

ARCHITECTURAL DRAWINGS SECTION 75W APPLICATION – CONCEPT PLAN (PART 3A)

PROJECT:
ROYAL FAR WEST, MANLY

CLIENT:
ROYAL FAR WEST

PROJECT No:
5899

ARCHITECT:
**MURCUTT
CANDALEPAS**
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NSW ARCHITECTS REG No. – 2448
NSW ARCHITECTS REG No. – 5773

DRAWING SCHEDULE

S75W	0001	COVER SHEET
S75W	0150	SITE ANALYSIS PLAN
S75W	1001	BASEMENT LEVEL 2 ENVELOPE PLANS
S75W	1002	BASEMENT LEVEL 1 ENVELOPE PLANS
S75W	1003	GROUND FLOOR ENVELOPE PLANS
S75W	1004	LEVEL 1 ENVELOPE PLANS
S75W	1005	LEVEL 2 ENVELOPE PLANS
S75W	1006	LEVEL 3 ENVELOPE PLANS
S75W	1007	LEVEL 4 ENVELOPE PLANS
S75W	1008	LEVEL 5 ENVELOPE PLANS
S75W	1009	LEVEL 6 ENVELOPE PLANS
S75W	1010	LEVEL 7 ENVELOPE PLANS
S75W	1011	LEVEL 8 ENVELOPE PLANS
S75W	1012	ROOF ENVELOPE PLANS
S75W	1060	SITE PLAN
S75W	1070	GROUND FLOOR LANDSCAPE PLANS
S75W	1080	MASSING DIAGRAM
S75W	1101	ENVELOPE SECTIONS SHEET 1
S75W	1102	ENVELOPE SECTIONS SHEET 2
S75W	1201	ENVELOPE ELEVATIONS (NORTH & EAST)
S75W	1351	ENVELOPE PERSPECTIVE VIEWS SHEET 1
S75W	1352	ENVELOPE PERSPECTIVE VIEWS SHEET 2
S75W	1353	ENVELOPE PERSPECTIVE VIEWS SHEET 3
S75W	1354	ENVELOPE AXONOMETRIC VIEW
S75W	1651	SHADOW ANALYSIS SHEET 1
S75W	1652	SHADOW ANALYSIS SHEET 2
S75W	1653	SHADOW ANALYSIS SHEET 3
S75W	1654	SHADOW ANALYSIS SHEET 4
S75W	1655	SHADOW ANALYSIS SHEET 5
S75W	1801	DEVELOPMENT CALCULATIONS
S75W	1851	SEPP65 AMMUNITY DIAGRAMS
S75W	1852	BUILDING HEIGHT ANALYSIS
S75W	1853	DRUMMOND HOUSE AMENITY DIAGRAMS



Note:
This drawing is to be read in conjunction with all relevant project documentation (and written architectural specifications) & all specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc. Refer architectural drawing notes page for further notation).
Do not scale from this drawing. Only signed dimensions shall be used.
Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc) shall be shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc and checked by architect & SE prior to fabrication.
This document shall only be used for the purpose for which it was commissioned.

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BCA Consultant:
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Landscape Architect:
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Fire & Fire Services Engineers:
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Civil & Stormwater Engineers:
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sydney@northrop.com.au
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Hydraulic & Mechanical Engineers:
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Sydney NSW 2000
contact@adpcos.com.au
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Structural Engineer:
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Suite 1, 115 Military Rd
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mail@james.taylorassociates.com.au
T: 02 9969 1999

