
  
 Planning, Industry & Environment

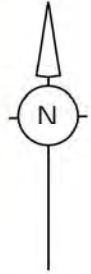
Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Request

No: 6 Granted on: 12 October 2020

In respect to: MP07\_0026

Signed: JF Sheet No: 1 of 19



LEGEND	
	SITE BOUNDARY
	10m BOUNDARY BUFFER
	COMMUNITY USE
	SEPP 14 WETLAND
	100m SEPP 26 BUFFER
	RETIREMENT COMMUNITY
	FUTURE RESIDENTIAL
	LIVE - WORK
	COMMERCIAL
	CONSERVATION / PARK / OPEN SPACE
	NEIGHBOURHOOD CENTRE
	RESIDENTIAL
	DRAINAGE RESERVE
PS	PUMP STATION



1cm = 50m  
1:5000

**SOURCE:**  
Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1019 Illustration C1 - Concept Plan Date October 2012.

**NOTE:**  
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REV	DATE	AMENDMENT
A	16.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND
F	28.07.20	LEGEND NOTES, 2 LOTS NOT 3 (COMMERCIAL)

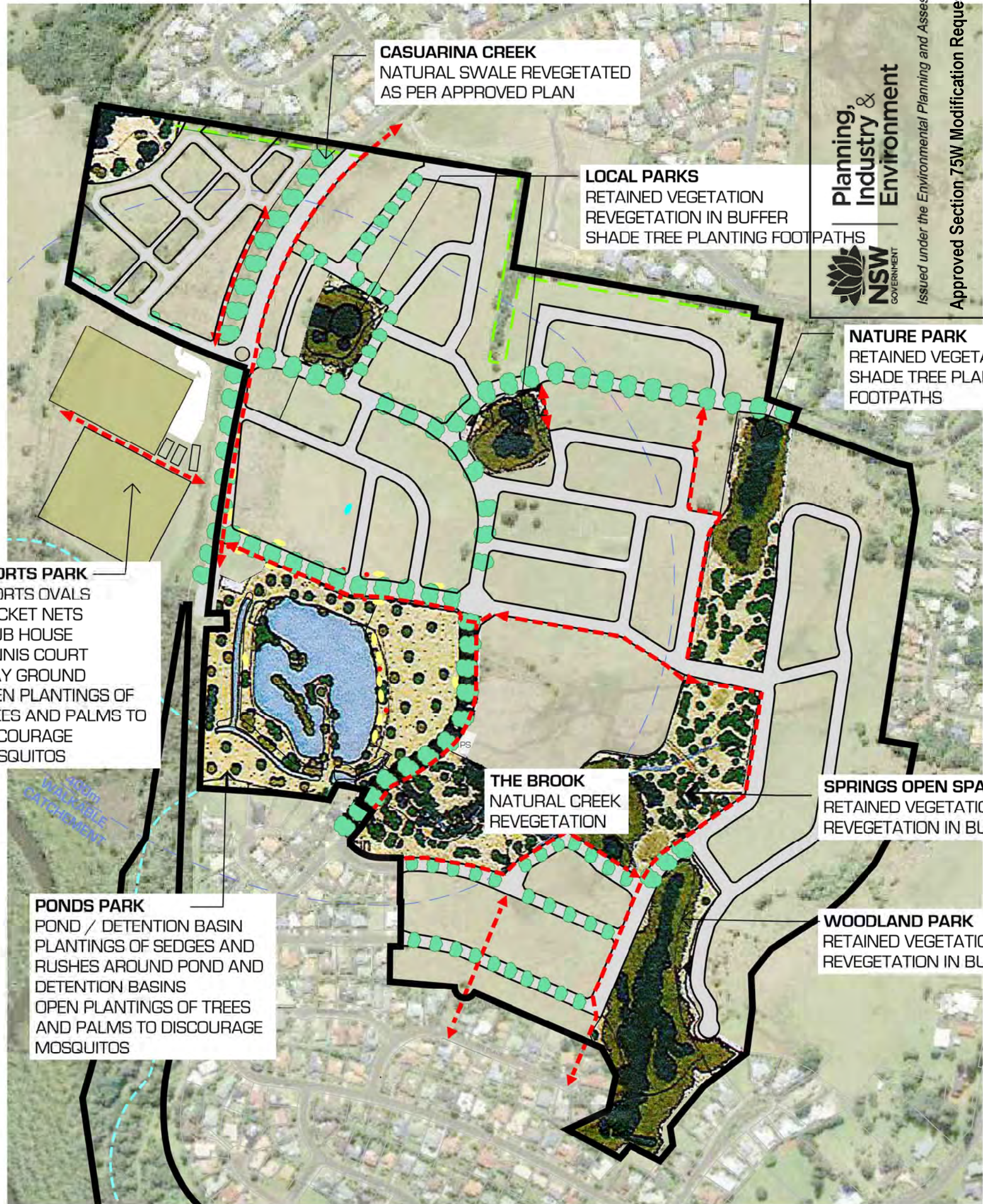
SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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**Newton Denny Chapelle**  
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 CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
 ABN: 86 220 045 469

**EPIQ LENNOX HEAD ILLUSTRATION C1 - CONCEPT PLAN**  
 CLIENT: CLARENCE PROPERTY CORPORATION  
 LOCATION: LOT 234 DP1104071 LENNOX HEAD NSW  
 REF: 11/351  
 DATE: 28.07.20  
 SCALE: 1 : 4000 @ A3  
 DRAWN: bk





**Planning, Industry & Environment**  
 NSW GOVERNMENT  
 Issued under the Environmental Planning and Assessment Act 1979  
 Approved Section 75W Modification Request

No: 6 Granted on: 12 October 2020  
 In respect to: MP07\_0026

Signed: JF Sheet No: 2 of 19

**SPORTS PARK**  
 SPORTS OVALS  
 CRICKET NETS  
 CLUB HOUSE  
 TENNIS COURT  
 PLAY GROUND  
 OPEN PLANTINGS OF TREES AND PALMS TO DISCOURAGE MOSQUITOS

**PONDS PARK**  
 POND / DETENTION BASIN  
 PLANTINGS OF SEDGES AND RUSHES AROUND POND AND DETENTION BASINS  
 OPEN PLANTINGS OF TREES AND PALMS TO DISCOURAGE MOSQUITOS

**THE BROOK**  
 NATURAL CREEK  
 REVEGETATION

**SPRINGS OPEN SPACE**  
 RETAINED VEGETATION  
 REVEGETATION IN BUFFERS

**WOODLAND PARK**  
 RETAINED VEGETATION  
 REVEGETATION IN BUFFERS

**NATURE PARK**  
 RETAINED VEGETATION  
 SHADE TREE PLANTING  
 FOOTPATHS

**LOCAL PARKS**  
 RETAINED VEGETATION  
 REVEGETATION IN BUFFER  
 SHADE TREE PLANTING FOOTPATHS

**CASUARINA CREEK**  
 NATURAL SWALE REVEGETATED  
 AS PER APPROVED PLAN

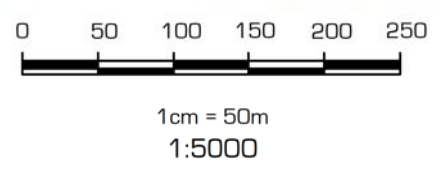
100m WALKABLE CATCHMENT

**LEGEND**

- EXISTING VEGETATION TO BE RETAINED
- NEW NATIVE PLANTINGS
- MAJOR STREET TREE / AVENUE PLANTING
- DRAINAGE PONDS AND CREEKS
- 10m BOUNDARY BUFFER
- PEDESTRIAN / CYCLE PATHS
- SITE BOUNDARY
- POCKET PARK

**SOURCE:**  
 Plans prepared by geolink - Pacific Pines Estate - Lennox Head  
 Illustration C2 - green network plan Date: 17 July 2012

**NOTE:**  
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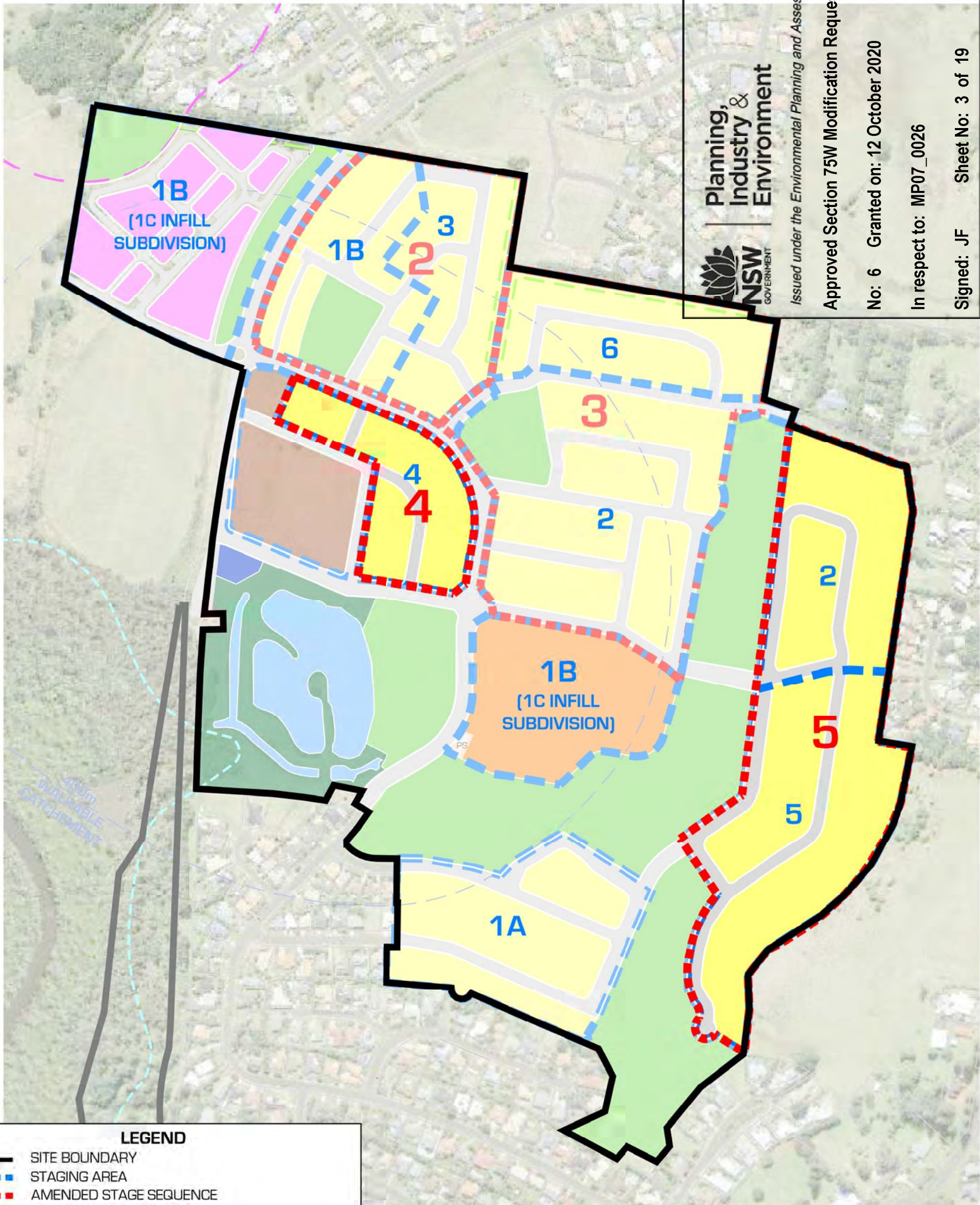
REV	DATE	AMENDMENT
A	16.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD '18

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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 ABN: 86 220 045 469

**EPIQ LENNOX HEAD ILLUSTRATION C2 GREEN NETWORK**  
 CLIENT: CLARENCE PROPERTY CORPORATION  
 LOCATION: LOT 234 DP1104071 LENNOX HEAD NSW  
 REV E  
 DATE: 21.07.20 REF: 11/351  
 SCALE: 1 : 4000 @ A3 DRAWN: bk





LEGEND	
	SITE BOUNDARY
	STAGING AREA
	AMENDED STAGE SEQUENCE
	10m BOUNDARY BUFFER
	COMMUNITY USE
	SEPP 14 WETLAND
	100m SEPP 26 BUFFER
	RETIREMENT COMMUNITY
	FUTURE RESIDENTIAL / LIVE-WORK / COMMERCIAL
	CONSERVATION / PARK / OPEN SPACE
	NEIGHBOURHOOD CENTRE
	RESIDENTIAL
	DRAINAGE RESERVE
PS	PUMP STATION

**SOURCE:**

Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1027  
 Illustration C5 - Development Staging Dated: October 2012.

