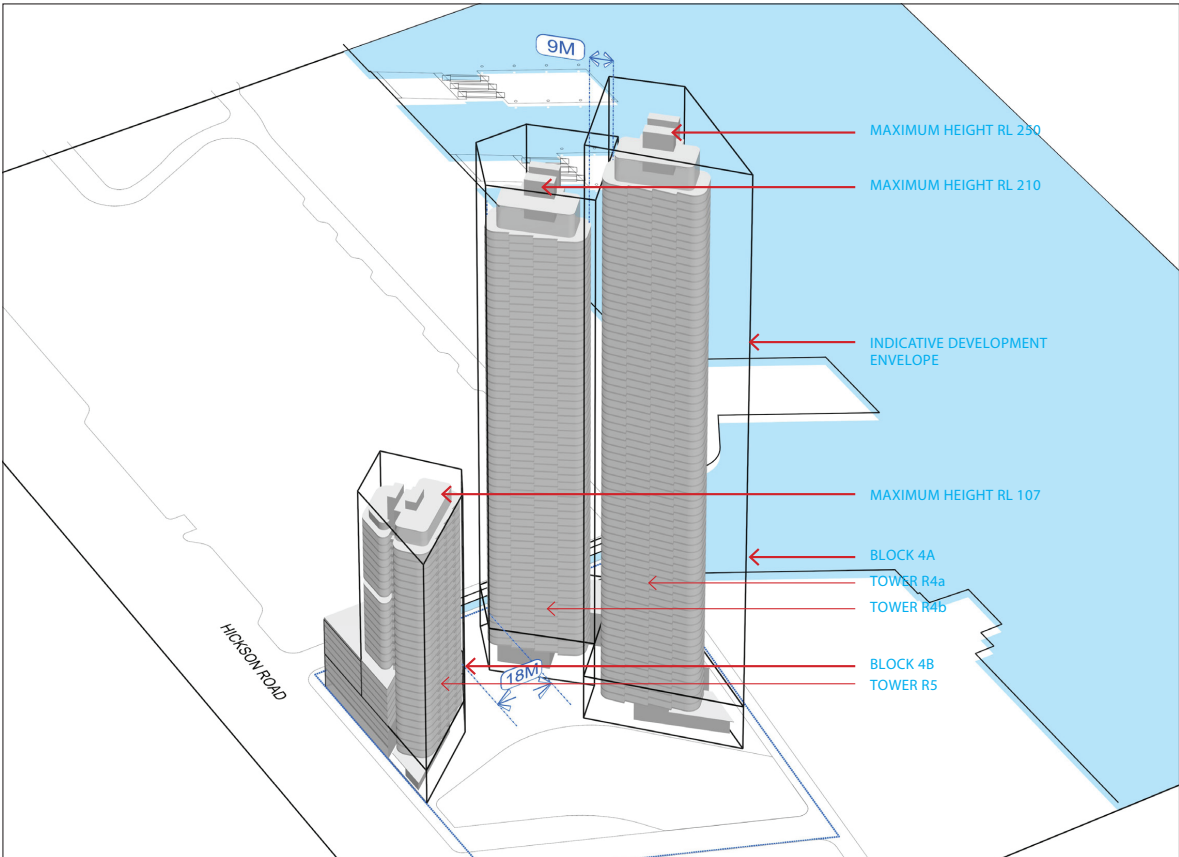
Ivan Harbour

on behalf of
Rogers Stirk Harbour + Partners

Extract from Modification 8 –

- Ascending Mass -Item 1.1 - The masterplan calls for an ascending mass towards block Y.
- Variation in Height - Item 1.2- The Urban Design Controls require a minimum of 30m variation in height between 4a & 4b
- Space between blocks - Item 1.3- The Urban Design Controls require the towers to be separated by a minimum of 9m.

Urban Design Controls – Block 4A + 4B



Control 1 Building Mass and Location

Objectives:

- The orientation and location of the buildings relate to the fan principle.
- To ensure building mass is appropriate within the envelope.
- The podium shall be low to allow sunlight penetration through the buildings to the public domain.
- Building placement to consider existing view corridors from Kent Street buildings.
- To ensure the vertical massing form is an integral part of the composition of towers in block 4A.
- Ensure clear views to the sky between all towers

from higher vantage points such as on City Walk Bridge, Napoleon Street and Bond Square.

