

Engineering Services Report

For Proposed Camping Ground Extension

Located Tweed Valley Way and Jones Road, Yelgun

For: North Byron Parklands

24 August 2020

Ref: N20-156-ESR



A QUALITY ASSURED COMPANY

CERTIFIED QUALITY ASSURANCE – ISO AS/NZS 9001, 4801 & 14001

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DOCUMENT INFORMATION

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Project Name: Engineering Services Report for
Tweed Valley Way and Jones Road, Yelgun

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Rev1	M. Williams	T. Macdougall NER 5183221	S. Ide NER 2901822	24.08.2020

This report has been prepared for North Byron Parklands for the purpose of accompanying a Development Application for the above address. This report must only be used by North Byron Parklands for this purpose and must not be used or relied upon by any other person for any other purpose.

The assessment, conclusions or recommendations in this report are based on conditions encountered and information received at the time of preparing the report and may not be relied upon as site conditions or operations vary over time.

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1 INTRODUCTION

Westera Partners Pty Ltd has been commissioned by North Byron Parklands to prepare the following Engineering Services Report for the proposed camping extension. The subject site is located at Tweed Valley Way and Jones Road, Yelgun.

The 'North Byron Parklands' is a cultural events facility located at Tweed Valley Way and Jones Road, Yelgun. The site currently operates as a purpose built venue for a range of music and arts events under a state development consent SSD 8169 (Dated 13 March 2019). The holding company of North Byron Parklands, Billinudgel Property Pty. Ltd., is subsequently seeking to amend the current development approval to include an expanded camping area.

2 SITE DESCRIPTION

The development site is located at Tweed Valley Way and Jones Road, Yelgun. Part of the proposal involves land dedication of part of the existing site to the NSW National Parks & Wildlife Service (NPWS) to form part of the adjacent Billinudgel Nature Reserve (BNR). Following the subdivision, the site is proposed to be formally known as Lot 1 on DP1145020, Lot 402 & 403 on DP755687, Lot 12 on 848618, Lot 12 on DP875112, Lot 14 on DP875112, Lot 30 on DP880376, Lot 107 on DP1001878, Lot 312 on 1163830, & proposed Lots A, Lot B, Lot C, Lot D, & Lot E as described on the 'SSD approval' (SSD 8169). The total site area is approximately 229.34 Ha. Access to Wooyung Road is achieved via Lot 21 on DP1169952.

The site is bound by Tweed Valley Way to the west, the BNR centrally and to the south east, and properties to the north and northeast consisting of agricultural land primarily utilised for grazing and sugar cane cultivation. The northern site boundary forms part of the administrative boundary for Byron Shire Council (BSC). Adjoining properties to the north form part of Tweed Shire Council (TSC). Refer to Figure 1 for an indicative site location.

A shallow ridge containing Jones Road runs east west through the centre of the site. The southern portion of the site is located on the Billinudgel and Yelgun Creek floodplain, whilst a majority of the northern portion is located within the Crabbe's Creek floodplain. The BNR adjoining the site is classified as an eco-wetland under the State Environmental Planning Policy No. 14 – Coastal Wetlands (SEPP14). A significant portion of the site north of Jones Road adjoining the BNR thus forms part of a BSC mapped Wildlife Corridor and is land subject to rehabilitation.

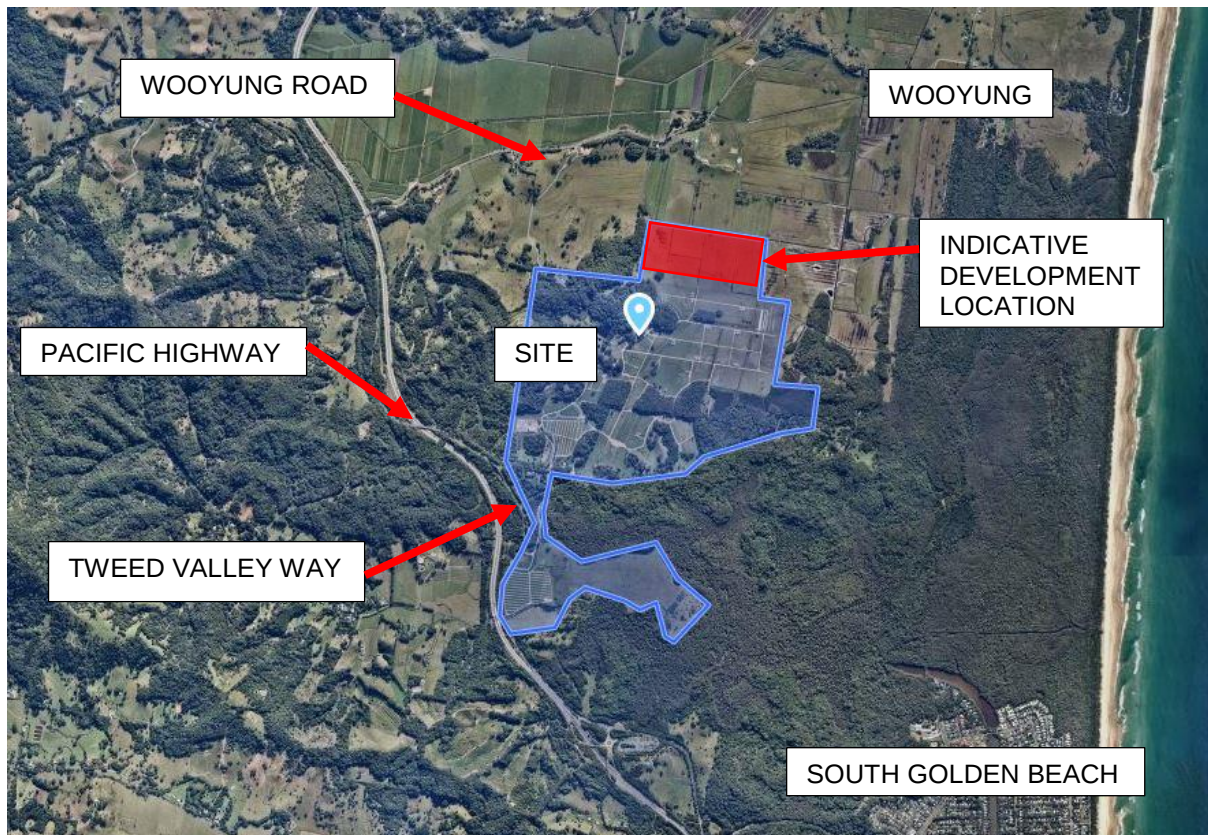


Figure 1 – Indicative Site location (Nearmap 2020)

3 ROAD WORKS

The proposed development consent amendments involve the extension of existing gravel roads to service proposed camping extension. The proposed expansion of the camping area requires approximately 3.3km of new road. The proposed road system extension intersects with existing road D and the existing spine road which funnels internal traffic to Tweed Valley Way. No external roadworks are proposed as part of this development.