**NOTE:**

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1cm = 50m  
 1:5000

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A	16.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD 1B
F	28.07.20	LEGEND

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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Planning, Industry & Environment

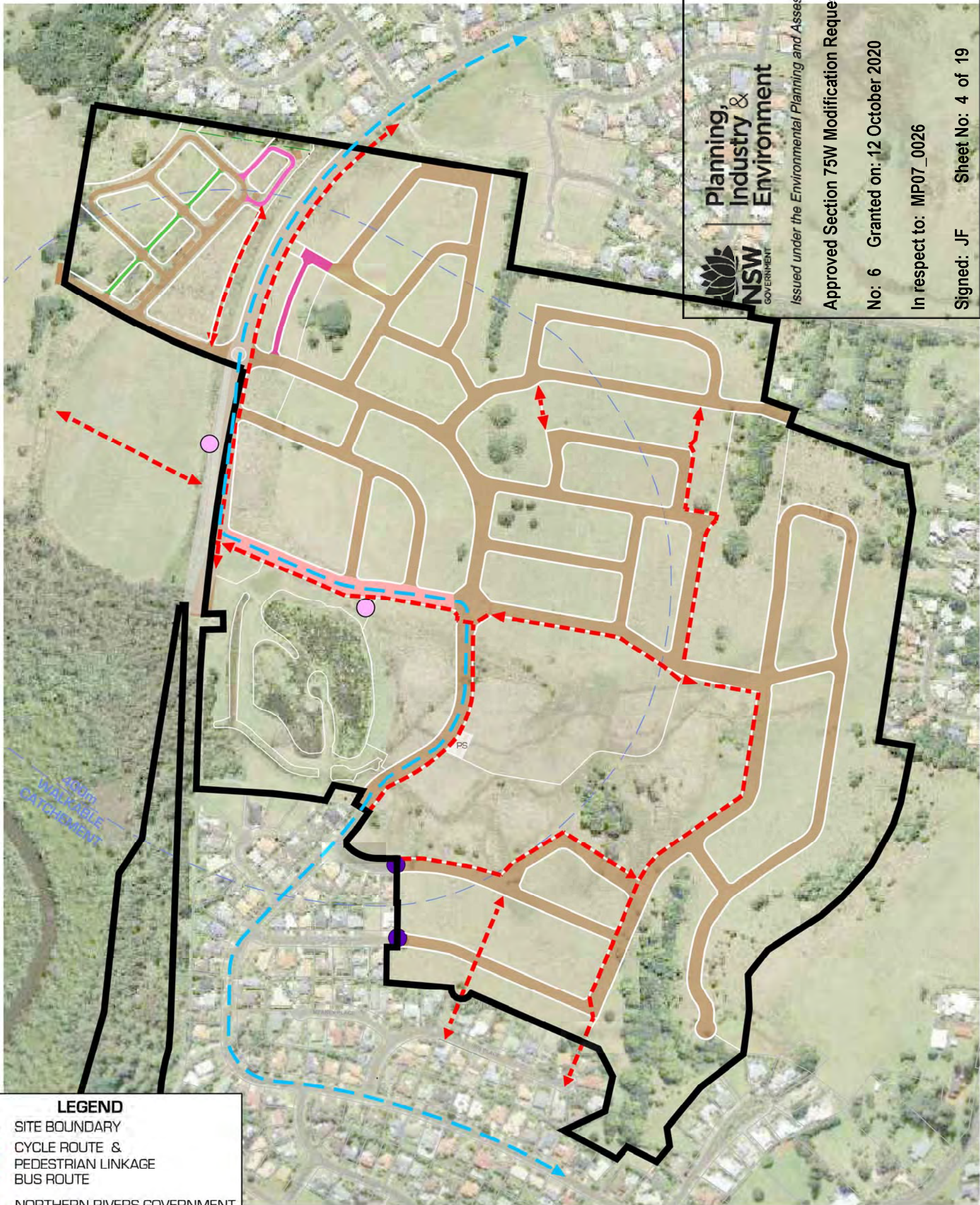
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No: 6 Granted on: 12 October 2020

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Signed: JF Sheet No: 4 of 19

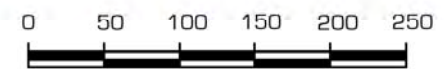


**LEGEND**

- SITE BOUNDARY
- CYCLE ROUTE & PEDESTRIAN LINKAGE
- BUS ROUTE
- NORTHERN RIVERS GOVERNMENT LOCAL STREET
- NORTHERN RIVERS GOVERNMENT COLLECTOR STREET
- 6m WIDE LANE  
min 8m WIDE ROAD RESERVE
- 6m WIDE LANE  
min 7m WIDE ROAD RESERVE
- HUTLEY DRIVE
- THRESHOLD TREATMENT
- INDICATIVE BUS STOP LOCATION
- PUMP STATION

**SOURCE:**

Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1028  
Illustration C6 - Movement Network. Dated: October 2012.



1cm = 50m  
1:5000

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A	16.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD 1B & SL5

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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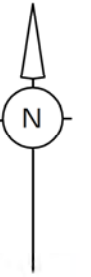
**NBS**  
**Newton Denny Chapelle**  
 Surveyors Planners Engineers  
 Email: [office@newtondennychapelle.com.au](mailto:office@newtondennychapelle.com.au)  
 LISMORE 31 Carrington St. Lismore 2480 PH: 6622 1011  
 CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
 ABN: 86 220 045 469

**EPIQ LENNOX HEAD**  
**ILLUSTRATION**  
**C6 - MOVEMENT NETWORK**  
 CLIENT: CLARENCE PROPERTY CORPORATION  
 LOCATION: LOT 234 DP1104071  
 LENNOX HEAD NSW **REV E**  
 DATE: 21.07.20 REF: 11/351  
 SCALE: 1 : 4000 @ A3 DRAWN: bk



**WATER SENSITIVE URBAN DESIGN (WSUD) SYSTEMS**

- ① = PRIMARY TREATMENT - GROSS POLLUTANT TRAPS SILT SETTLEMENT.
- ② = SECONDARY TREATMENT - INFILTRATION & NUTRIENT STRIPPING VIA SWALES, BROOKS & PERMEABLE PAVEMENTS.
- ③ = TERTIARY TREATMENT - SETTLEMENT & NUTRIENT PATHOGEN REMOVAL
- ④ = ATTENUATION STORAGE

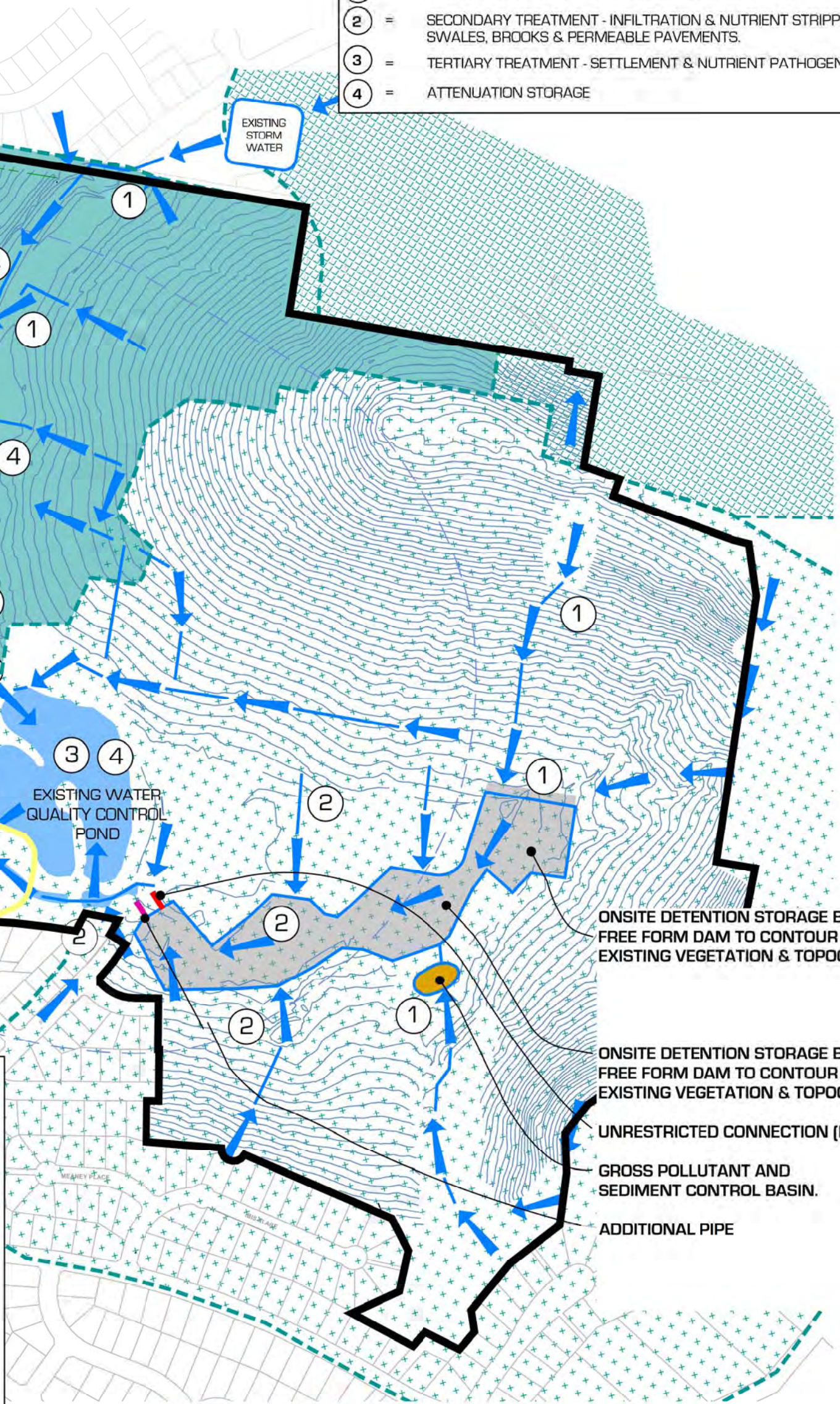


**LEGEND**

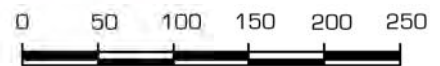
- SITE BOUNDARY
- STORMWATER FLOW DIRECTION FOR MAJOR STORM EVENT
- ONSITE DETENTION AND STORAGE BASIN
- GROSS POLLUTANT AND SEDIMENT CONTROL BASIN
- WATER QUALITY CONTROL POND
- CATCHMENT BOUNDARY
- CATCHMENT '1'
- CATCHMENT '2'
- CATCHMENT '3'
- SEPP 14 BOUNDARY
- SEPP 14 - 50m BUFFER

SITE DISCHARGE POINTS.