Standard:

- The height of the towers within the block shall be varied and ascend in height from east to west.
- Towers in Block 4A shall have a minimum of 30m variation in height
- Towers proposed in Block 4A should be separated by a minimum of 9m.

- All predominant tower massing shall provide a minimum of 28m separation from the Block Y tower massing.
- The majority of the tower plan form should be set back from the Hickson Road and Lime Street boundaries by at least 2m. Balconies are permitted to extend into this zone.
- All predominant tower mass shall be set back from Globe Street by a minimum of 4m with no projections into this setback zone.
- Provide a minimum of 16m wide uninterrupted view corridor with views to the sky between tower R4b and tower R5 when viewed due north from C3 north lobby.
- Block 4B podium buildings facing Hickson Road are to have a maximum height RL 33.2 for a maximum depth of 20m; other podium areas within this block shall have a maximum height RL 22.
- Block 4A podium buildings are to have a maximum height of RL 22.
- Podiums shall be built to the edge of the envelope on Globe Street

Extract from Modification 8 -

- The Fan -Item 2.1 - By aligning the towers vertically they read as a singular entity/ form similar in scale to the commercial towers. - [red 'pill' added to indicate singular entity]
- Marking the City - Item 2.3 - By reading the towers as a singular entity they more clearly express the hotel landmark tower.

Key Planning Principles



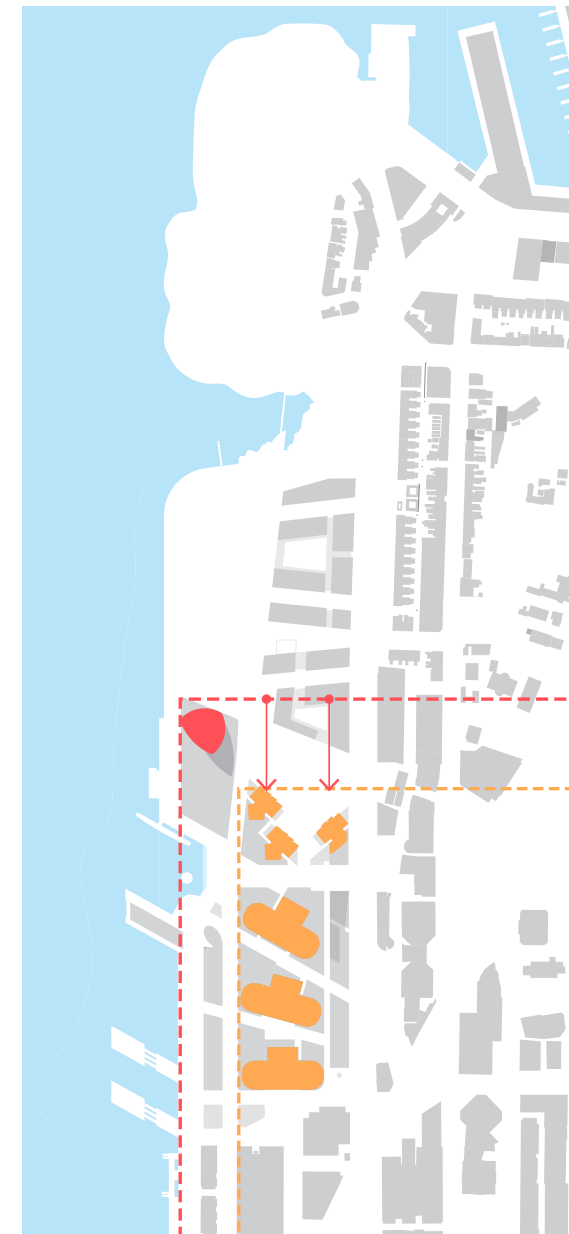
The Fan

The extension of the radial grid or 'fan' into the northern section of the site provides a framework for the location of the hotel and high-rise residential development.