4 STORMWATER DRAINAGE

Stormwater drainage associated with proposed infrastructure upgrades shall be designed in accordance with the strategy developed for the original development application.

Existing stormwater drains and channels, adjacent to internal roads and within camping areas, shall be maintained. New open drains shall be constructed adjacent to proposed roads and within proposed parking areas. Stormwater runoff shall be directed to existing drains present on site in accordance with the existing Stormwater Management Plan (dated June 2010) prepared by Ardill Payne and Partners. All stormwater runoff will be directed through grassed swales and is deemed to adequately treat stormwater before discharging to the adjacent stormwater drainage channels. Minor filling of redundant surface drains within camping area is proposed to reduce nuisance to camping patrons.

All stormwater drainage works shall be designed and constructed in accordance with The NRDC Manuals and TSC or BSC standards (dependent on where the work is proposed).

5 FLOODING

The existing flood risk management plan prepared by Molino Steward dated November 2017 (and amended in July 2020) covers events up to 50,000 patrons. The report indicates that significant portions of the site are flood prone. During the previous development works the spine road and easy street were reconstructed to be above the 100 year flood level for their entirety. As the proposed amendment to the existing development consent does not increase the number of patrons at risk and the proposed new camp site location directly connects to the spine road situated above the 100 year flood level, it is deemed that no added risk is likely to be incurred with the camp site extension.

6 SEWER AND WATER INFRASTRUCTURE

The proposed works for the extension to the camping area is not deemed to require any Sewer or Water infrastructure works. The proposed extension of the camping area is to be serviced in the same manner as the adjacent camping area.

6.1 Sewer

All wastewater generated in the proposed campground (toilets, showers, etc) will be disposed off site to an appropriate licensed liquid waste treatment facility. No wastewater will be directed to any council owned or operated sewage treatment plant. Unlike the existing campgrounds, all toilet and shower facilities will be temporary in nature and brought to site during the festival bump in period and removed during the bump out period.

6.2 Water

All potable water shall be provided in appropriate 23KL bulk storage tanks located around the proposed campgrounds. The management of potable water will comply with Parklands Potable Water Management Plan which was developed in conjunction with the NSW Department of Health. All recommendations were implemented during the previous construction works and the proposed development will be in keeping with the previous approval.

7 EARTHWORKS

Minor filling and/or excavation will be involved as part of the following infrastructure upgrades:

- Proposed roads will require excavation and the provision of new road base material as required.
- Stormwater drainage works
- Minimum excavation will be undertaken for modifications to existing open stormwater drains as required.

An acid sulphate soils (ASS) assessment (dated June 2010) was prepared by EAL Consulting Services in order to investigate the presence of acid sulphate materials (ASM). The report identified the presence of ASM predominately within soils below 3.0m AHD. Due to the minimum area and depth required to be excavated it is deemed to be acceptable for ASS to be addressed within the Construction Environmental Management Plan (CEMP) for construction certificate.

All earthworks shall be carried out in accordance with The NRDC Manuals and TSC or BSC standards (dependent on where the work is proposed).

8 EROSION AND SEDIMENT CONTROL

Management of stormwater runoff during construction is necessary to avoid pollution of downstream waterways from sediment and gross pollutant loading. Impacts of inadequate erosion and sediment control downstream from the site include:

- traffic safety problems;
- blocked drains;
- local flooding problems;
- aesthetic pollution of drainage paths; and
- damage to local ecosystems.

Best practice erosion and sediment controls must be installed to minimise the discharge of sediment laden runoff during construction in accordance with the requirements of Landcom's 'Managing Urban Stormwater: Soils and Construction', Volume 1, 4th Edition, March 2004 (the "Blue Book"). Erosion and sediment control plans shall be developed during detailed design phase and must be continually maintained and amended as required to minimise environmental harm.

Erosion and sediment control plans are based on three sets of control measures:

- drainage control;
- erosion control; and
- sediment control.

These control measures must be maintained in an effective operational condition. Defects in erosion and sediment control devices, such as sediment fences, are to be inspected and documented. Upon inspection, the contractor is to determine whether the device should be replaced or repaired. Documentation is to include how the damage was caused and what measures can be implemented to reduce the possibility of repeat occurrences. Any damage to either permanent or temporary water quality control structures or devices is to be immediately rectified at the contractor's expense.

Drainage paths are to be inspected to ensure the sediment fences are not being bypassed as a result of soil erosion. Sediment laden runoff shall be prevented from exiting the subject site through incorporating controls that include but are not limited to the following subject to preparation of a detailed erosion and sediment control plan as part of any future construction certificate.

- Sediment fencing at downslope of any stockpiles, batters or disturbed ground at perimeters and placed to not cause concentration of water.
- Coir logs, rock checks or similar to create ponding of water in drainage channels to promote capturing of large sediment particles.
- Drainage channels/swales to direct runoff to sediment control devices e.g. sediment basins.
- Sediment basins to receive and control runoff from disturbed areas including dewatering from trenches and excavations.
- Construction entry/exits.

- Surface stabilisation e.g. erosion control matting, soil binders etc

The effectiveness of the erosion and sediment control devices can be monitored by visual audits. All ESC measures are to be inspected:

- at least daily (when work is occurring on site) or weekly (when work is not occurring on site);
- within 24 hours of expected rain; and
- within 18 hours of a rainfall event (i.e. an event of sufficient intensity and duration to mobilise sediment on site).

8.1 Maintenance and Monitoring Requirements

Periodic maintenance and monitoring of stormwater devices proposed in this report is crucial to ensure effective operation and design life. All stormwater discharged off site is to comply with the water quality objectives of the Local Authority particularly including pH, turbidity and suspended solids.

Sediment accumulation on ESC devices is to be removed and disposed of to the satisfaction of the Local Authority.

9 GAS, ELECTRICAL AND COMMUNICATION

There is an existing Telstra fibre optic cable present on site. Additional Telstra infrastructure is available within Tweed Valley Way.

There are no gas services within proximity to the site.

No works are proposed to extend the existing communication or electrical networks.

10 CONCLUSION

This engineering services report outlines the proposed works associated with the application to amend the current development approval at North Byron Parklands (SDD 8169).

Construction work relating to road and stormwater drainage are proposed across the proposed camping extension area of the subject site.

Existing stormwater drainage drains and channels are to be maintained or modified as required.