400m WALKABLE CATCHMENT



**SUBJECT TO DETAILED DESIGN**



1cm = 50m  
1:5000

**SOURCE:**  
Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1027  
Illustration C7 - Stormwater Concept Plan Dated: 28 June 2010.

**NOTE:**  
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D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD 1B

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

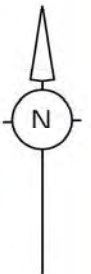
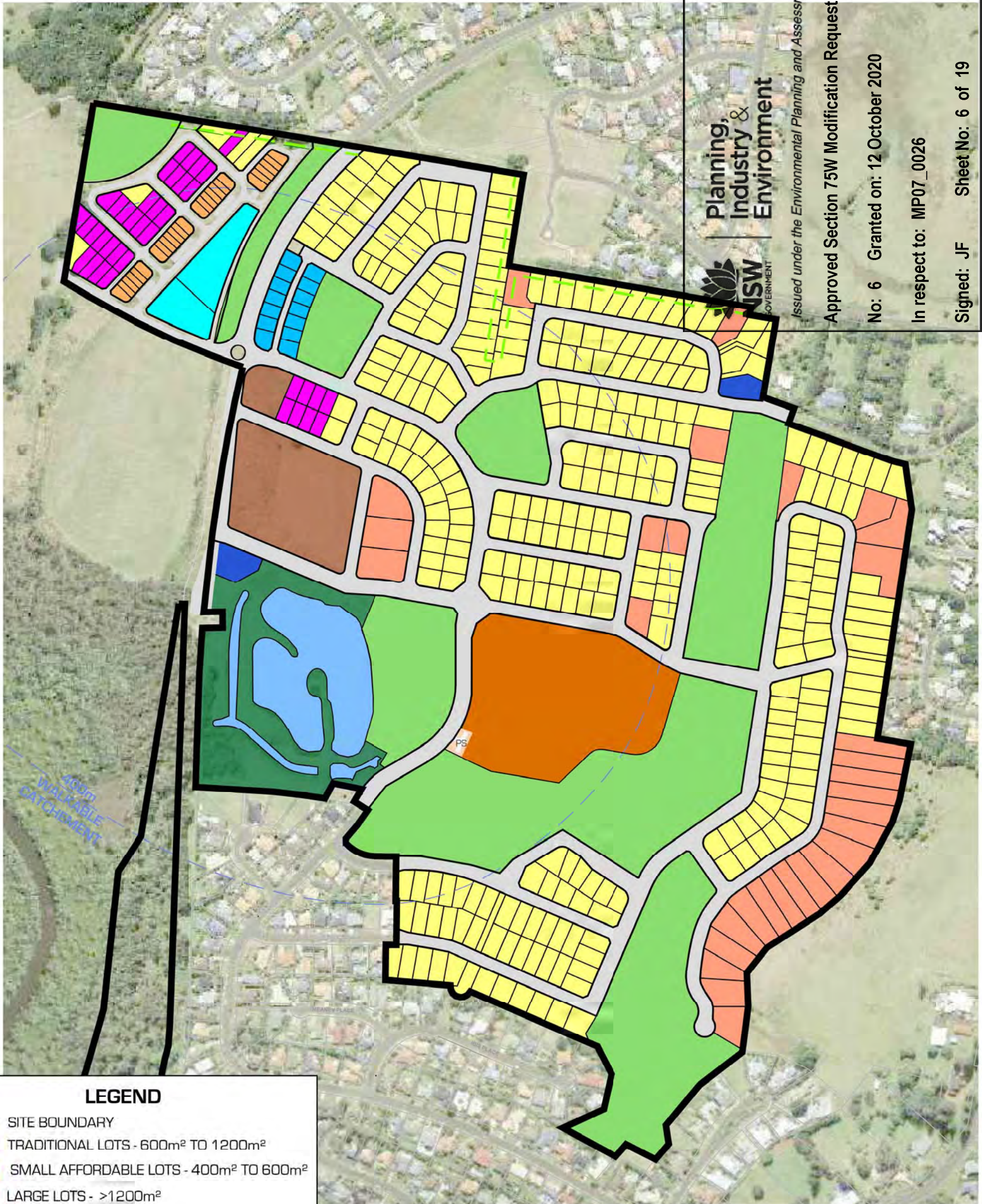
**Newton Denny Chapelle**  
Surveyors Planners Engineers  
Email: [office@newtondennychapelle.com.au](mailto:office@newtondennychapelle.com.au)  
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CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
ABN: 86 220 045 469

**EPIQ LENNOX HEAD ILLUSTRATION C7 - STORMWATER CONCEPT PLAN** Rev A

CLIENT: CLARENCE PROPERTY CORPORATION  
LOCATION: LOT 234 DP1104071 LENNOX HEAD NSW

DATE: 21.07.20 REF: 11/351  
SCALE: 1 : 4000 @ A3 DRAWN: bk





**LEGEND**

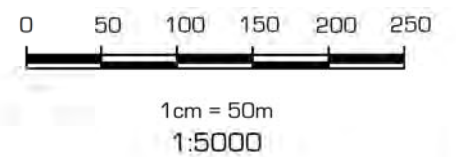
-  SITE BOUNDARY
-  TRADITIONAL LOTS - 600m<sup>2</sup> TO 1200m<sup>2</sup>
-  SMALL AFFORDABLE LOTS - 400m<sup>2</sup> TO 600m<sup>2</sup>
-  LARGE LOTS - >1200m<sup>2</sup>
-  RETIREMENT COMMUNITY
-  PARK COURT LOTS - 400m<sup>2</sup> - 600m<sup>2</sup>
-  CONSERVATION / PARK / OPEN SPACE
-  DRAINAGE RESERVE
-  COMMUNITY USE
-  NEIGHBOURHOOD CENTRE
-  LIVE - WORK
-  COMMERCIAL
-  PS PUMP STATION

**SOURCE:**

Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1028  
 Illustration C6 - Movement Network Dated: August 2012.

**NOTE:**

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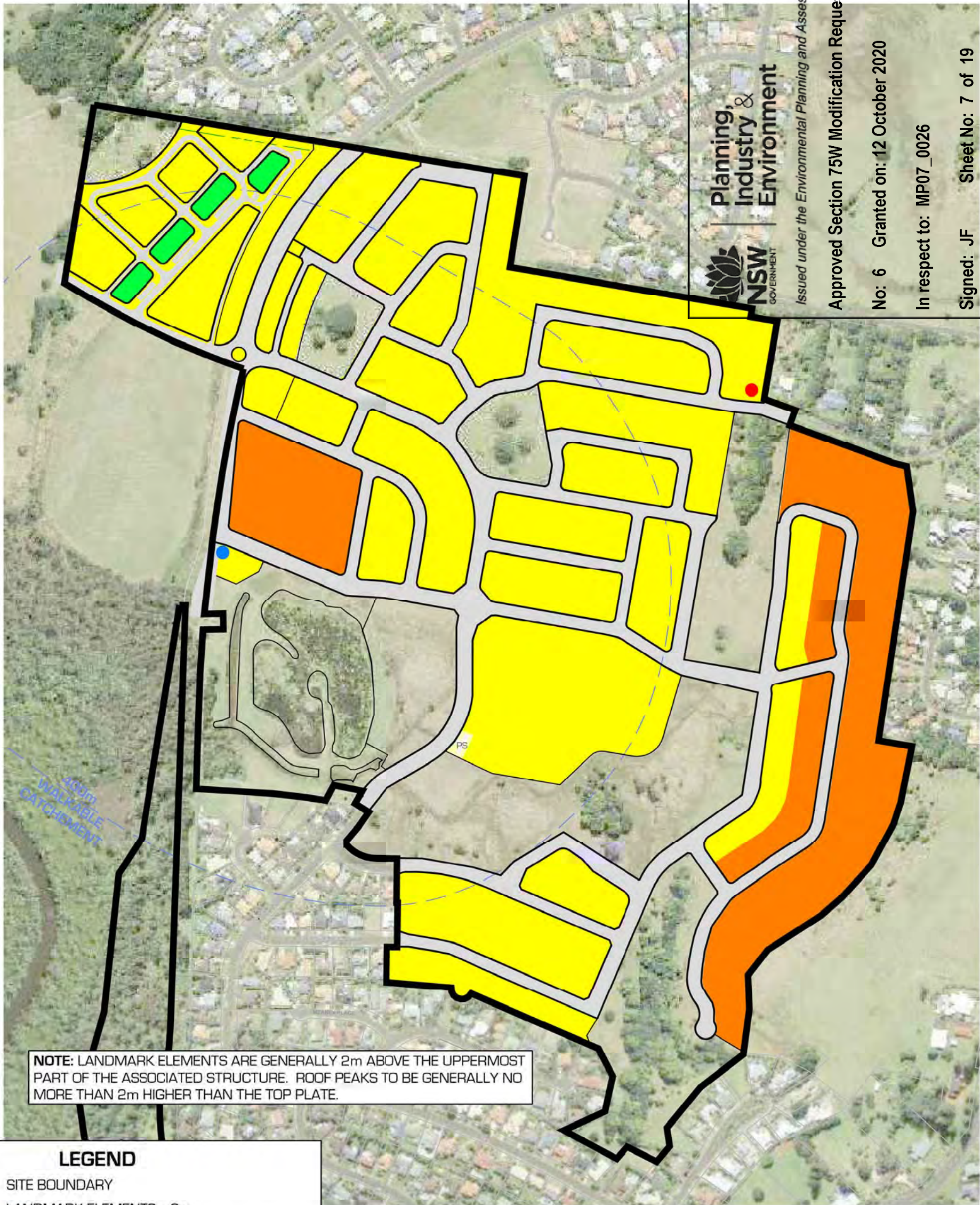
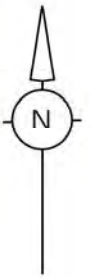


REV	DATE	AMENDMENT
A	16.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD 1B
F	28.07.20	LEGEND NOTES, 2 LOTS NOT 3 (COMMERCIAL)

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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**NOTE:** LANDMARK ELEMENTS ARE GENERALLY 2m ABOVE THE UPPERMOST PART OF THE ASSOCIATED STRUCTURE. ROOF PEAKS TO BE GENERALLY NO MORE THAN 2m HIGHER THAN THE TOP PLATE.

**LEGEND**

- SITE BOUNDARY
- LANDMARK ELEMENTS - 9m
- RESERVOIR EXCLUDED FROM BUILDING HEIGHT
- 2 STOREY WITH 8.5m MAX HEIGHT
- 2 STOREY WITH 8.5m MAX HEIGHT WHERE ENCROACHMENT OVER 8.5m WILL BE CONSIDERED.
- 3 STOREY WITH 8.5m MAX HEIGHT WHERE ENCROACHMENT OVER 8.5m WILL BE CONSIDERED
- PUMP STATION

NOTE - HEIGHT MEASURED FROM NATURAL SURFACE LEVEL TO HIGHEST PART OF THE BUILDING



1cm = 50m  
1:5000

**SOURCE:**

Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1030  
Illustration C9 - Building Height Plan Dated: August 2012.