Rev	Date	Description
1	14/07/2023	Issued for construction

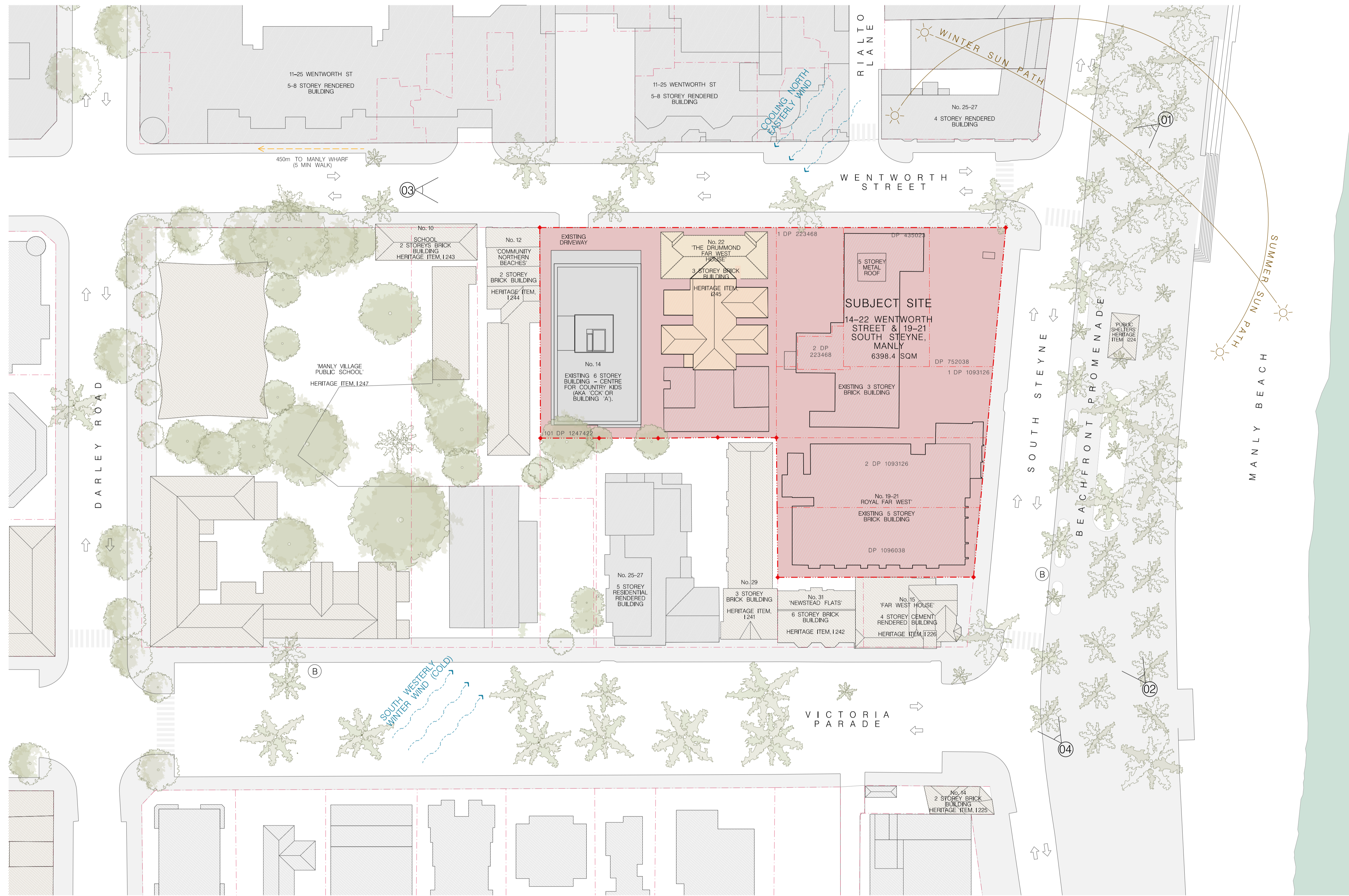
Rev	Date	Description
1	14/07/2023	Issued for construction

Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
NTS
Drawn By:
LMB/EP
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

Architect:
Murcutt Candalepas
Glenn Murcutt Registration No. NSW 2448
Angela Candalepas Registration No. NSW 5773
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T: 02 9283 7755
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Drawing:
COVER SHEET
Drawing Number:
S75W -0001

Job Number:
5899
Issue:
B.