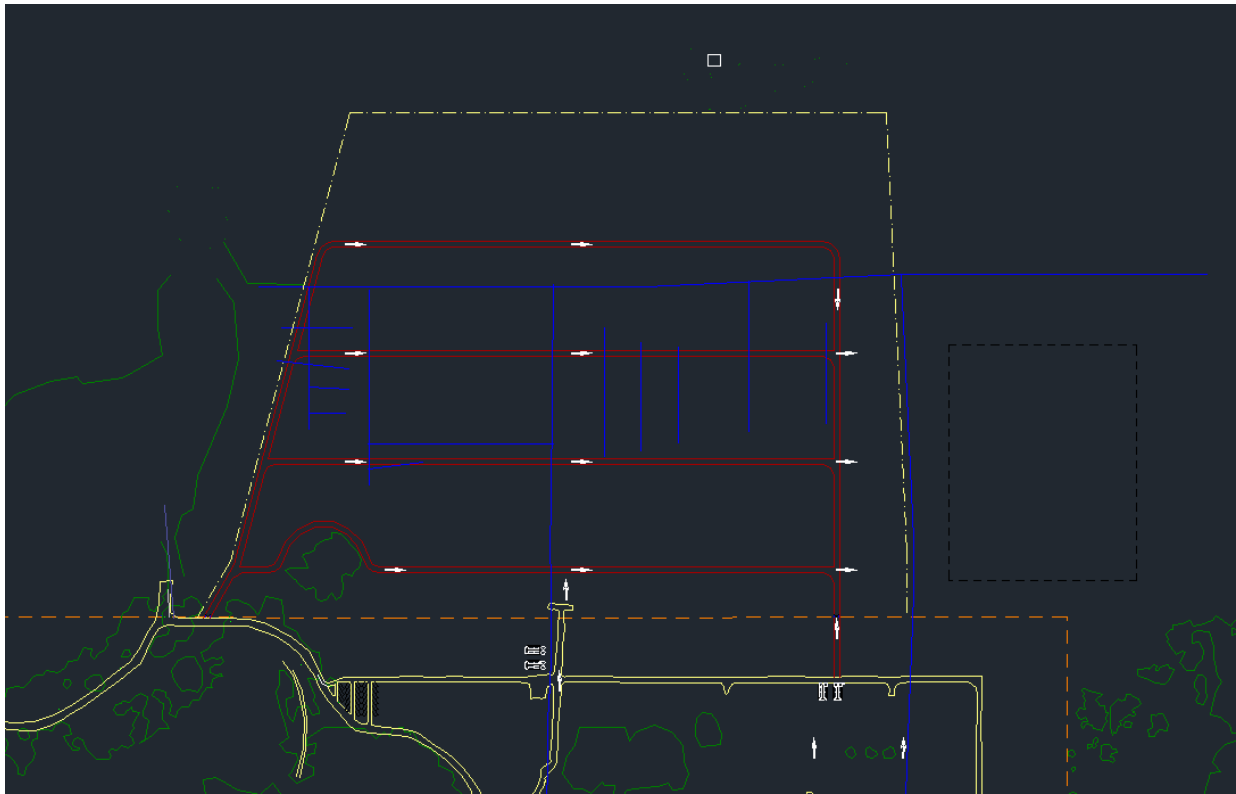
It is deemed that there is likely no increase of flood risk when compared to the existing development as there is not an increase of patrons and the proposed extension to the camping area is located directly adjacent to the existing spine road that has been constructed above the 100 year flood event.

No changes are proposed to the existing sewerage or water management plans associated with the existing approval.

Proposed infrastructure works will involve minor filling and excavation. An acid sulphate soils assessment prepared by EAL Consulting Services determined the presence of acid sulphate materials on site. Any proposed excavation works shall be undertaken in accordance with a detailed ASSMP to be prepared at construction certificate stage to align with the specific stage of upgrade works.

Final details regarding proposed infrastructure works can be addressed during the detailed design stage.

APPENDIX A – ARCHITECTURAL LAYOUT PLAN



APPENDIX B – ENGINEERING DRAWINGS

'NORTH BYRON PARKLANDS' CAMPING EXTENSION

LOT 1 DP1145020; LOTS 46, 402-404 & 410 DP755687; LOTS 2 & 12 DP848618; LOT 101 DP856767; LOT 30 DP880376;
LOTS 100 & 101 DP1178907; LOTS 101, 102 & 107 DP1001878; LOTS 12 & 14 DP875112; LOT 21 DP1169952