**NOTE:**

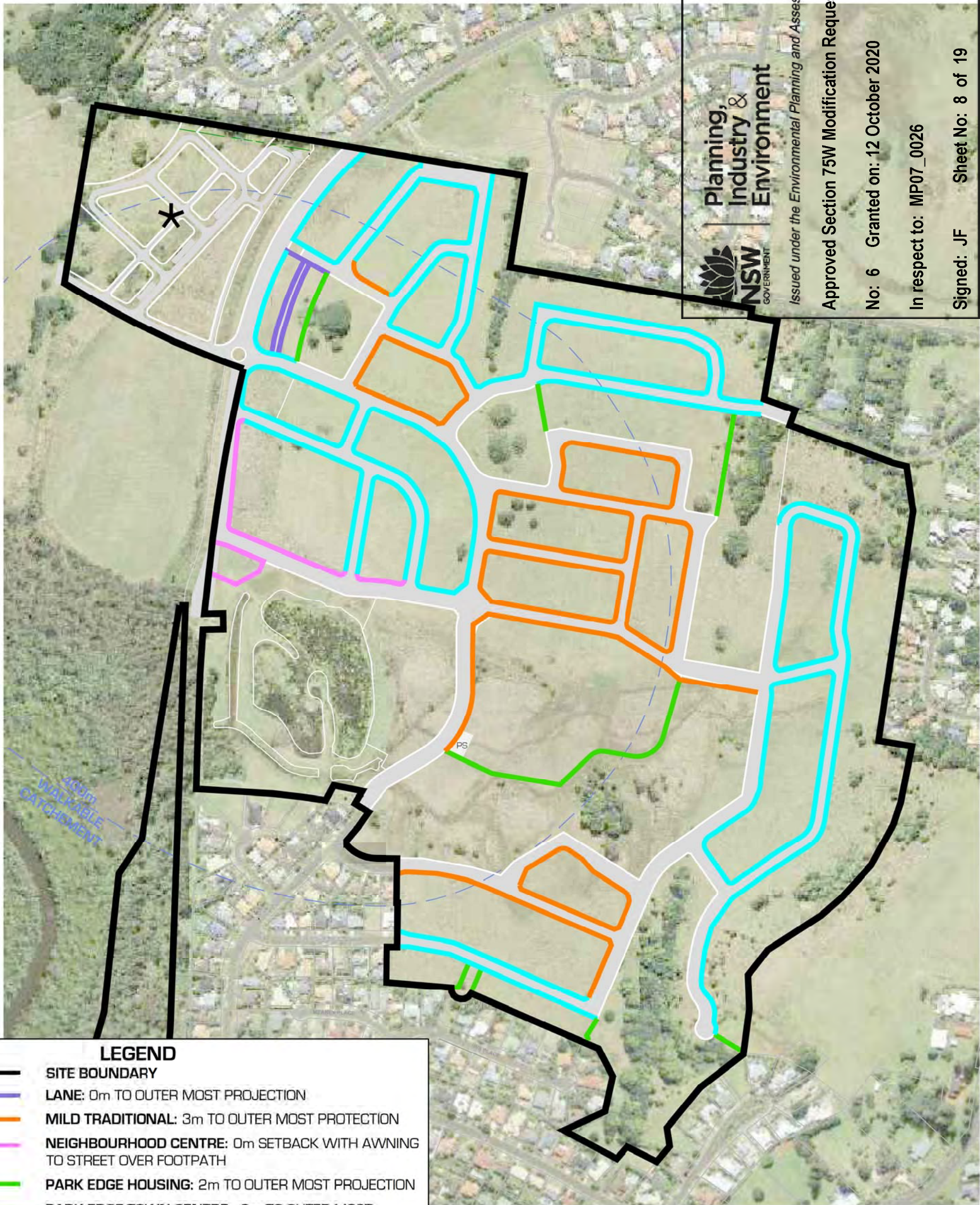
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C	20.08.18	LAYOUT SL5 & SL7, LEGEND
U	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD '18

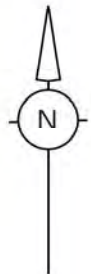
SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16


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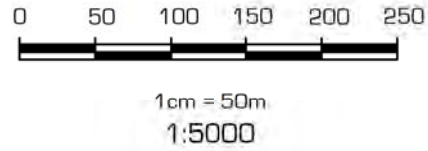





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 No: 6 Granted on: 12 October 2020  
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 Signed: JF Sheet No: 8 of 19



LEGEND	
	<b>SITE BOUNDARY</b>
	<b>LANE: 0m TO OUTER MOST PROJECTION</b>
	<b>MILD TRADITIONAL: 3m TO OUTER MOST PROTECTION</b>
	<b>NEIGHBOURHOOD CENTRE: 0m SETBACK WITH AWNING TO STREET OVER FOOTPATH</b>
	<b>PARK EDGE HOUSING: 2m TO OUTER MOST PROJECTION</b>
	<b>PARK EDGE TOWN CENTRE: 0m TO OUTER MOST PROJECTION</b>
	<b>TRADITIONAL: 6m TO OUTER MOST PROJECTION</b>
<b>PS</b>	<b>PUMP STATION</b>
<b>*</b>	<b>SETBACK PURSUANT TO DESIGN GUIDELINES</b>



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**SOURCE:**  
 Plans prepared by geolink - Pacific Pines Estate - Lennox Head  
 1675 - 1031 Illustration C10 - Setback Plan Dated: August 2012.

REV	DATE	AMENDMENT
A	16.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
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 CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
 ABN: 86 220 045 469

**EPIQ LENNOX HEAD ILLUSTRATION C10 - SETBACK**  
 CLIENT: CLARENCE PROPERTY CORPORATION  
 LOCATION: LOT 234 DP1104071 LENNOX HEAD NSW **REV E**  
 DATE: 21.07.20 REF: 11/351  
 SCALE: 1 : 4000 @ A3 DRAWN: bk



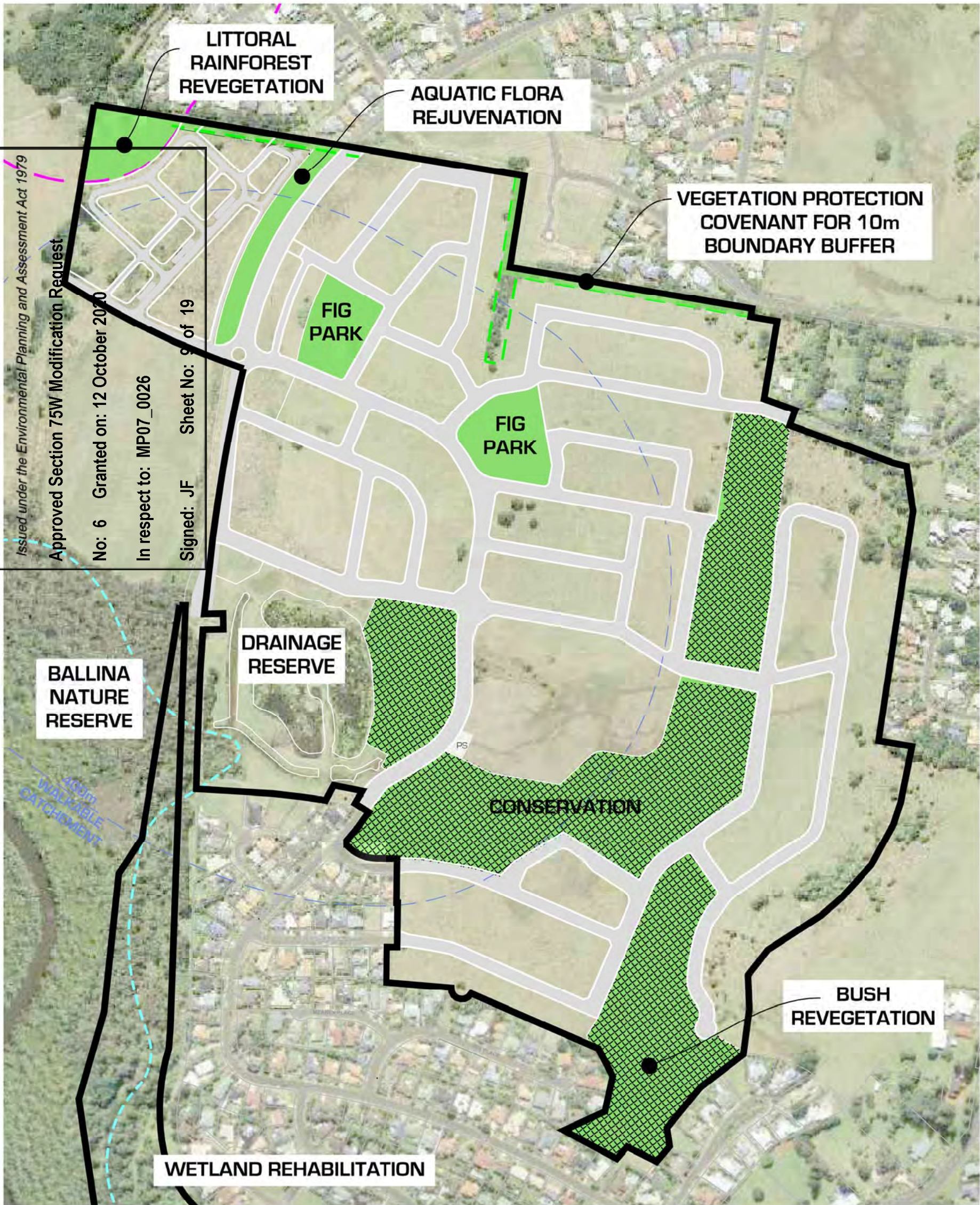
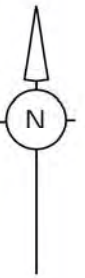
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No: 6 Granted on: 12 October 2020

In respect to: MP07\_0026

Signed: JF Sheet No: 9 of 19



**LEGEND**

- SITE BOUNDARY
- 10m BOUNDARY BUFFER
- SEPP 14 WETLAND
- 100m SEPP 26 BUFFER
- GREEN SPACE
- CONSERVATION ZONE
- PS PUMP STATION

**SOURCE:**

Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1032  
Illustration C11 - Conservation Zone Plan Dated: August, 2012.