Framing the Key Public Spaces

The fan defines the site's key public spaces - Transport Place and Globe Harbour are aligned with the C5 + C3 tower axis while the Radial Park is contained by the hotel and residential developments.



Marking the City + Compacting the Urban Fabric

The hotel is a marker for the north-western edge of the city frame, whilst the residential buildings are pulled back from this line, integrating the high-rise towers into the high density built fabric of Barangaroo South.



Bringing the Parkland to Hickson Road

The formation of Radial Park to the north of the residential towers brings the Central and Headland parklands to meet the edge of the city and Hickson Road.

Extract from Modification 8 -

- Radial Fan-Item 2.1 - By aligning the towers vertically they read as a singular entity/ form similar in scale to the commercial towers.- [red 'pill' added to indicate singular entity]
- Compacting the Urban Grid - Item 2.3 - By reading the towers as a singular entity they more clearly express the the landmark tower.

Compacting the Urban Grid

Locating the Residential Towers

Objectives

A set of objectives were established to underpin the new location of residential towers.

- Extend the radial grid northwards and position the towers on axis.
- Maximise solar penetration and maintain view corridors by creating significant breaks between the towers. This will also minimise the perceived bulk and scale of the group of residential towers.
- Respect existing view corridors from neighbouring buildings.
- Position the residential towers in locations which will best benefit from their relationship to Sydney's iconic landmarks; The Harbour, The Bridge and the Opera House.

Proposal

Location of the residential towers to the south is the most advantageous and respectful of these objectives by compacting the 'urban frame' of larger towers. This allows for increased sunlight access onto the public realm.

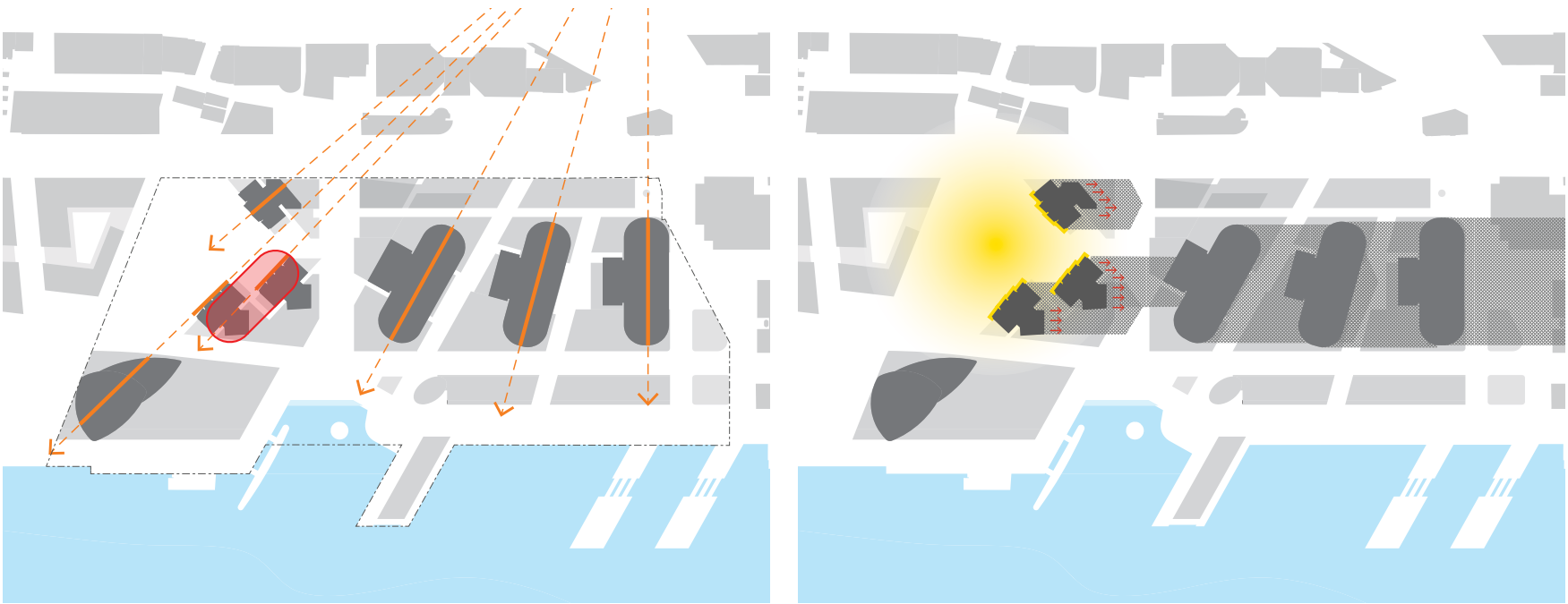
- The residential towers are orientated on the radial fan.
- The towers form a backdrop to the Radial Park and the Landmark Hotel whilst also creating a composition.
- Towers are positioned to maximise view corridors, view sharing and solar penetration to surrounding sites.
- Re-organise the northern end of the previous Mod 4 residential ribbon in to the three towers.