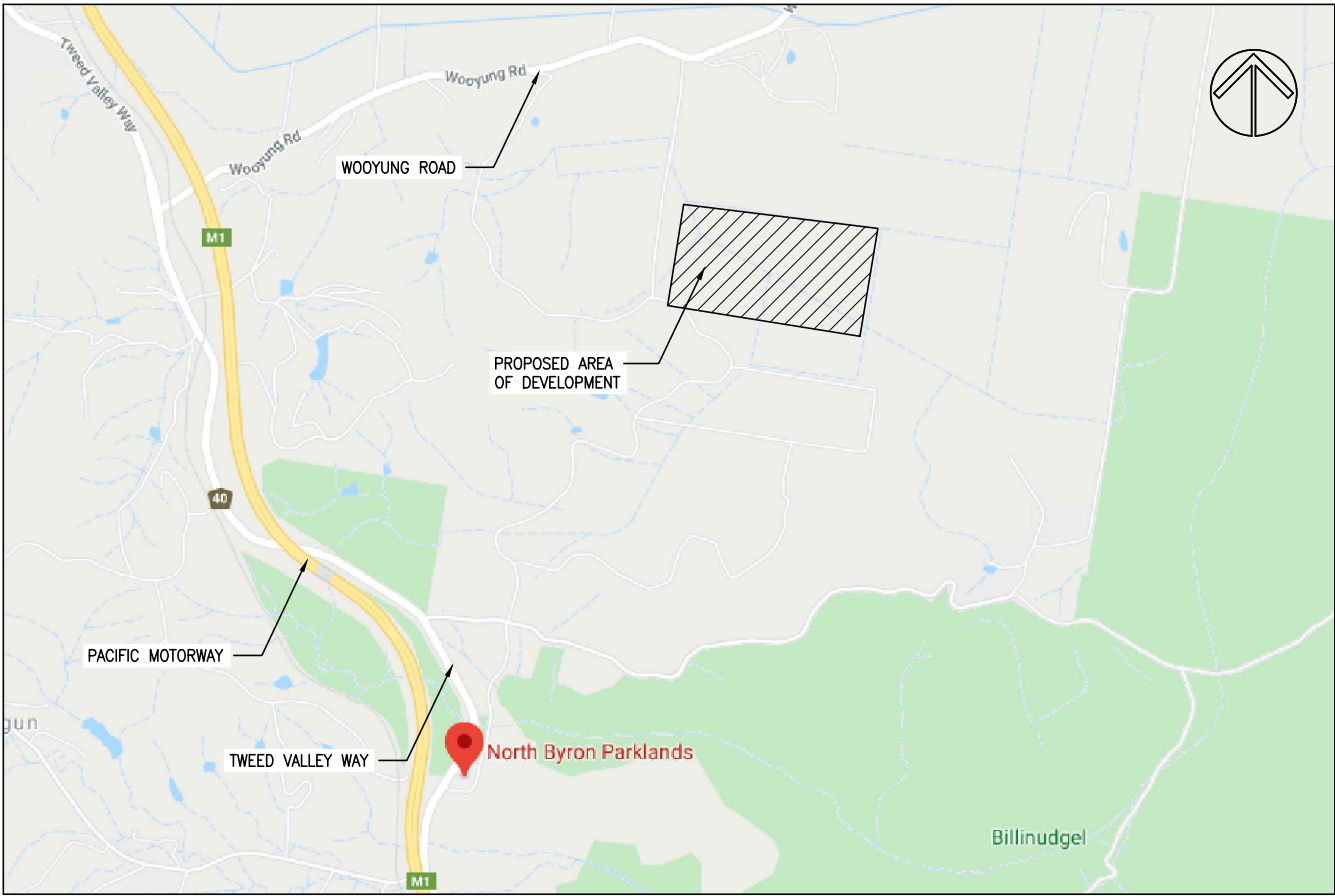
FOR

NORTH BYRON PARKLANDS

INDEX OF DRAWINGS

CIVIL DRAWINGS

- N20/156C-01 COVER SHEET
- N20/156C-02 SITE PLAN
- N20/156C-03 CIVIL WORKS PLAN
- N20/156C-04 TYPICAL DETAILS



LOCALITY PLAN

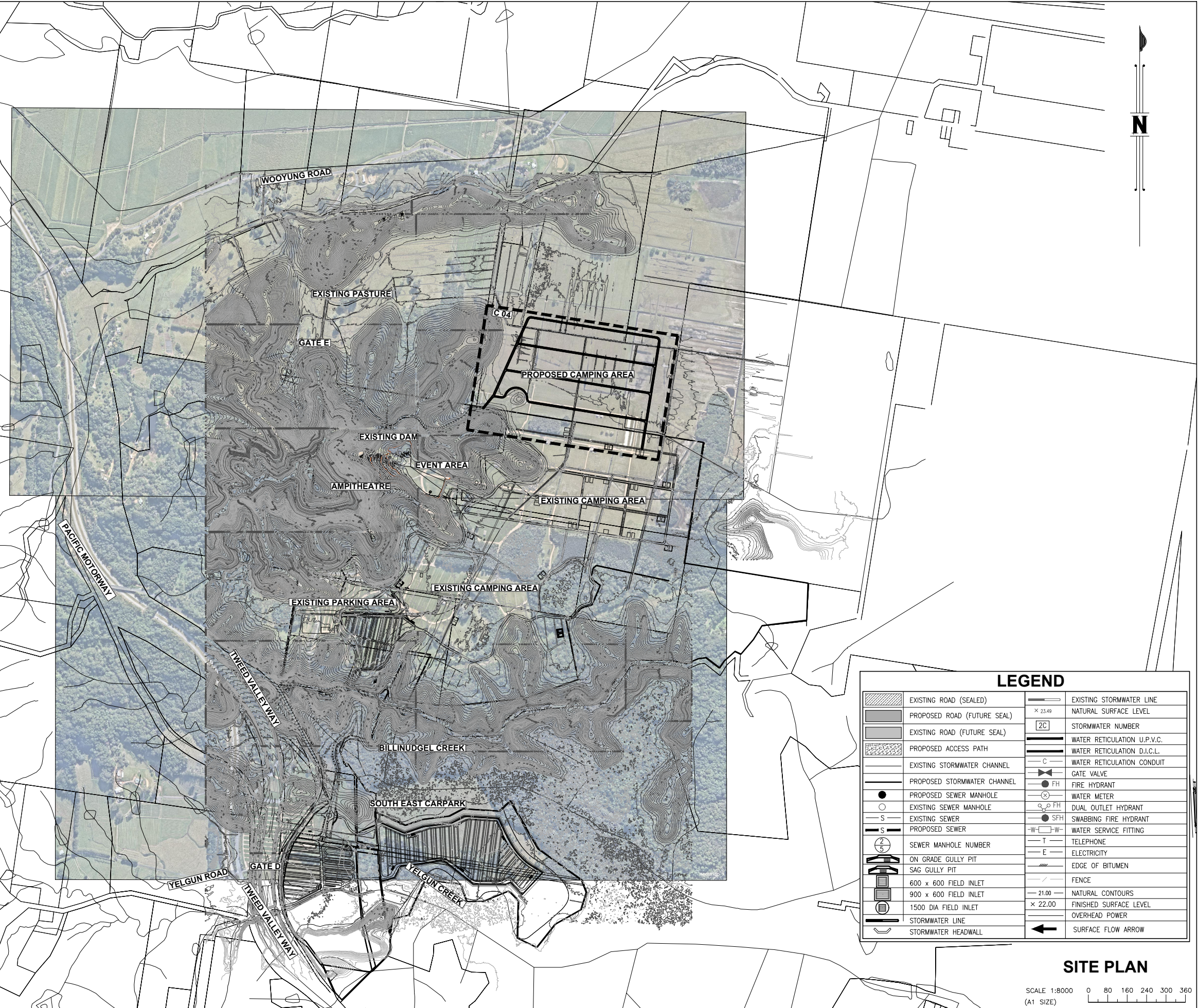
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PRELIMINARY
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WESTERA PARTNERS STRUCTURAL+CIVIL+ENVIRONMENTAL ENGINEERS www.westerapartners.com.au ABN 52 097 417 975	SUNSHINE COAST Suite 2, Norval Corporate Centre, 13 Norval Ct, Maroochydore T 0431 803 337 E sunshinecoast@westerapartners.com.au BRISBANE Level 2 Limestone, 33 Longland St, Newstead T 07 3852 4333 F 07 3852 4777 E brisbane@westerapartners.com.au	GOLD COAST Level 3 17 Welch St, Southport T 07 5571 1599 F 07 5571 1330 E goldcoast@westerapartners.com.au NORTHERN NSW 11 Sailfish Way, Kingscliff T 02 6674 8047 F 02 6674 8049 E nsw@westerapartners.com.au	SURVEYOR LIDAR USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. IF A DISCREPANCY ARISES CHECK WITH THE PROJECT ENGINEER AND/OR SUPERVISING AUTHORITY. DO NOT WORK FROM REDUCED SCALE DRAWINGS (A1-A3 SIZE PAPER). COPYRIGHT OF ALL DRAWINGS & WORKS EXECUTED FROM THEM IS VESTED IN WESTERA PARTNERS AND USE OF THERE FORE WITHOUT PERMISSION IS STRICTLY PROHIBITED IT IS THE BUILDERS RESPONSIBILITY TO ENSURE ALL WORKS ARE CARRIED OUT WITH DUE CARE AND DILIGENCE TO COMPLY WITH THE CONTRACT DOCUMENTS.	DATUM	<table><tr><th>No.</th><th>DATE</th><th>REVISIONS</th></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td>A</td><td>29.07.2020</td><td>SHEET 4 ADDED</td></tr></table>	No.	DATE	REVISIONS										A	29.07.2020	SHEET 4 ADDED	SHEET PROJECT LOCATION CLIENT	COVER SHEET 'NORTH BYRON PARKLANDS' CAMPING EXTENSION LOT 1 DP1145020; LOTS 46, 402-404 & 410 DP755687; LOTS 2 & 12 DP848618; LOT 101 DP856767; LOT 30 DP880376; LOTS 100 & 101 DP1178907; LOTS 101, 102 & 107 DP1001878; LOTS 12 & 14 DP875112; LOT 21 DP1169952 TWEED VALLEY WAY & JONES ROAD, YELGUN NORTH BYRON PARKLANDS	APPROVED For and on behalf of WESTERA PARTNERS PTY. LTD.	DESIGNED M.J.W.	SHEET NUMBER 01 OF 04
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GENERAL NOTES