**NOTE:**

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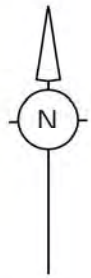
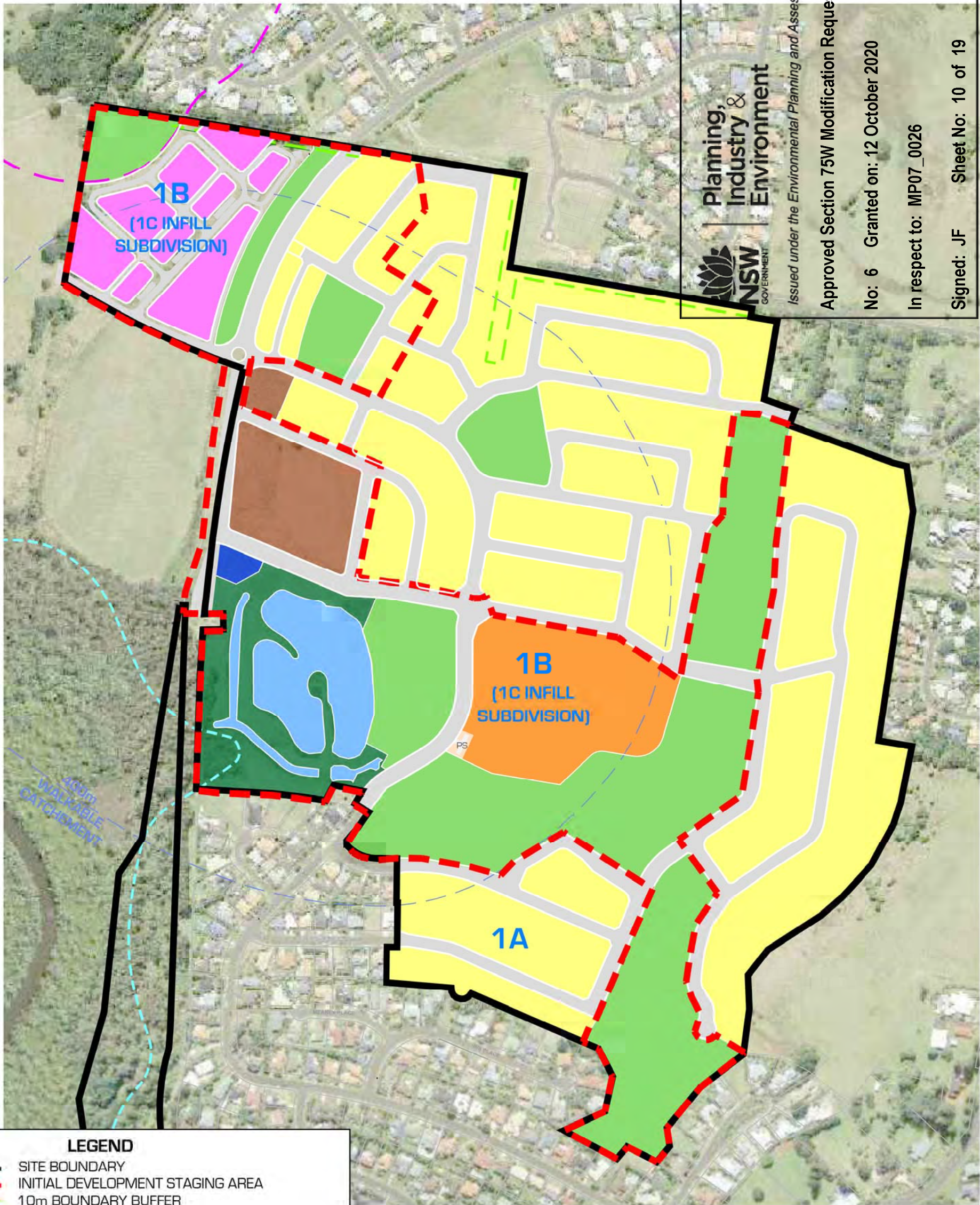
1cm = 50m  
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**LEGEND**

- SITE BOUNDARY
- INITIAL DEVELOPMENT STAGING AREA
- 10m BOUNDARY BUFFER
- SEPP 14 WETLAND
- 100m SEPP 26 BUFFER
- RETIREMENT COMMUNITY
- FUTURE RESIDENTIAL / LIVE WORK / COMMERCIAL
- CONSERVATION / PARK / OPEN SPACE
- NEIGHBOURHOOD CENTRE
- RESIDENTIAL
- DRAINAGE RESERVE
- COMMUNITY USE
- PS PUMP STATION

**SOURCE:**

Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1025 Illustration P1 Stage 1 project Application Plan Date October 2012.

**NOTE:**

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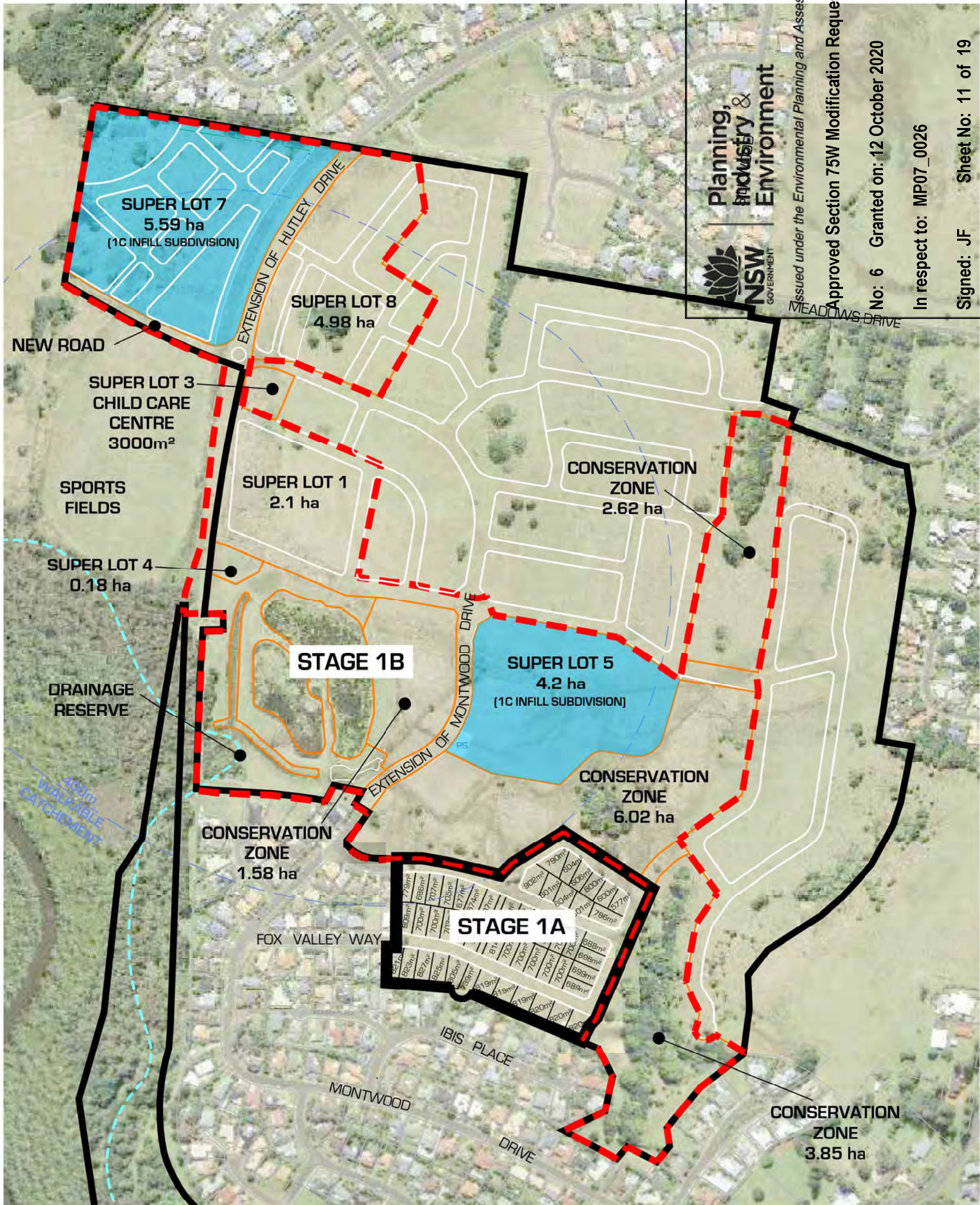


REV	DATE	AMENDMENT
A	16.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD 1B
F	28.07.20	LEGEND

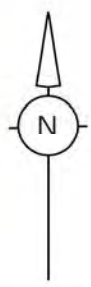
SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

k:\jobs\2014\14351 - clarence property\stage 2 & 6 - release 3\planning\planning plans\ndc plans\geo link update\cad files\geo link plan set rev f.dwg - p1

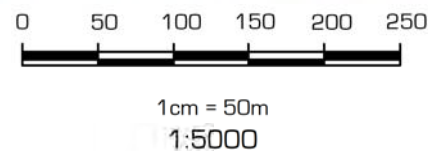




**Planning, Industry & Environment**  
 NSW GOVERNMENT  
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**Approved Section 75W Modification Request**  
 No: 6 Granted on: 12 October 2020  
 In respect to: MP07\_0026  
 Signed: JF Sheet No: 11 of 19



LEGEND	
	SITE BOUNDARY
	SUPERLOT BOUNDARY
	STAGE 1A
	STAGE 1B
	STAGE 1C



**SOURCE:**  
 Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1034  
 Illustration P2 - Illustration p2 - stage 1 subdivision plan Date: September 2012

**NOTE:**  
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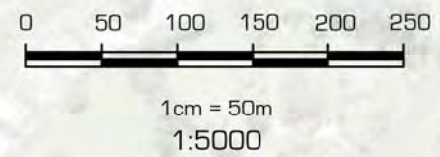
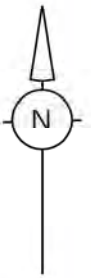
REV	DATE	AMENDMENT
A	16.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
U	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD '1B'

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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 ABN: 86 220 045 469

**EPIQ LENNOX HEAD**  
**ILLUSTRATION P2 - STAGE 1**  
**SUBDIVISION PLAN**  
 CLIENT: CLARENCE PROPERTY CORPORATION  
 LOCATION: LOT 234 DP1104071  
 LENNOX HEAD NSW **REV E**  
 DATE: 21.07.20 REF: 11/351  
 SCALE: 1 : 4000 @ A3 DRAWN: bk





LEGEND	
	EXISTING VEGETATION TO BE RETAINED
	NEW NATIVE PLANTINGS
	MAJOR STREET TREE / AVENUE PLANTING
	DRAINAGE PONDS AND CREEKS
	PEDESTRIAN / CYCLE PATHS
	SITE BOUNDARY
	BOUNDARY
	BOUNDARY STAGE 1A
	BOUNDARY STAGE 1B
	BINS
	FOUNTAINS
	BENCHES
	BIKE RACKS
	POCKET PARK

NOTE:  
 This preliminary layout has been completed in accordance with the instructions provided by Epiq Lennox Head. In this respect preliminary desktop data has been used to form this layout. The final layout is subject to the completion of a detailed survey & engineering plans. Accordingly, the conclusions reached within this report may be modified by the author upon the completion of the final design plans & site inspection. Newton Denny Chapelle accepts no responsibility for any loss or damage suffered, however so arising, to any person or corporation who may use or rely on this report.

REV	DATE	AMENDMENT	SOURCE:
A	16.11.16		Plans prepared by geolink - Pacific Pines Estate - Lennox Head
B	17.01.17	10m BUFFER	
C	20.08.18	LAYOUT SL5 & SL7, LEGEND	Illustration C2 - green network plan. Date: 17 July 2012
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS	
E	21.07.20	LEGEND & ROAD 1B	

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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 ABN: 86 220 045 469