- Residential towers are integrated in to the Barangaroo South precinct.
- Move the public realm to be positioned on the threshold of Barangaroo Central, creating an opportunity of shared amenity and a point of transition between the two zones of the site.
- Develop taller and slimmer towers to maximise prime views of the Opera House and the Sydney Harbour Bridge and reduce overshadowing to adjacent sites.
- Create separation between the towers, ensuring visual permeability from the city to the water.
- The towers ascend in height, from the lowest tower at Hickson Road to the pinnacle of the Landmark Hotel.

Key Principles

Key principles and considerations which determine the location and orientation of the residential towers

- Radial fan
- Compacting the urban grid
- Vistas and orientation
- View sharing and corridors
- Setbacks and constraints



Radial Fan

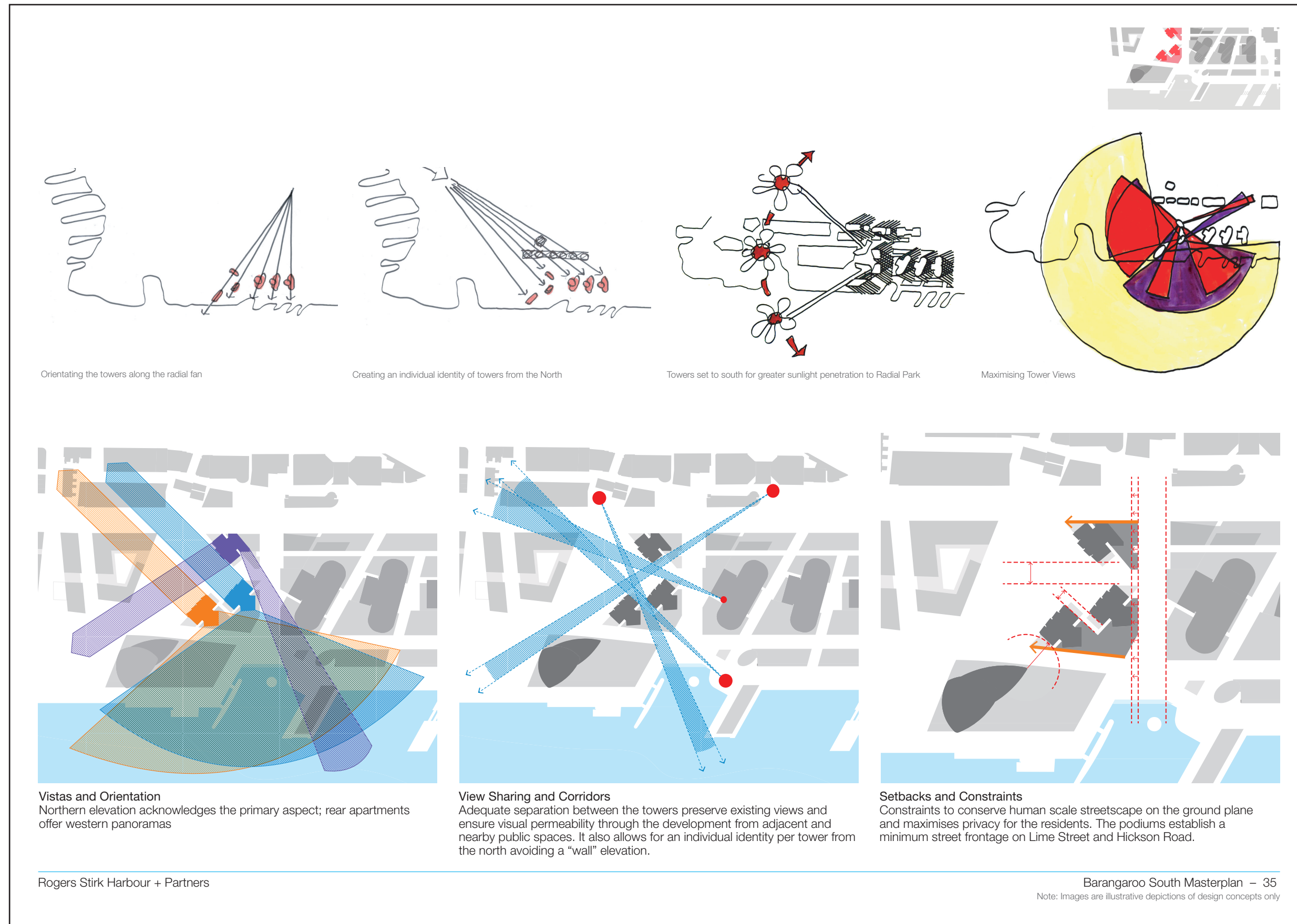
The towers are located and orientated to the radial fan so that the towers can be identified as part of Barangaroo South.