- G1 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITIES STANDARD DRAWINGS & SPECIFICATIONS AND COMPLETED TO THE SATISFACTION OF THE SUPERINTENDENT AND LOCAL AUTHORITY.
- G2 UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- G3 THE LOCATION AND LEVEL OF ALL EXISTING SERVICES SHALL BE VERIFIED BEFORE CONSTRUCTION COMMENCES AND NOTWITHSTANDING THE INFORMATION SHOWN ON THE DRAWINGS, THE DESIGN OF CONSTRUCTION MAY BE ALTERED TO SUIT BY THE SUPERINTENDENT.
- G4 ALL CONNECTIONS TO EXISTING SEWERS AND WATER MAINS ARE TO BE CONSTRUCTED BY THE LOCAL AUTHORITY OR AN APPROVED CONTRACTOR. THE CONTRACTOR IS TO ALLOW IN HIS CONTRACT SUM FOR THE COST OF ANY PROPOSED CONNECTIONS.
- G5 ALL SEWERS ARE TO BE 150MM DIA. U.P.V.C. CLASS SN8 RUBBER RING JOINTED AND PROPERTY CONNECTIONS ARE TO BE 100MM DIA. U.P.V.C CLASS SN6 UNLESS NOTED OTHERWISE.
- G6 THE PAVEMENT DEPTHS SHOWN ARE PRELIMINARY ONLY AND ARE TO BE VERIFIED FOLLOWING SUB-SOIL TESTS OF THE SUB-GRADE MATERIAL.
- G7 ALL ROOFWATER CONNECTIONS FROM KERB ADAPTERS ARE TO BE 100MM DIA CLASS SN8 AT A MIN GRADE OF 1.0% UNLESS SHOWN OTHERWISE. ROOFWATER CONNECTIONS FROM FIELD INLETS OR GULLY PITS ARE TO BE 150MM DIA CLASS SN6 AT A MIN GRADE OF 1.0% UNLESS NOTED OTHERWISE.
- G8 ALL U.P.V.C. STORMWATER DRAINAGE PIPES ARE TO BE SEWER CLASS SN8 AND ALL R.C. AND F.R.C. PIPES ARE TO BE CLASS 2 RUBBER RING JOINTED UP TO AND INCLUDING 600 DIA. PIPES OVER 600 DIA. ARE TO BE CLASS 2 AND ARE TO HAVE AN EXTERNAL RUBBER BAND JOINT GROUTED INTERNALLY.
- G9 WATER PIPES SHALL BE:
- P.V.C.-M WATER PIPES ARE TO BE SERIES 2 PN16 SN10 R.R.J.
- D.I.C.L. WATER PIPES ARE TO BE PN35 WITH ALL FITTINGS TO BE FUSION BONDED POLYMERIC COATED.
- PE WATER PIPES ARE TO BE PN16 SDR11 PE100. DN25 AND DN32 WATER SERVICES SHALL BE PE80B.
- G10 ALL "AS CONSTRUCTED" INFORMATION IS TO BE RECORDED AS REQUIRED BY THE LOCAL AUTHORITY AND SUBMITTED TO THE SUPERINTENDENT IMMEDIATELY AFTER COMPLETION OF THE WORKS.
- G11 ALL ALLOTMENTS ARE TO BE GRADED AT A MINIMUM GRADE OF 1 IN 150.



PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND			
	EXISTING ROAD (SEALED)		EXISTING STORMWATER LINE
	PROPOSED ROAD (FUTURE SEAL)		NATURAL SURFACE LEVEL
	EXISTING ROAD (FUTURE SEAL)		STORMWATER NUMBER
	PROPOSED ACCESS PATH		WATER RETICULATION U.P.V.C.
	EXISTING STORMWATER CHANNEL		WATER RETICULATION D.I.C.L.
	PROPOSED STORMWATER CHANNEL		WATER RETICULATION CONDUIT
	PROPOSED SEWER MANHOLE		GATE VALVE
	EXISTING SEWER MANHOLE		FIRE HYDRANT
	EXISTING SEWER		WATER METER
	PROPOSED SEWER		DUAL OUTLET HYDRANT
	SEWER MANHOLE NUMBER		SWABBING FIRE HYDRANT
	ON GRADE GULLY PIT		WATER SERVICE FITTING
	SAG GULLY PIT		TELEPHONE
	600 x 600 FIELD INLET		ELECTRICITY
	900 x 600 FIELD INLET		EDGE OF BITUMEN
	1500 DIA FIELD INLET		FENCE
	STORMWATER LINE		NATURAL CONTOURS
	STORMWATER HEADWALL		FINISHED SURFACE LEVEL
			OVERHEAD POWER
			SURFACE FLOW ARROW

SITE PLAN

SCALE 1:8000
(A1 SIZE)

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No.	DATE	REVISIONS
B	26.08.2020	LAYOUT AMENDED
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NORTH BYRON PARKLANDS