**EPIQ LENNOX HEAD**  
**ILLUSTRATION P3**  
**STAGE 1 LANDSCAPE PLAN**

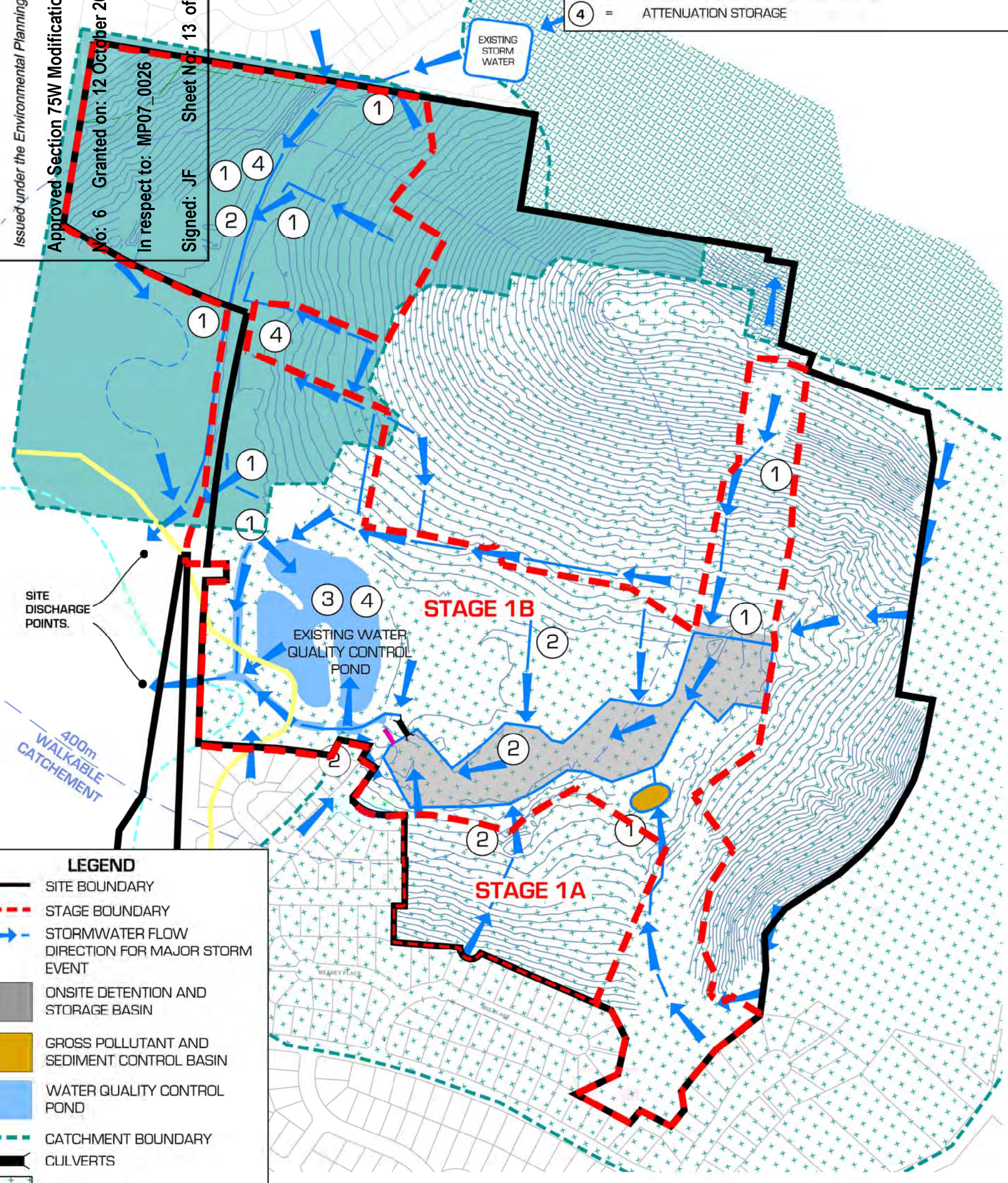
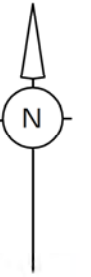
CLIENT: CLARENCE PROPERTY CORPORATION  
 LOCATION: LOT 234 DP1104071  
 LENNOX HEAD NSW

DATE: 21.07.20 REF: 11/351  
 SCALE: 1 : 4000 @ A3 DRAWN: bk



**WATER SENSITIVE URBAN DESIGN (WSUD) SYSTEMS**

- ① = PRIMARY TREATMENT - GROSS POLLUTANT TRAPS SILT SETTLEMENT.
- ② = SECONDARY TREATMENT - INFILTRATION & NUTRIENT STRIPPING VIA SWALES, BROOKS & PERMEABLE PAVEMENTS.
- ③ = TERTIARY TREATMENT - SETTLEMENT & NUTRIENT PATHOGEN REMOVAL
- ④ = ATTENUATION STORAGE



SITE DISCHARGE POINTS.

400m WALKABLE CATCHMENT

STAGE 1B

EXISTING WATER QUALITY CONTROL POND

STAGE 1A

**LEGEND**

- SITE BOUNDARY
- STAGE BOUNDARY
- STORMWATER FLOW DIRECTION FOR MAJOR STORM EVENT
- ONSITE DETENTION AND STORAGE BASIN
- GROSS POLLUTANT AND SEDIMENT CONTROL BASIN
- WATER QUALITY CONTROL POND
- CATCHMENT BOUNDARY
- CULVERTS
- CATCHMENT '1'
- CATCHMENT '2'
- CATCHMENT '3'
- SEPP 14 BOUNDARY
- SEPP 14 - 50m BUFFER



1cm = 50m  
1:5000

**SOURCE:**  
Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1027  
Illustration C7 - Stormwater Concept Plan Dated: 28 June 2010.

**NOTE:**  
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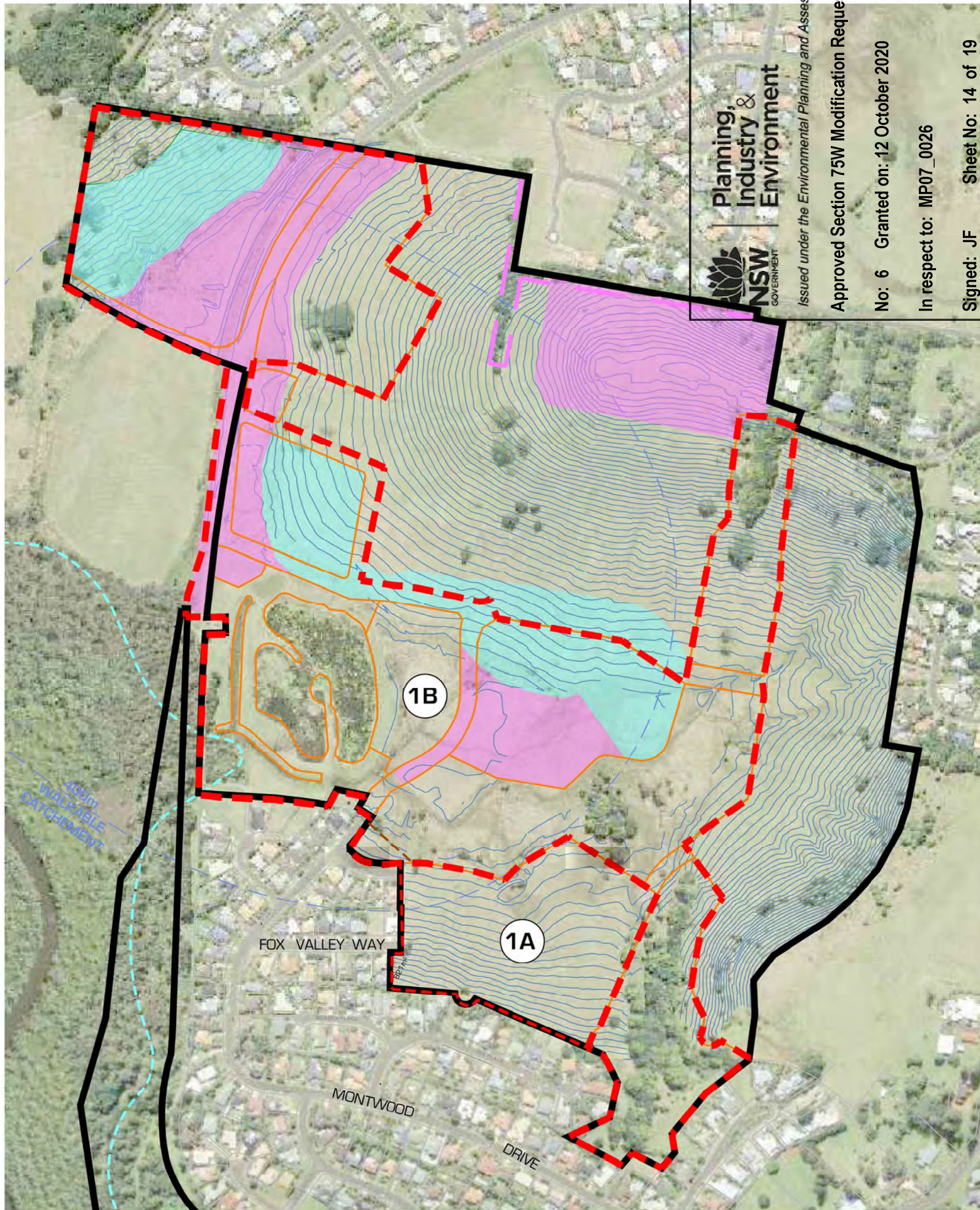
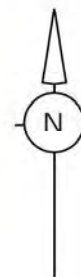
REV	DATE	AMENDMENT
A	15.11.16	
B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
D	27.09.18	LEGEND & FUTURE RESIDENTIAL MIXED USE & LIVE WORK COLOURS
E	21.07.20	LEGEND & ROAD 1B

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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ABN: 86 220 045 469

**EPIQ LENNOX HEAD ILLUSTRATION P4 - STAGE 1 STORMWATER CONCEPT PLAN**  
CLIENT: CLARENCE PROPERTY CORPORATION  
LOCATION: LOT 234 DP1104071 LENNOX HEAD NSW  
**REV E**  
DATE: 21.07.20 REF: 11/351  
SCALE: 1:4000 @ A3 DRAWN: bk





1cm = 50m  
1:5000

LEGEND	
	SITE BOUNDARY
	STAGE BOUNDARY
	SUPERLOT BOUNDARY
	PROPOSED SEWER
	PREVIOUSLY APPROVED
	ADDITIONAL REQUIRED

**SOURCE:**  
Plans prepared by geolink - Pacific Pines Estate - Lennox Head 1675 - 1034  
Illustration P5 - Illustration P5 Stage 1 Proposed Bulk Earthworks Date: August 2012

**NOTE:**  
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B	17.01.17	10m BUFFER
C	20.08.18	LAYOUT SL5 & SL7, LEGEND
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E	21.07.20	LEGEND & ROAD 1B

SOURCE PLAN: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) - accessed 14.11.16

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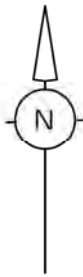
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ABN: 86 220 045 469

**EPIQ LENNOX HEAD  
ILLUSTRATION P5 - STAGE 1  
PROPOSED BULK EARTHWORKS**

CLIENT: CLARENCE PROPERTY CORPORATION  
LOCATION: LOT 234 DP1104071  
LENNOX HEAD NSW **REV E**

DATE: 21.07.20 REF: 11/351  
SCALE: 1 : 4000 @ A3 DRAWN: bk





RESERVE

ROAD

HENDERSON LANE

REGENERATION AREA  
7795m<sup>2</sup>

DRIVE

HUTLEY

CALoola ROAD

SPORTSFIELD

**YIELD BREAKDOWN**

- RESIDENTIAL A.....33 LOTS
- RESIDENTIAL B .....26 LOTS
- COMMERCIAL .....2 LOTS
- TOTAL LOTS.....61 LOTS**
- 10m BUFFER ZONE

**NOTE:**

1. Minimum building setback for residential A lots to be 4.5m to dwelling wall & 5.5m to garage
2. Minimum building setback for residential A lots for secondary street frontage to be 1m to dwelling wall



**Planning,  
Industry &  
Environment**

Issued under the *Environmental Planning and Assessment Act 1979*

**Approved Section 75W Modification Request**

**No: 6 Granted on: 12 October 2020**

**In respect to: MP07\_0026**

**Signed: JF Sheet No: 15 of 19**

REV	DATE	AMENDMENT
A	17.04.18	
B	03.05.18	LOTS 51, 52, 53 & 54
C	20.08.18	LOTS 61 - 63
D	01.05.19	LOTS 61 - 63, LOTS 17 - 18
E	11.06.20	WORK LIVE TO RESIDENTIAL C
F	02.07.20	WORK LIVE TO RESIDENTIAL B
G	02.07.20	2 LOTS NOT 3 (COMMERCIAL)

SOURCE PLAN: N/A

k:\jobs\2014\14351 - clarence property\super lot 7\engineering\drawings-preliminary\aa temp working\rev\dwg - sk004