01 SITE ANALYSIS
1:500

- LEGEND:**
- DENOTES MANLY LEP 2013 HERITAGE ITEM
 - BUS STOP
 - PHOTOGRAPH VIEW CONE

<p><small>Note:</small> This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All applicable consultant documentation (e.g. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further information. Do not scale from this drawing. Only signed dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) shown on these architectural documents are indicative only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Balfour NSW 2085 greg@blythfleming.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousegroup.com.au</p>	<p>Heritage Consultant: URBIS Angell Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: City Plan Level 6, 120 Sussex St Sydney NSW 2000 greg@cityplanning.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@douglaspartners.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Sydney NSW 2010 info@renzonin.com.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 103, 12, 61 Marlborough St Sydney NSW 2000 sydney@janerl.com.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Neutral Bay NSW 2089 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 115 Military Rd Neutral Bay NSW 2089 info@james.taylorassociates.com.au T: 02 9969 1999</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Rev</th> <th>Issue</th> <th>Date</th> <th>Description</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	Rev	Issue	Date	Description					<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMS7/MJB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: SITE ANALYSIS PLAN Drawing Number: S75W -0150 Job Number: 5899 Issue: B.</p>
Rev	Issue	Date	Description																				



01. PART VIEW OF SUBJECT SITE FROM THE BEACH PROMENADE LOOKING SOUTH WEST.



02. PART VIEW OF SUBJECT SITE FROM THE BEACH PROMENADE LOOKING NORTH WEST.

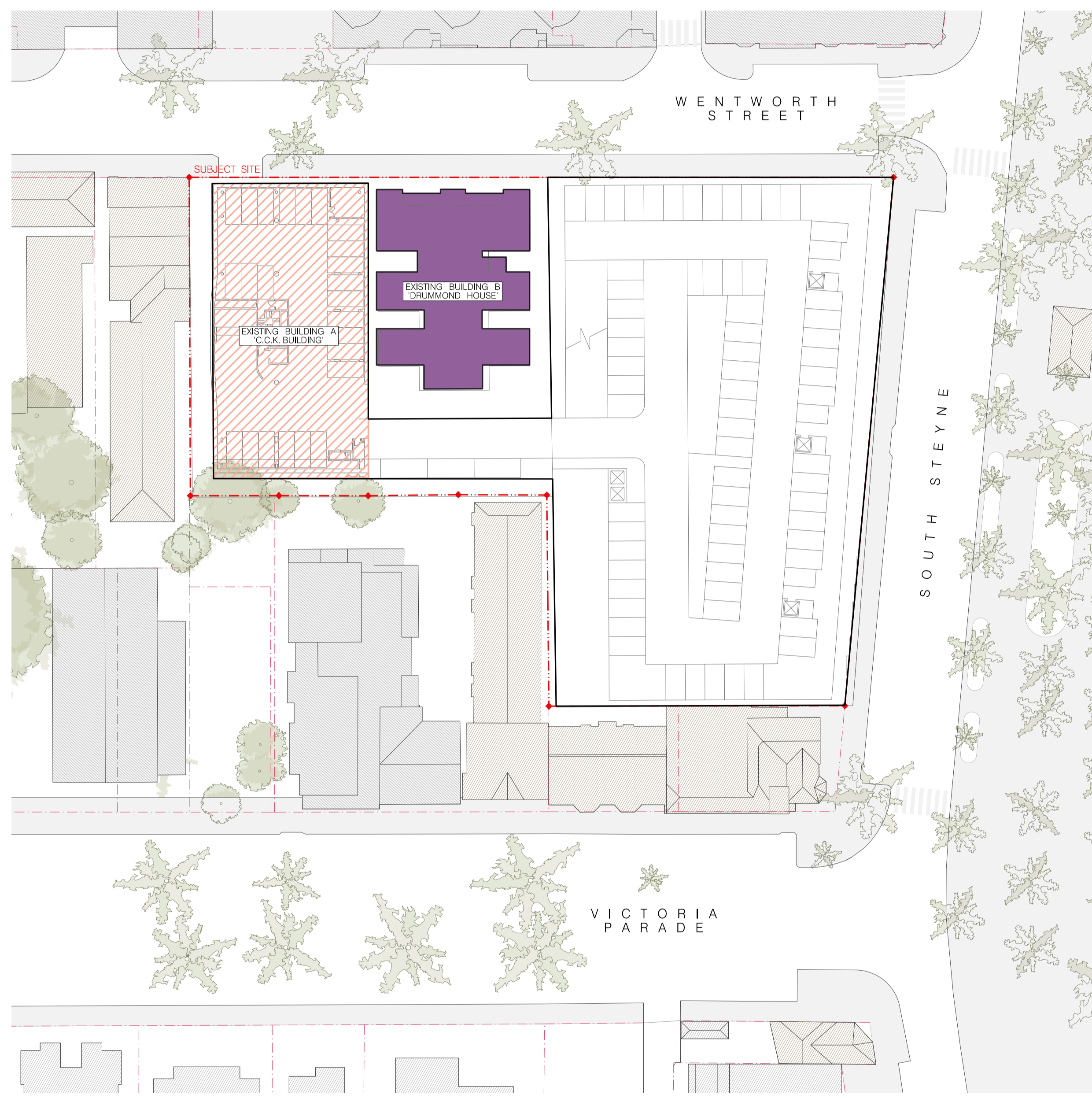


03. PART VIEW OF SUBJECT SITE ALONG WENTWORTH STREET



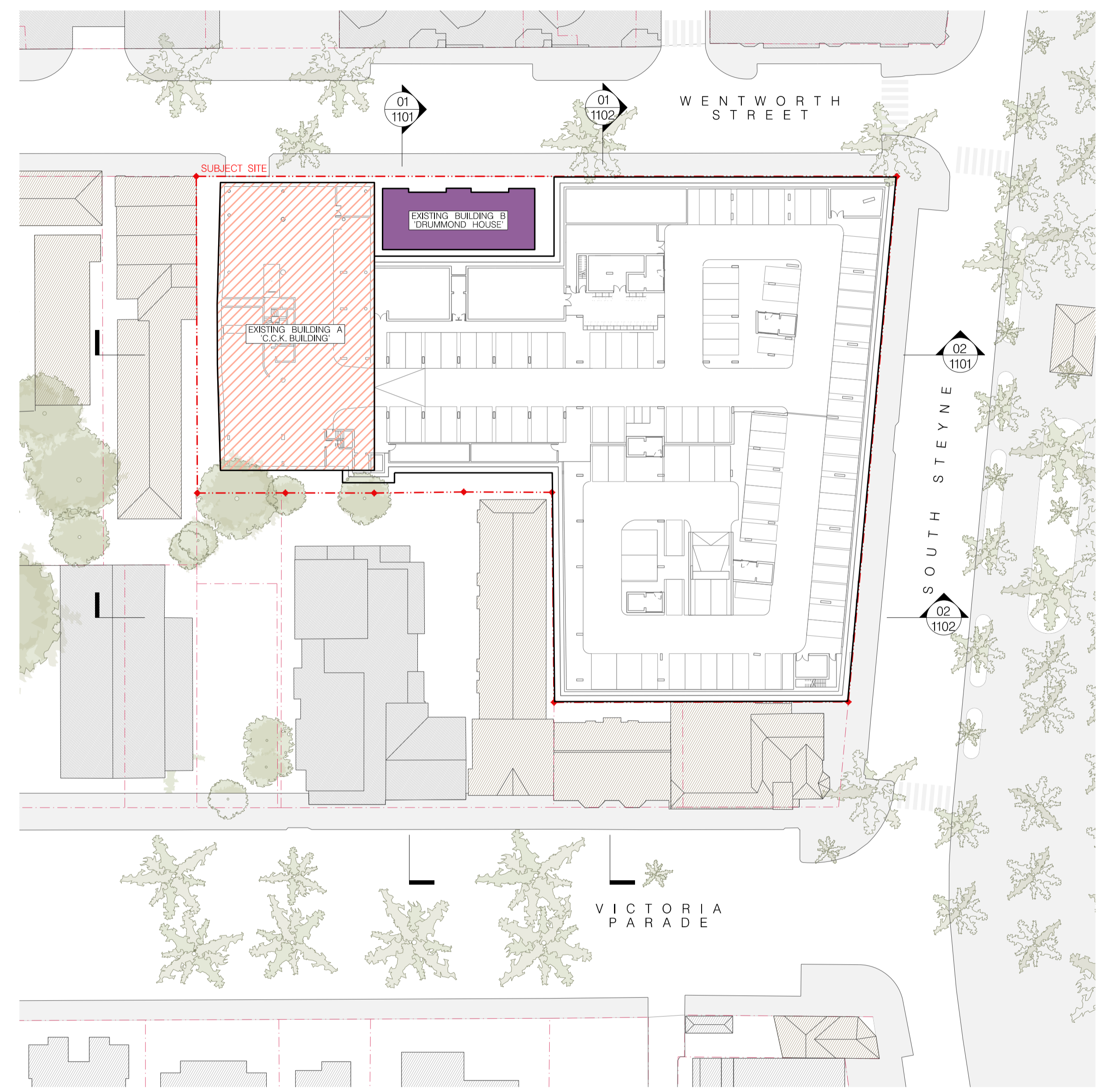
04. PART VIEW OF SUBJECT SITE FROM SOUTH STEYNE LOOKING NORTH WEST.