Compacting the Urban Grid

Positioning the towers south towards the commercial towers compact the urban grid of background towers and creates a larger piece of public realm at the threshold of Barangaroo South and Central. The position also increases solar access to the Radial Park.

Extract from Modification 8 -

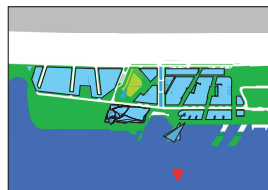
- Vistas, Views, and Setbacks -Item 1.3 - The masterplan calls for a minimum 9m space between Blocks 4a & 4b to avoid a wall from Harbour bridge and surrounding building and spaces.



Extract from Modification 8 –

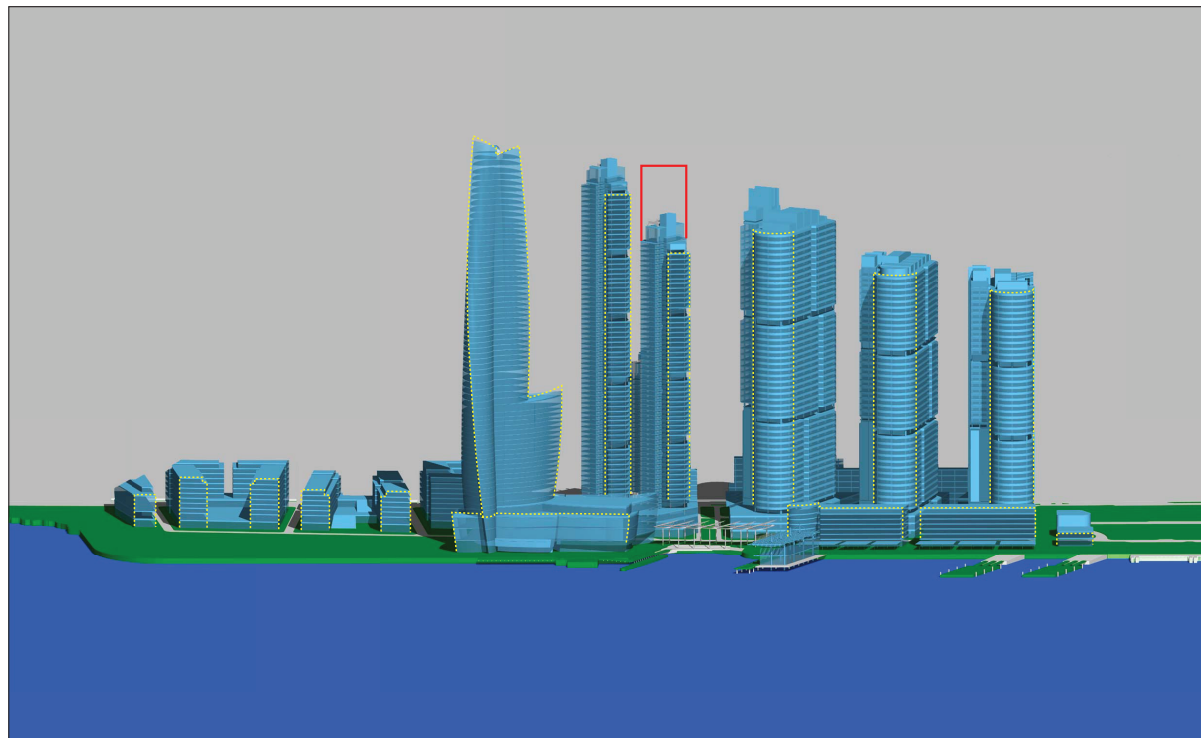
- Western Facade - Item 2.1 - By aligning the towers vertically they read as a singular entity/ form similar in scale to the commercial towers. - [increases to height indicated in red]
- Marking the City - Item 2.2 - The masterplan calls for an ascending mass which should still be maintained with the aligned form of the pair of towers. - [increases to height indicated in red]