APPROVED

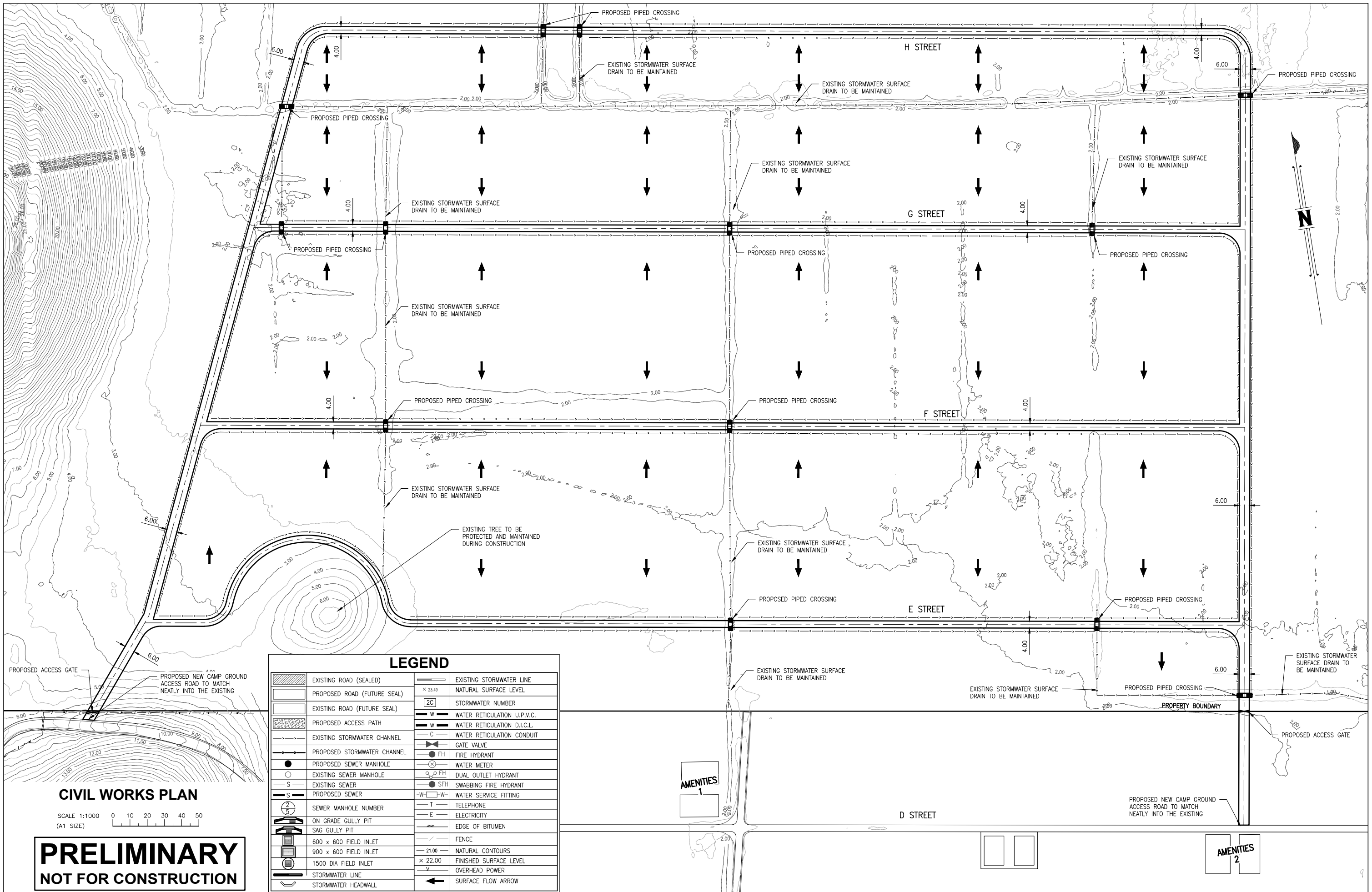
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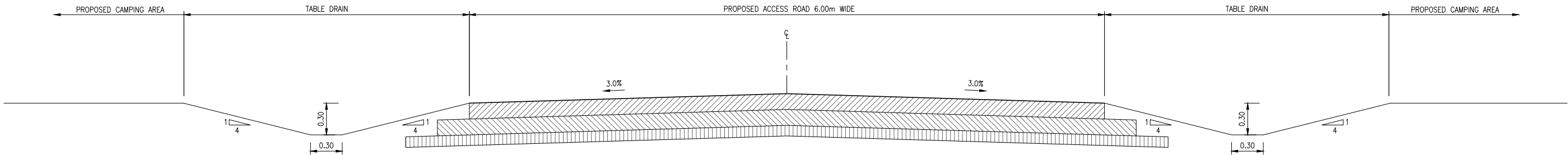
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For and on behalf of
WESTERA PARTNERS PTY. LTD.



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PROJECT NUMBER	N20/156 C																																											
BRISBANE Level 2 Limestone, 33 Longland St, Newstead T 07 3852 4333 F 07 3852 4777 E brisbane@westerapartners.com.au											NORTHERN NSW 11 Sailfish Way, Kingscliff T 02 6674 8047 F 02 6674 8049 E nsw@westerapartners.com.au		USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. IF A DISCREPANCY ARISES CHECK WITH THE PROJECT ENGINEER AND/OR SUPERVISING AUTHORITY. DO NOT WORK FROM REDUCED SCALE DRAWINGS (A1-A3 SIZE PAPER). COPYRIGHT OF ALL DRAWINGS & WORKS EXECUTED FROM THEM IS VESTED IN WESTERA PARTNERS AND USED OR REPRODUCED WITHOUT PERMISSION IS STRICTLY PROHIBITED IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE ALL WORKS ARE CARRIED OUT WITH DUE CARE AND DILIGENCE TO COMPLY WITH THE CONTRACT DOCUMENTS.																															