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ABN: 86 220 045 469

**SK004 LOT LAYOUT**

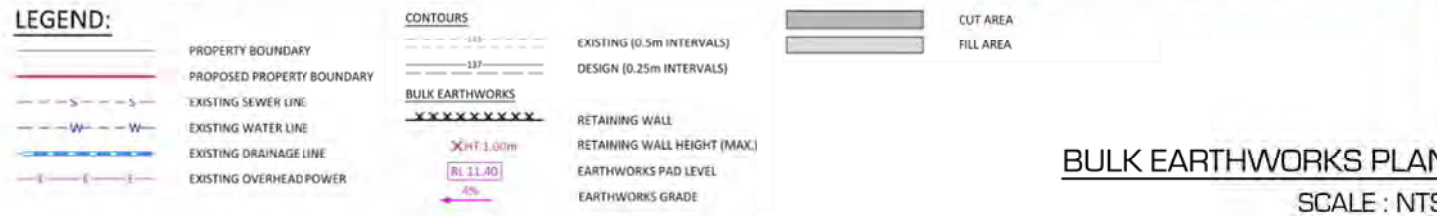
CLIENT: CLARENCE PROPERTY CORPORATION  
LOCATION: LOT 7 EPIQ  
HUTLEY DRIVE  
LENNOX HEAD

**REV G**

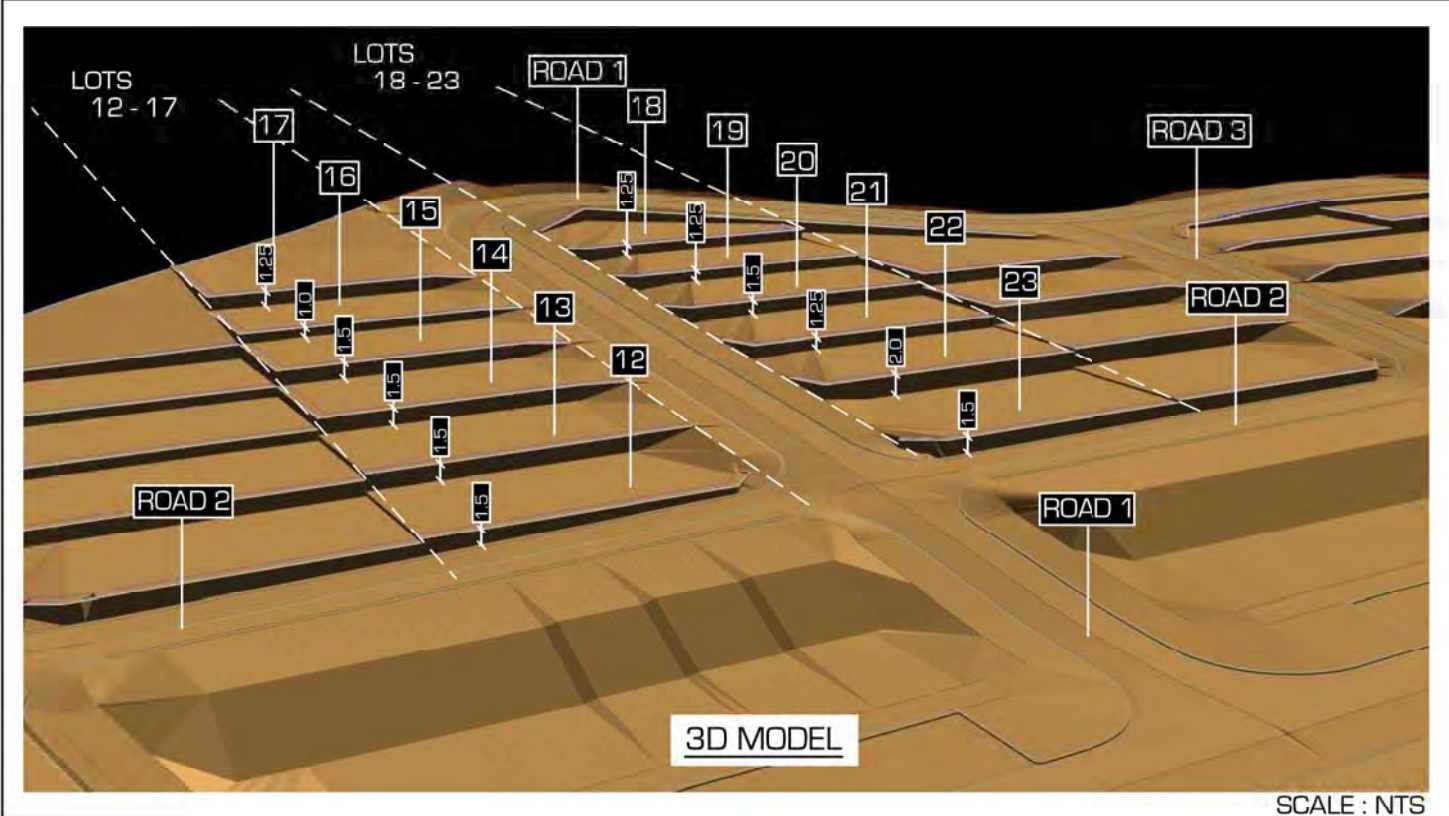
DATE: 02.07.20  
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REF: 14-351 SL7  
DRAWN: PS & BK



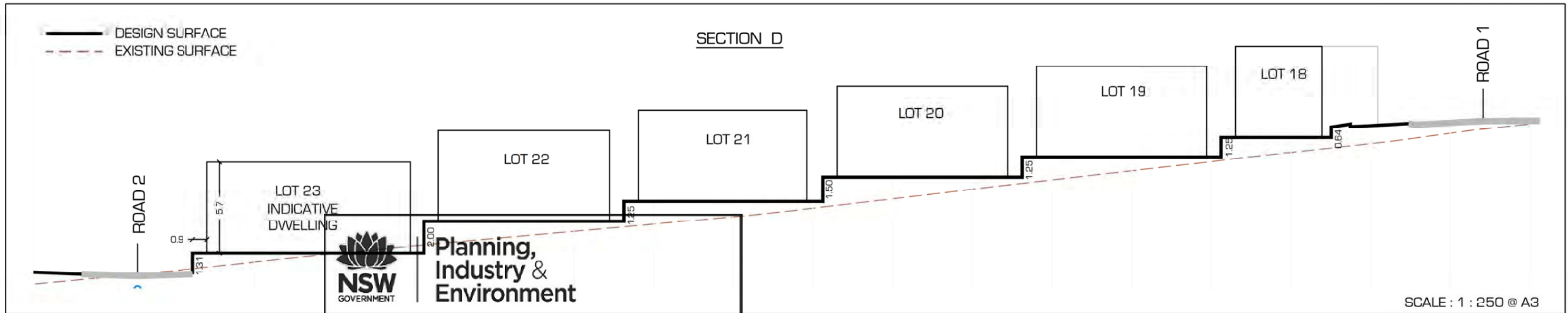
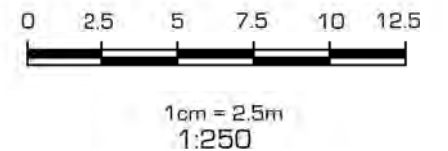


**BULK EARTHWORKS PLAN**  
SCALE : NTS



SCALE : NTS

**NOTE:**  
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In this respect preliminary desktop data has been used to form this layout.  
The final layout is subject to the completion of a Detailed survey Subdivision Survey Plans and /or Engineering plans. Accordingly, this plan may be modified by the author upon the completion of the final Survey & Site Inspection. Newton Denny Chapelle accepts no responsibility for any loss or damage suffered, however so arising, to any person or corporation who may use or rely on this Plan. As this Plan is a non Survey plan it should not be used as part of any financial transactions or land dealings.



SCALE : 1 : 250 @ A3

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Approved Section 75W Modification Request

No: 6 Granted on: 12 October 2020

In respect to: MP07\_0026

Signed: JF Sheet No: 16 of 19

REV DATE AMENDMENT

A  
B  
C  
D  
E  
F

SOURCE PLAN: n/a  
g:\wall presentation\plan-wall presentation.dwg - plan 2



**NDC**  
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Surveyors Planners Engineers  
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LISMORE 31 Carrington St.  
Lismore 2480 PH: 6622 1011  
ABN: 86 220 045 469

PLAN - BULK EARTHWORKS  
RETAINING WALL PRESENTATION  
CLIENT: CLARENCE PROPERTY  
LOCATION: EPIC ESTATE SUPER LOT 7

DATE: 08.07.20 REF: 140351  
SCALE: AS ABOVE DRAWN: BK

CLARENCE PROPERTY





**LEGEND:**

- PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING DRAINAGE LINE
- EXISTING OVERHEAD POWER

**CONTOURS**

- EXISTING (0.5m INTERVALS)
- DESIGN (0.25m INTERVALS)

**BULK EARTHWORKS**

- RETAINING WALL
- RETAINING WALL HEIGHT (MAX.)
- EARTHWORKS PAD LEVEL
- EARTHWORKS GRADE
- CUT AREA
- FILL AREA

**NSW GOVERNMENT**

**Planning, Industry & Environment**

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**Approved Section 75W Modification Request**

**No: 6 Granted on: 12 October 2020**

**In respect to: MP07\_0026**

**Signed: JF Sheet No: 17 of 19**

**PLAN**  
SCALE 1:500

**FOR APPROVAL**

REV	DESCRIPTION	BY	APP.	DATE
C	FOR APPROVAL	DY	CP	03.07.20
B	FOR APPROVAL	DY	CP	17.04.19
A	FOR APPROVAL	DY	CP	24.08.18

SCALES SHOWN ARE FOR AN A1 SIZE ORIGINAL DRAWING

SCALES
Full Size 1:500 ; Half Reduction 1:1000 SCALE (m)