Built Form Principles



1. City's New Western Façade

Create an integrated new western frontage to the city centre, the slender ends of buildings (above podium level) are oriented to the waterfront to define an open silhouette. A new ribbon of residential apartments and the hotel podium facing the waterfront will mediate the scale between the tower forms and the public promenade on the waterfront.



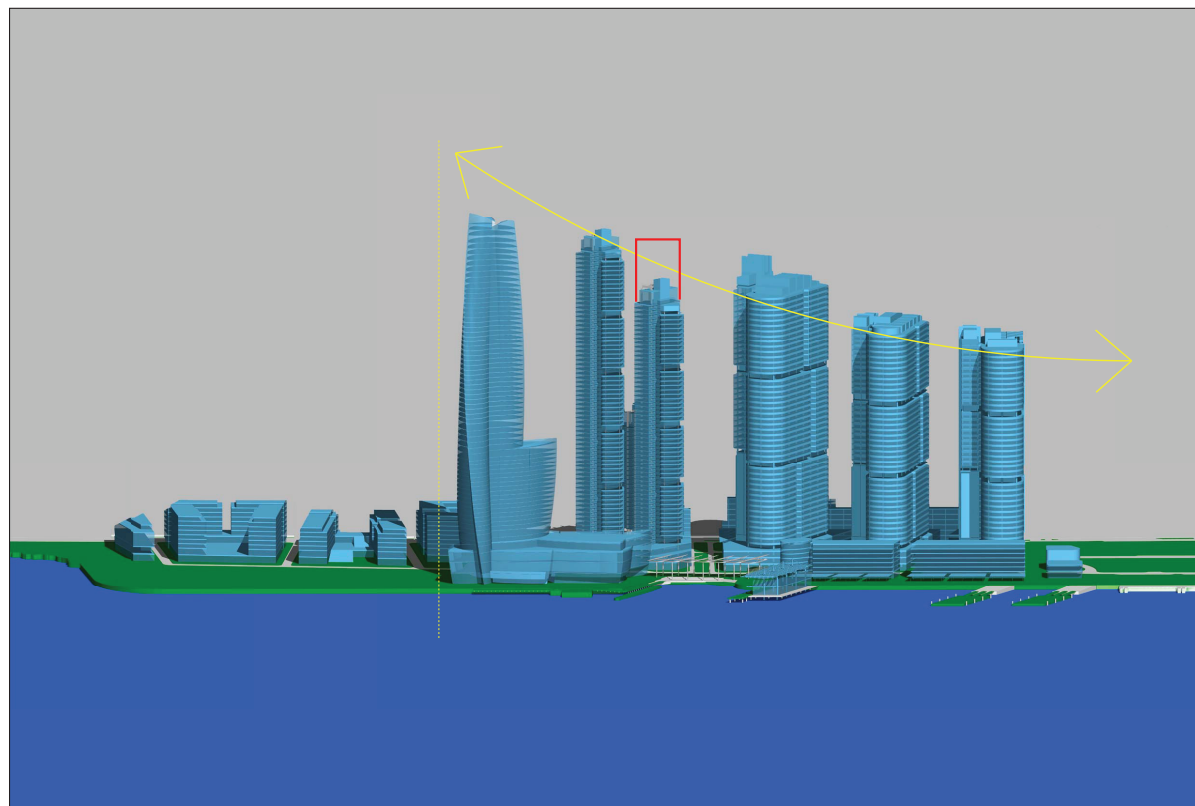
(Model/Hotel representation provided by Crown/Wilkinson Eyre Architects)