300mm
250mm
200mm
150mm



01 BASEMENT 2 ENVELOPE PLAN - PART 3A
1:500

- LEGEND:**
- MANLY LEP 2013 HERITAGE ITEM
 - 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - LANDSCAPING / PLAYGROUND
 - RETAIL
 - RESIDENTIAL
 - HOTEL USE

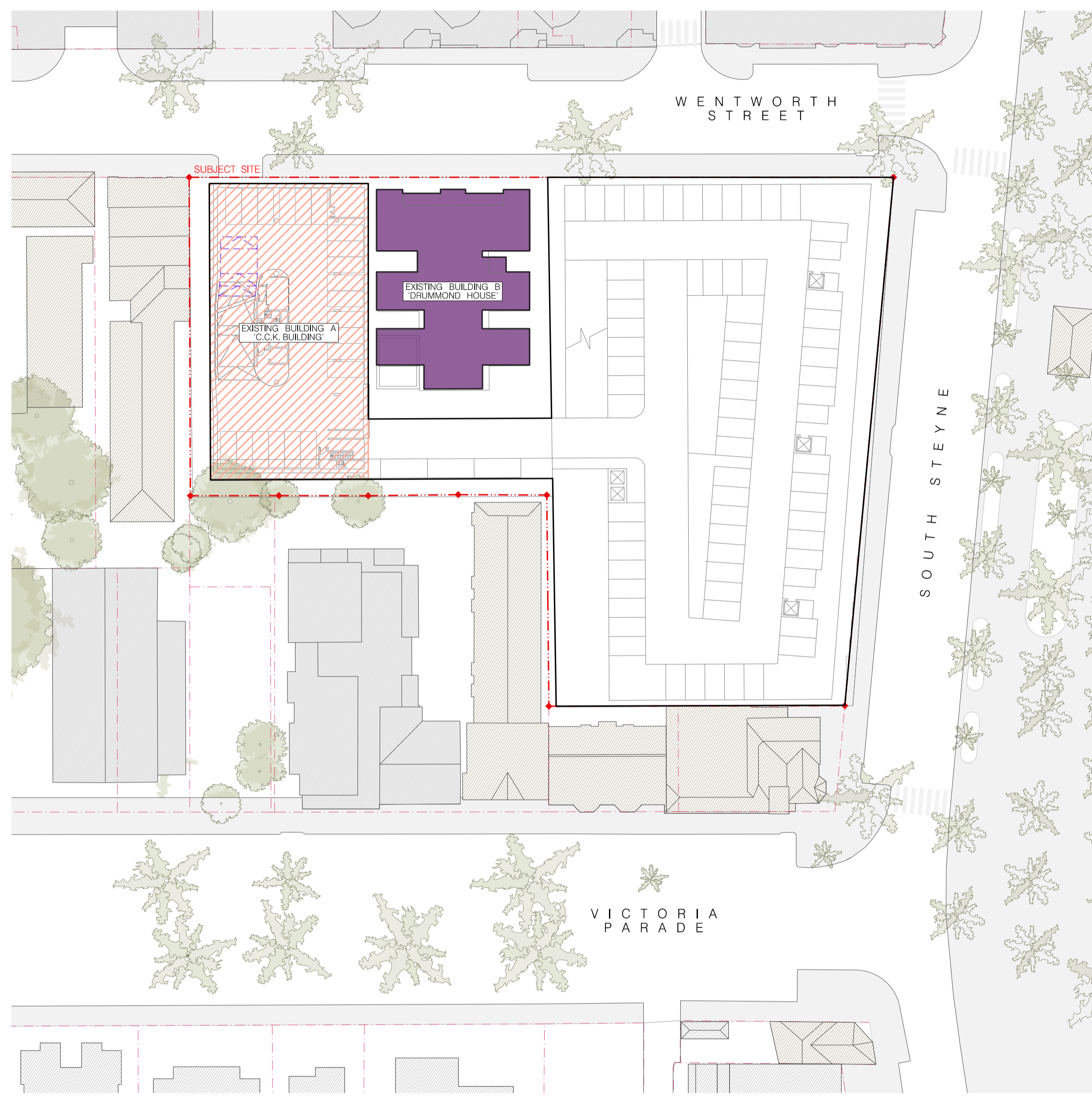


02 BASEMENT 2 ENVELOPE PLAN - PROPOSAL
1:500

- LEGEND:**
- MANLY LEP 2013 HERITAGE ITEM
 - RFW USE (NEW ACCOMMODATION)
 - RFW USE (EXISTING CCK BUILDING)
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - LANDSCAPING / PLAYGROUND
 - COMMERCIAL
 - RESIDENTIAL