HORIZ. DATUM	MGA
VERT. DATUM	AHD
SURVEY	NDC
DRAWN	D. YOUNG
DESIGN	D. YOUNG
APPROVED DATE	C. PICKFORD 24.08.2018

**NDC**  
**Newton Denny Chapelle**  
Surveyors Planners Engineers  
Email: office@newtondennychapelle.com.au

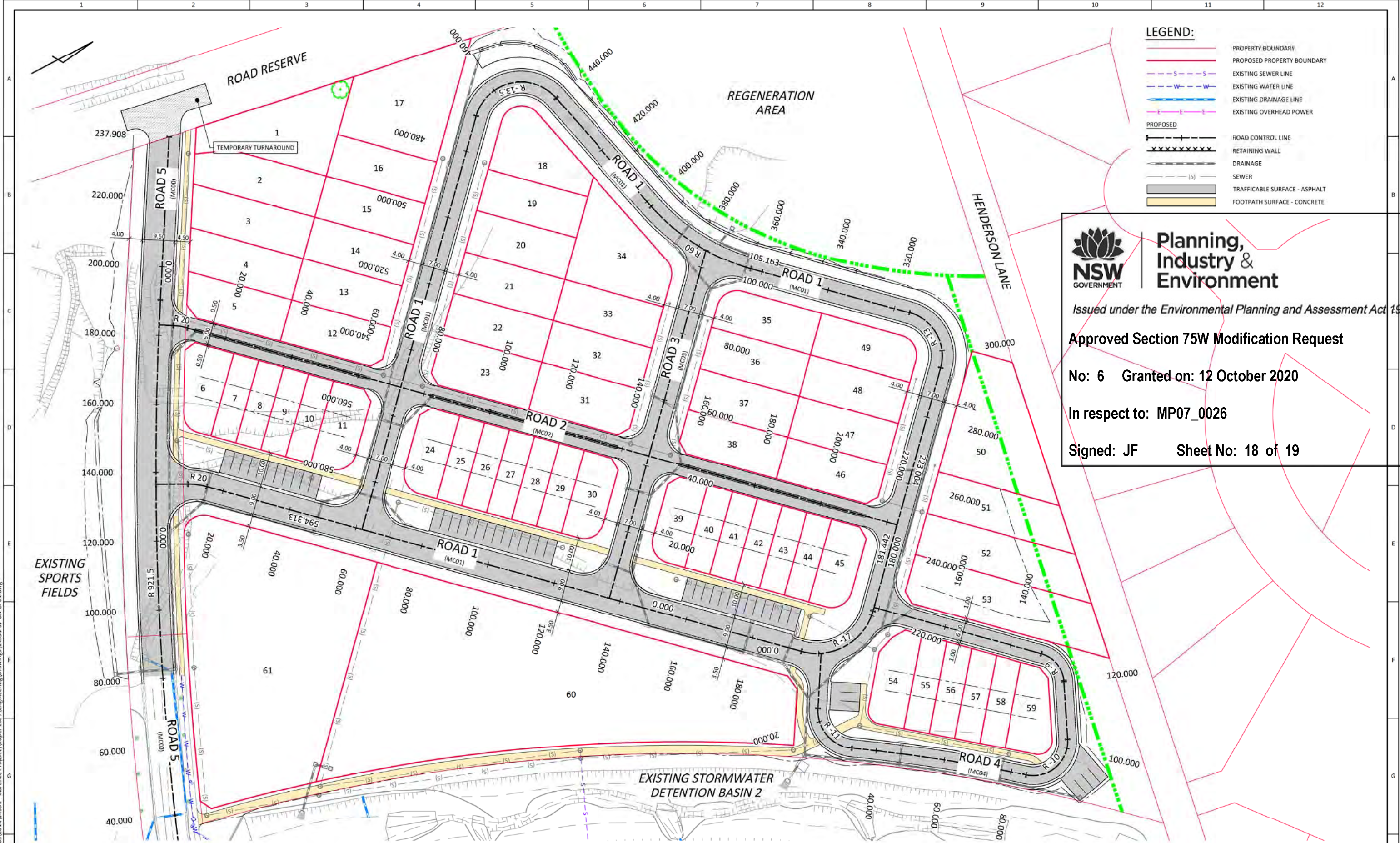
Lismore  
Suite 1  
31 Carrington St. Lismore 2480  
T: 66 221011 F: 66 224088  
Casino  
100 Barker St. Casino 2470  
T & F: 66 625000

**CLARENCE PROPERTY**

<b>EPIQ ESTATE - LENNOX HEAD, NSW, 2478</b>		REVISION <b>C</b>
<b>SUPER LOT 7 BULK EARTHWORKS PLAN</b>		
Reference No. <b>2014/351</b>	DRAWING No. <b>14351-57-DA-BE-01</b>	

Plot Date: 03 Jul 2020 CAD File Name: K:\Jobs\2014\14351 - Clarence Property\Super Lot 7\Engineering\Drawings\14351-57-DA-BE-01.dwg





- LEGEND:**
- (Red) — PROPERTY BOUNDARY
  - (Red Dashed) — PROPOSED PROPERTY BOUNDARY
  - (Blue Dashed) — EXISTING SEWER LINE
  - (Blue Dashed) — EXISTING WATER LINE
  - (Blue Dashed) — EXISTING DRAINAGE LINE
  - (Green Dashed) — EXISTING OVERHEAD POWER
  - (Black Dashed) — PROPOSED ROAD CONTROL LINE
  - (Black Dashed) — RETAINING WALL
  - (Black Dashed) — DRAINAGE
  - (Grey) — SEWER
  - (Grey) — TRAFFICABLE SURFACE - ASPHALT
  - (Yellow) — FOOTPATH SURFACE - CONCRETE

**NSW GOVERNMENT** | **Planning, Industry & Environment**

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**Approved Section 75W Modification Request**

No: 6 Granted on: 12 October 2020

In respect to: MP07\_0026

Signed: JF Sheet No: 18 of 19

**PLAN**  
SCALE 1:500

**FOR APPROVAL**

REV	DESCRIPTION	BY	APP.	DATE
D	FOR APPROVAL	DY	CP	03.07.20
C	FOR APPROVAL	DY	CP	06.05.19
B	FOR APPROVAL	DY	CP	17.04.19
A	FOR APPROVAL	DY	CP	24.08.18

SCALES SHOWN ARE FOR AN A1 SIZE ORIGINAL DRAWING

SCALES
0 5 10 20 30
Full Size 1:500 ; Half Reduction 1:1000
SCALE (m)

HORIZ. DATUM	MGA
VERT. DATUM	AHD
SURVEY	NDC
DRAWN	D. YOUNG
DESIGN	D. YOUNG
APPROVED DATE	C. PICKFORD 24.08.2018

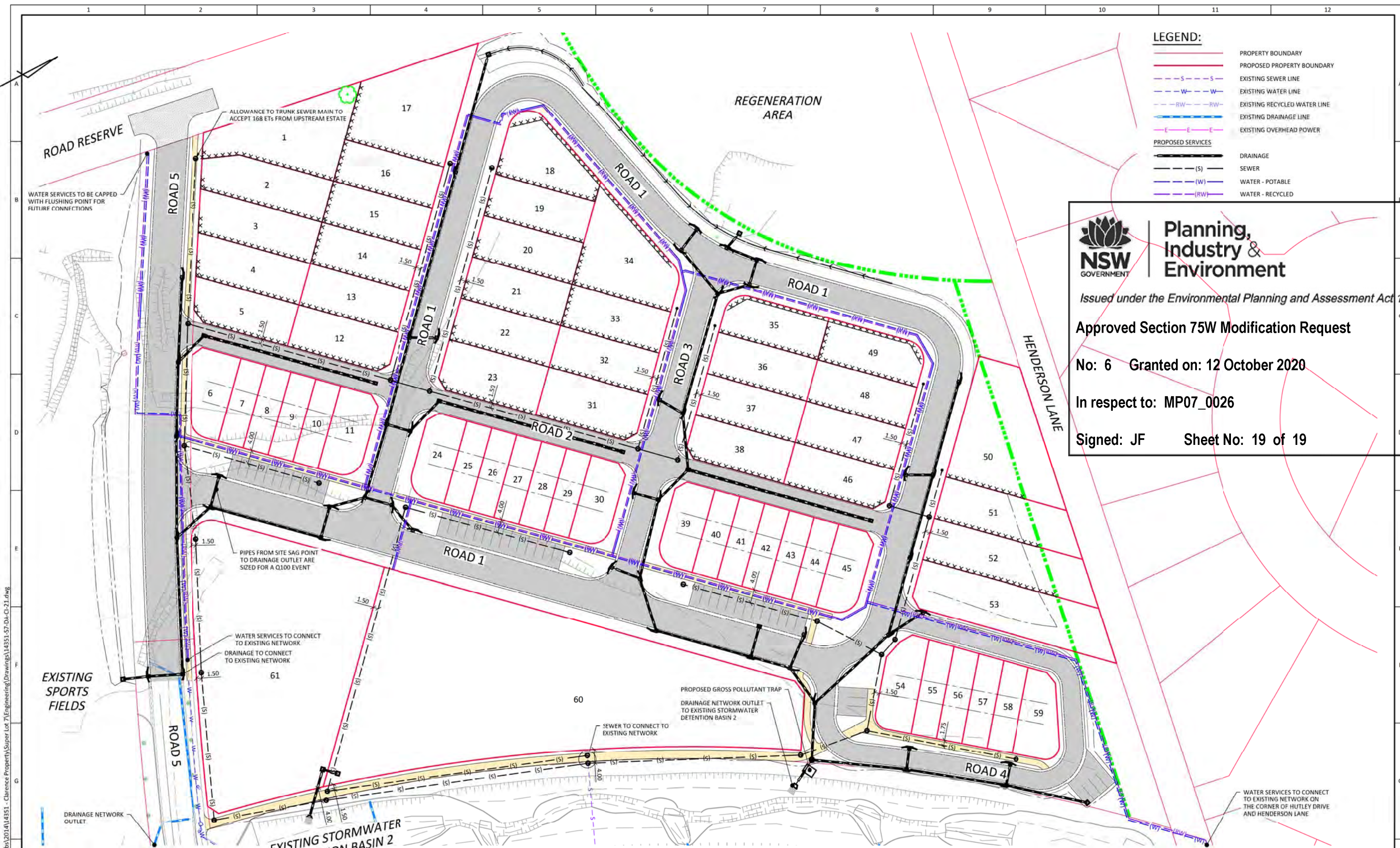
**NDC**  
**Newton Denny Chapelle**  
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T: 66 221011 F: 66 224088  
Casino  
100 Barker St. Casino 2470  
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**CLARENCE PROPERTY**

<b>EPIQ ESTATE - LENNOX HEAD, NSW, 2478</b>		REVISION <b>D</b>
<b>SUPER LOT 7 CIVIL WORKS PLAN</b>		
Reference No. <b>2014/351</b>	DRAWING No. <b>14351-S7-DA-CI-01</b>	





- LEGEND:**
- (Red) — PROPERTY BOUNDARY
  - (Red Dashed) — PROPOSED PROPERTY BOUNDARY
  - - - (Black) - - - EXISTING SEWER LINE
  - - - (Blue) - - - EXISTING WATER LINE
  - - - (Green) - - - EXISTING RECYCLED WATER LINE
  - - - (Yellow) - - - EXISTING DRAINAGE LINE
  - - - (Pink) - - - EXISTING OVERHEAD POWER
- PROPOSED SERVICES**
- (Black) — DRAINAGE
  - (S) — SEWER
  - (W) — WATER - POTABLE
  - (RW) — WATER - RECYCLED

**NSW GOVERNMENT** | **Planning, Industry & Environment**

*Issued under the Environmental Planning and Assessment Act 1979*

**Approved Section 75W Modification Request**

**No: 6** Granted on: 12 October 2020

In respect to: MP07\_0026

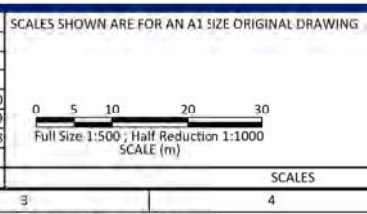
Signed: JF Sheet No: 19 of 19

Plot Date: 03 Jul, 2020 CAD File Name: K:\Jobs\2014\14351 - Clarence Property\Super Lot 7\Engineering\Drawings\14351-57-DA-CI-21.dwg

**PLAN**  
SCALE 1:500

FOR APPROVAL

REV	DESCRIPTION	BY	APP.	DATE
C	FOR APPROVAL	DY	CP	03.07.20
B	FOR APPROVAL	DY	CP	17.04.19
A	FOR APPROVAL	DY	CP	24.08.18



APPROVALS	
HORIZ. DATUM	MGA
VERT. DATUM	AHD
SURVEY	NDC
DRAWN	D. YOUNG
DESIGN	D. YOUNG
APPROVED	C. PICKFORD
DATE	24.08.2018

**NDC**  
**Newton Denny Chapelle**  
Surveyors Planners Engineers  
Email: office@newtondennychapelle.com.au

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Casino  
100 Barker St. Casino 2470  
T & F: 66 625000

**CLARENCE PROPERTY**

**EPIQ ESTATE - LENNOX HEAD, NSW, 2478**  
**SUPER LOT 7**  
**CIVIL SERVICES PLAN**

Reference No: 2014/351 DRAWING No: 14351-57-DA-CI-21 REVISION: C