Built Form Principles



5. Marking the City Frame

Continue a built form dialogue with the adjoining city, building heights across the site are in keeping with the rest of the city, with the highest form at the north of the precinct to complete the city frame and book-end the city's north western edge.



(Model/Hotel representation provided by Crown/Wilkinson Eyre Architects)

Extract from Modification 8 -

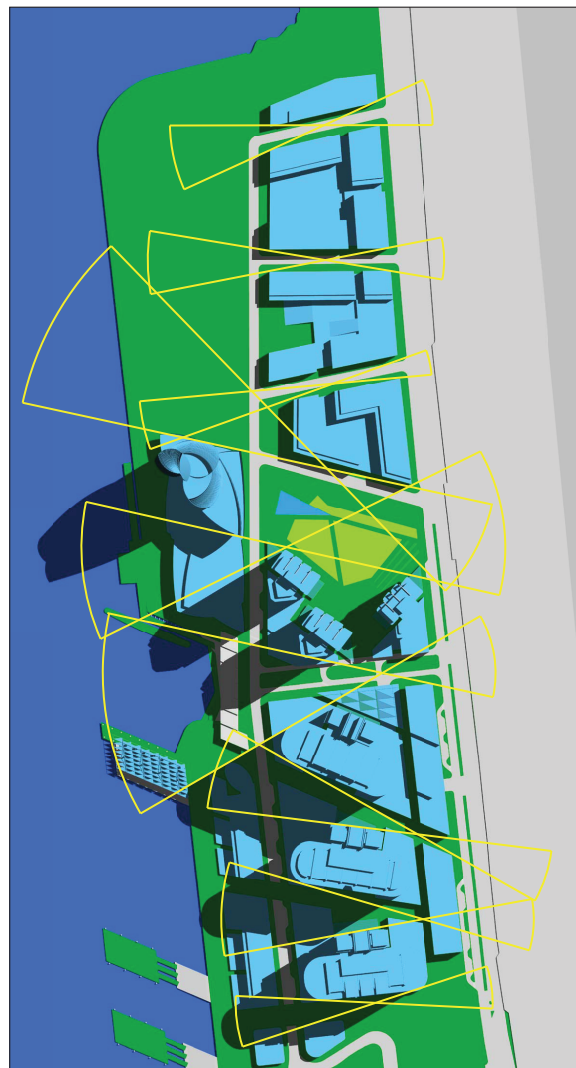
- View Sharing -Item 1.3 - The masterplan calls for a minimum 9m space between Blocks 4a & 4b to avoid a wall from Harbour bridge and surrounding building and spaces. -[red infill added to existing arrows to highlight]
- Orientation of Buildings - Item 2.1 - By aligning the towers vertically they read as a singular entity/ form similar in scale to the commercial towers. [red 'pill' added to indicate singular entity]