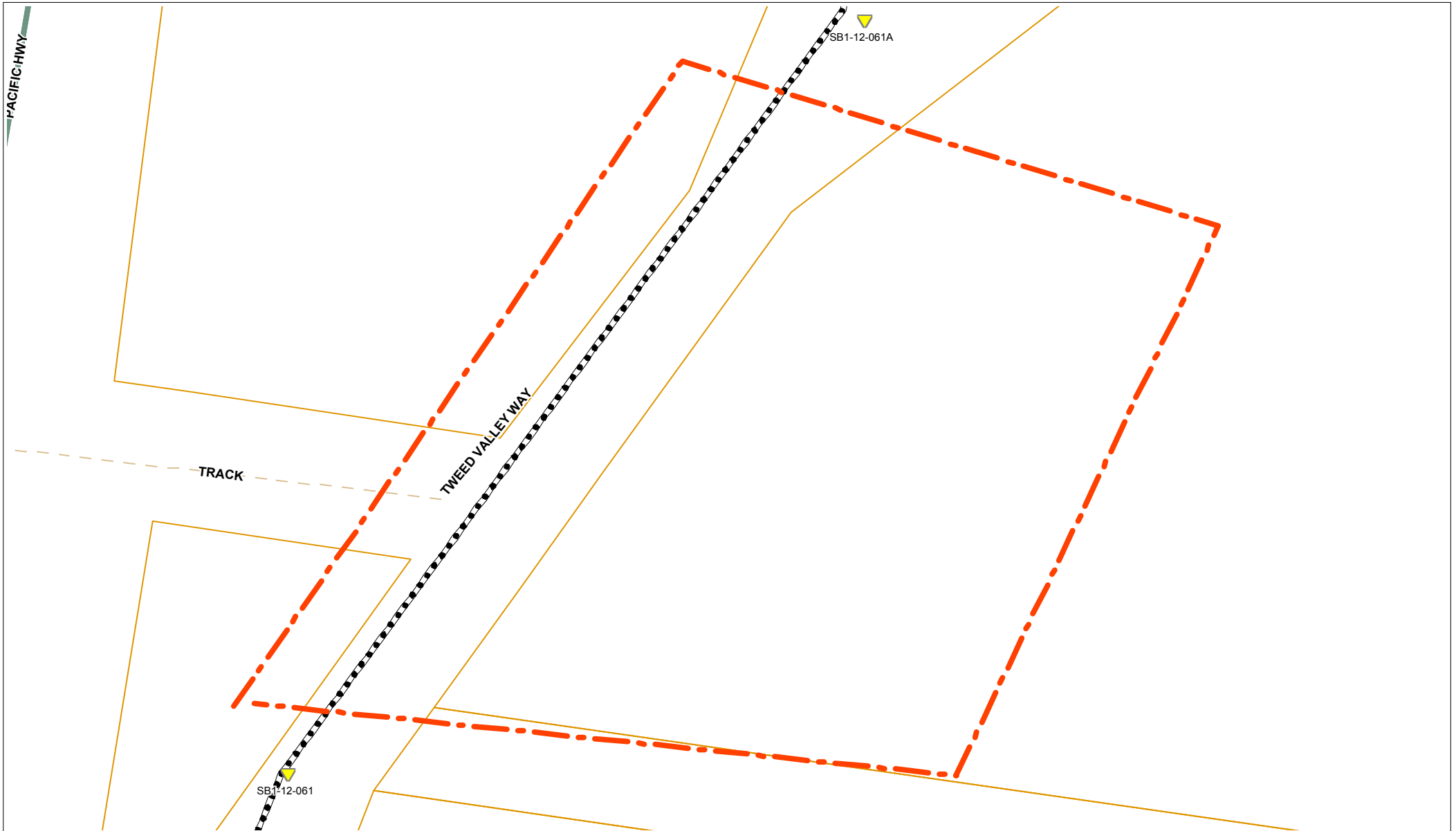


TYPICAL CAMP GROUND ACCESS ROAD SECTION
1:20 SCALE @ A1 SIZE

PRELIMINARY
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS
A	29.07.2020	SHEET 4 ADDED