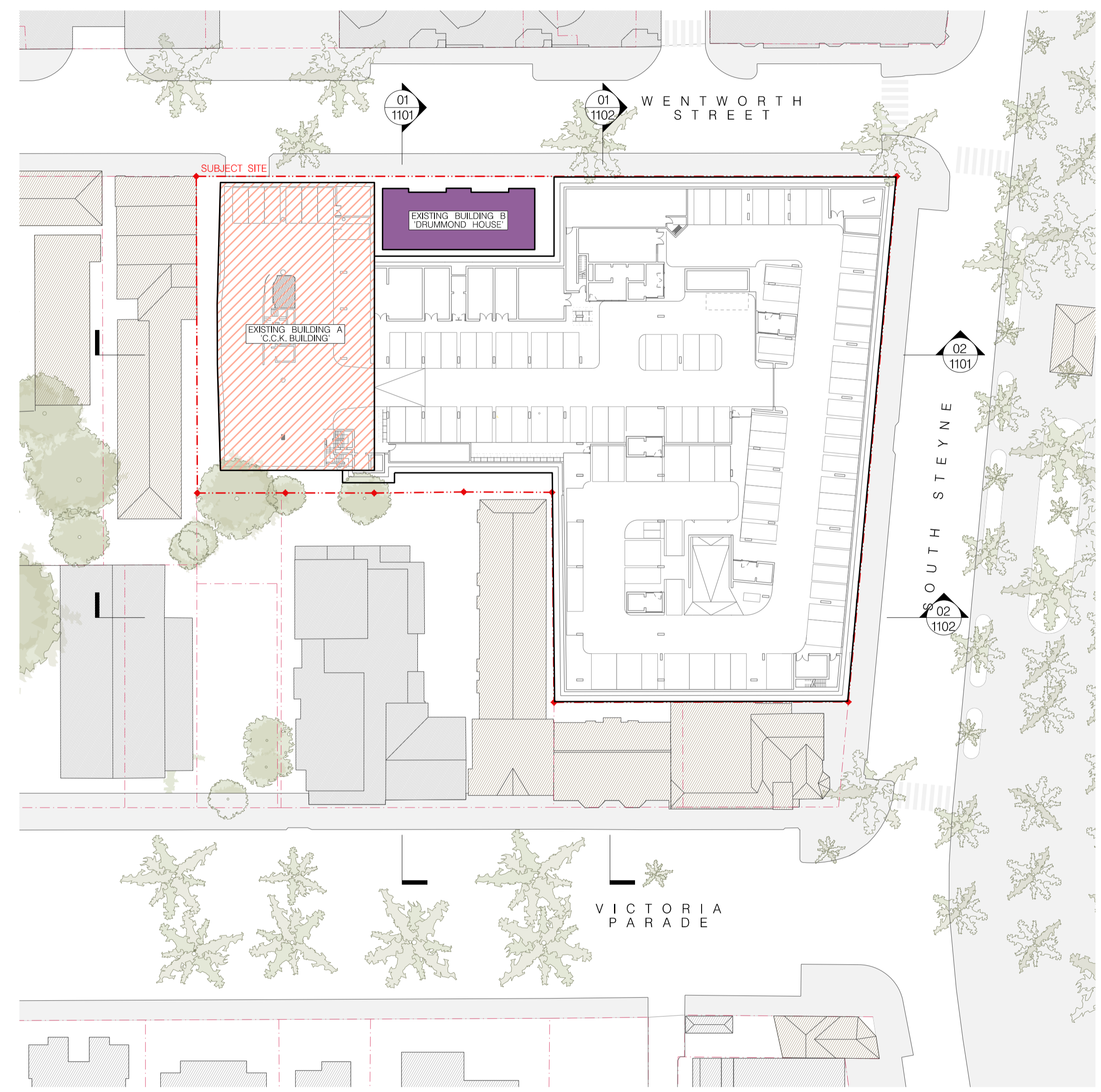
<p><small>Note:</small> This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further information. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicators only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p><small>Drawings Consultant:</small> A1</p>	<p><small>Town Planning:</small> Boston Blyth Fleming</p> <p><small>Subite 1, 9 Narabang Way Belmore NSW 2065 greg@bfbfplanners.com.au T: 02 9986 2535</small></p>	<p><small>Project Manager:</small> Lighthouse Project Group</p> <p><small>Level 2, 56 Berry St North Sydney NSW 2060 reception@lighthousegroup.com.au T: 02 8270 3100</small></p>	<p><small>Heritage Consultant:</small> URBIS</p> <p><small>Angill Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</small></p>	<p><small>BCA Consultant:</small> URBIS</p> <p><small>Level 6, 120 Sussex St Sydney NSW 2000 reception@urbis.com.au T: 02 8270 3100</small></p>	<p><small>Geotech & Contamination:</small> Douglas & Partners</p> <p><small>96 Hermitage Rd West Ryde NSW 2114 info@dougpartners.com.au T: 02 9809 0666</small></p>	<p><small>Acoustic Engineer:</small> Renzo Tonin & Associates</p> <p><small>Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@renzotonin.com.au T: 02 8218 0500</small></p>	<p><small>Landscape Architect:</small> Jane Irwin Landscape Architecture</p> <p><small>Suite 203, 12, 61 Marlborough St Surry Hills NSW 2010 info@jil.net.au T: 02 9212 6957</small></p>	<p><small>Fire & Fire Services