Built Form Principles

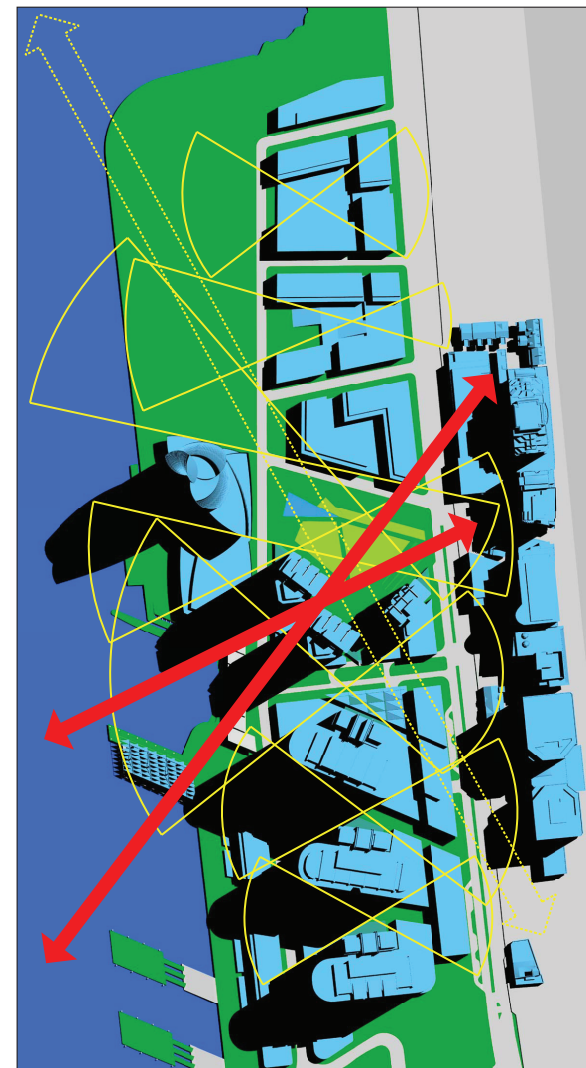
7. View Sharing

Promote the equitable access to views towards the harbour, the built form is to be arranged to define the street corridors and to allow view corridors from the existing private buildings to the east.

Provide sky view corridors between residential towers from Napoleon Street, Bond Square and the Harbour Bridge.



Low Level view cones



High Level view cones



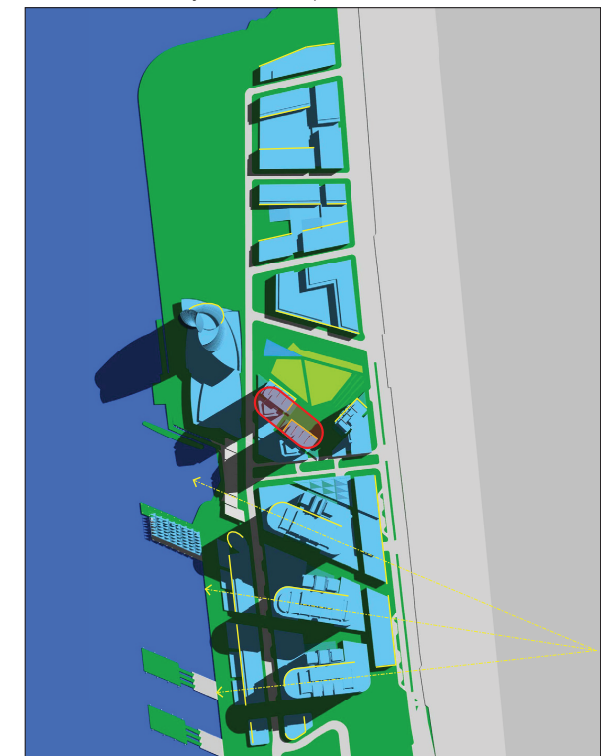
8. Orientation of Buildings

Create from a city scale and a bridge view a new city skyline silhouette formed by the gaps between the slender towers.

Provide optimum orientation and transparency across the site on a human scale from Globe Square, Bond Square, Napoleon Street, Radial Park and the Waterfront.

The orientation of the tower buildings are to relate to the fanning principle, while the long façades are to be facing to the north. Buildings facing Hickson Road and the waterfront promenade are to be generally orientated to the east and west to define the linear nature of the road and promenade.

(Model/Hotel representation provided by Crown/Wilkinson Eyre Architects)



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