APPENDIX C – DBYD SEARCH RESULTS



Sequence Number: 58506855

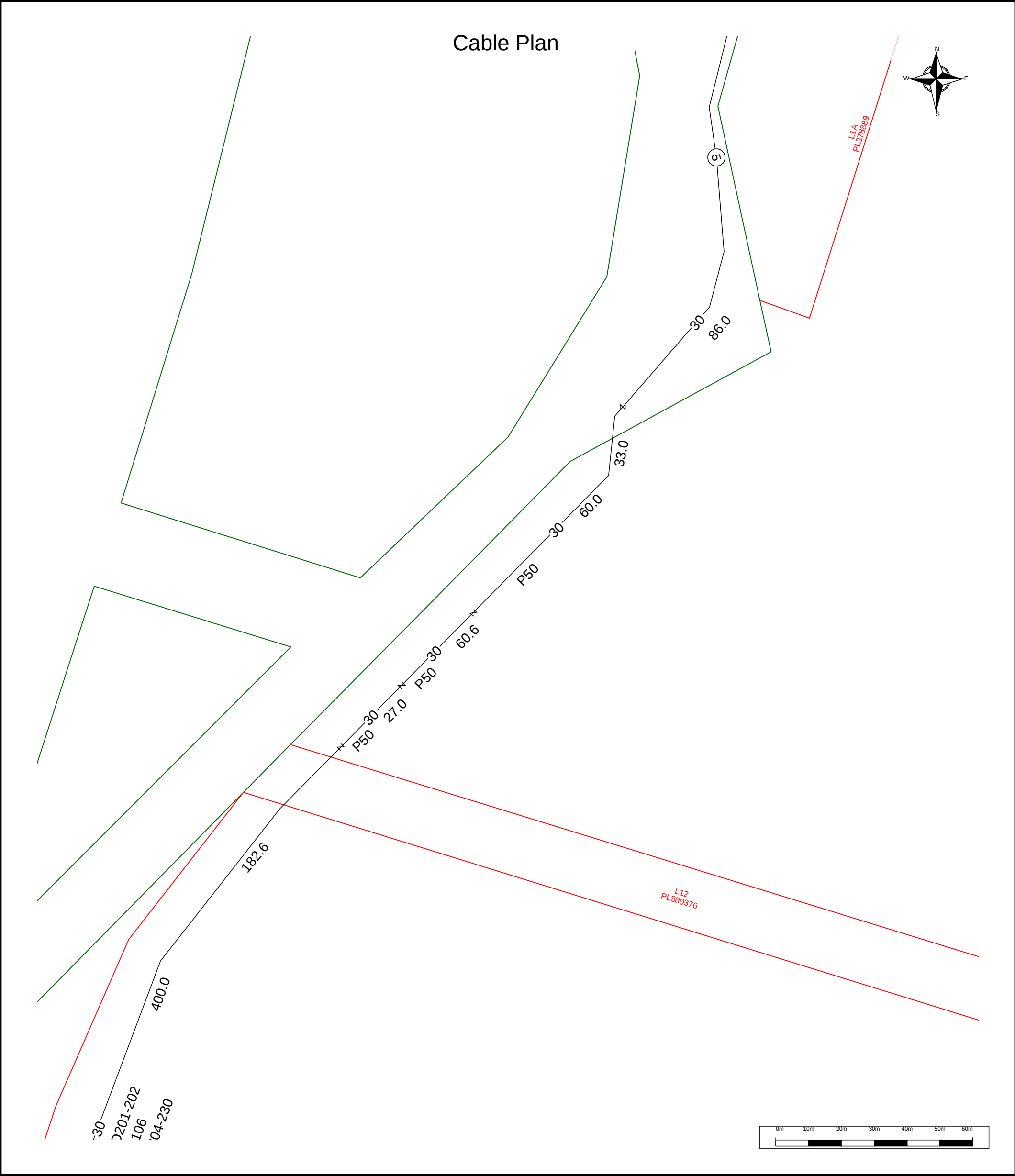
Date: 30/01/2017

DISCLAIMER: THIS DRAWING SHOULD NOT BE SCALED TO LOCATE CABLES. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE. IF YOU REQUIRE INFORMATION REGARDING LOCATING THE CABLE PLEASE CALL NEXTGEN. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR DIAL BEFORE YOU DIG USE. THIS PLAN CONTAINS COMMERCIAL SENSITIVE INFORMATION AND IS TO BE TREATED ACCORDINGLY. NO SUCH INFORMATION IS TO BE PASSED ONTO OTHER PARTIES WITHOUT WRITTEN CONSENT FROM NEXTGEN PTY LTD.



LEGEND

Digsite	Assets
Point	Cable
Line	3rd Party Duct
Area	Marker Post



	For all Telstra DBYD plan enquiries - email - Telstra.Plans@team.telstra.com For urgent onsite contact only - ph 1800 653 935 (bus h	Sequence Number: 58506857
	TELSTRA CORPORATION LIMITED A.C.N. 051 775 556	Please read Duty of Care prior to any excavating
	Generated On 30/01/2017 16:17:04	

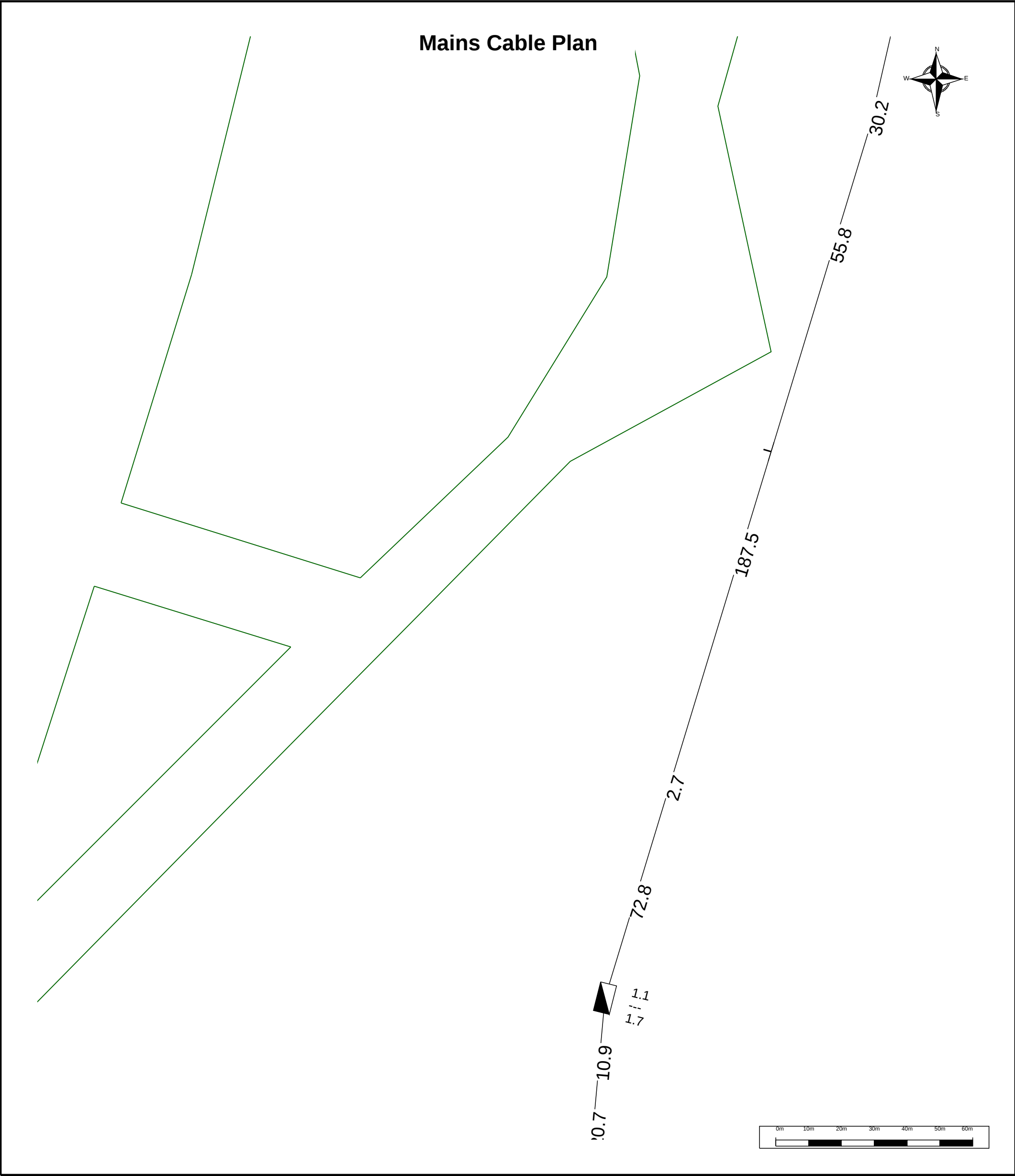
The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.



	For all Telstra DBYD plan enquiries - email - Telstra.Plans@team.telstra.com For urgent onsite contact only - ph 1800 653 935 (bus hrs)	Sequence Number: 58506857
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	Generated On 30/01/2017 16:17:05	

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Overhead wires not shown
LOOK UP & LIVE!

LEGEND

- LV Underground Cable
- HV Underground Cable
- Underground Pipe
- ★ Underground Earth or Wires
- ▲ Ground Substation
- Pole
- ⊠ Cubicle
- Pit
- Area of Interest

Critical Assets

Contact Essential Energy
on 13 23 91

- Zone Substation
- Underground Cable
- Underground Fibre

Proposed Works

- Area of proposed works

Proposed assets are shown as
orange symbols

THE INFORMATION ON
THIS MAP MAY NOT BE
ACCURATE.

If details are incorrect,
please notify
Essential Energy on
13 23 91
(or fax 1800 354 636)

ISSUE DATE: 30/01/2017

You must resubmit your
request if you have not
started work within 4 weeks
of the 'Issue Date' above

A4 SCALE: 1:1838