Engineers:</small> GHD</p> <p><small>Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</small></p>	<p><small>Civil & Stormwater Engineers:</small> Northrop</p> <p><small>Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</small></p>	<p><small>Hydraulic & Mechanical Engineers:</small> ADP Consulting</p> <p><small>Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</small></p>	<p><small>Structural Engineer:</small> James Taylor & Associates</p> <p><small>Suite 1, 115 Military Rd Neutral Bay NSW 2089 james@james.taylorassociates.com.au T: 02 9969 1999</small></p>	<p><small>Project:</small> ROYAL FAR WEST</p> <p><small>Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly</small></p> <p><small>Client: Royal Far West</small></p> <p><small>Scale: As shown @ A1</small></p> <p><small>Drawn By: LMS/MB</small></p> <p><small>Checked 1: MB, EP</small></p> <p><small>Checked 2: EP</small></p> <p><small>Approved: EP</small></p>	<p><small>Architect:</small> Murcutt Candalepas</p> <p><small>Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773</small></p> <p><small>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</small></p>	<p><small>Drawing:</small> BASEMENT LEVEL 2 ENVELOPE PLANS</p> <p><small>Drawing Number: S75W -1001</small></p>	<p><small>Job Number:</small> 5899</p> <p><small>Issue: B.</small></p>
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300mm
250mm
200mm
150mm
100mm
50mm
0
50
100
150
200
250
300
350
400
450
500
550
600
650
700
750
800
850
900
950
1000



01 BASEMENT 1 ENVELOPE PLAN – PART 3A
1:500

- LEGEND:**
- MANLY LEP 2013 HERITAGE ITEM
 - 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - LANDSCAPING / PLAYGROUND
 - RETAIL
 - RESIDENTIAL
 - HOTEL USE



02 BASEMENT 1 ENVELOPE PLAN – PROPOSAL
1:500

- LEGEND:**
- MANLY LEP 2013 HERITAGE ITEM
 - RFW USE (NEW ACCOMMODATION)
 - RFW USE (EXISTING CCK BUILDING)
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - LANDSCAPING / PLAYGROUND
 - COMMERCIAL
 - RESIDENTIAL

<p><small>Note:</small> This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further information. Do not scale from this drawing. Only signed dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicators only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p><small>DRAWING ORIGINATOR:</small> A1 Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belmore NSW 2065 greg@bffplanners.com.au T: 02 9986 2535</p>	<p><small>PROJECT MANAGER:</small> Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepm.com.au T: 02 8233 9900</p>	<p><small>HERITAGE CONSULTANT:</small> URBIS Angell Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p><small>BCA CONSULTANT:</small> City Plan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p><small>GEOTECH & CONTAMINATION:</small> Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@dougpartners.com.au T: 02 9809 0666</p>	<p><small>ACOUSTIC ENGINEER:</small> Renzo Tonin & Associates Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@rtanet.au T: 02 8218 0500</p>	<p><small>LANDSCAPE ARCHITECT:</small> Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Surry Hills NSW 2010 info@jil.net.au T: 02 9212 6957</p>	<p><small>FIRE & FIRE SERVICES ENGINEERS:</small> GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p><small>CIVIL & STORMWATER ENGINEERS:</small> Northrop Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p><small>HYDRAULIC & MECHANICAL ENGINEERS:</small> ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p><small>STRUCTURAL ENGINEER:</small> James Taylor & Associates Suite 1, 115 Military Rd Neutral Bay NSW 2089 james@james.taylorassociates.com.au T: 02 9969 1999</p>	<p><small>PROJECT:</small> ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMSJ:MB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p><small>ARCHITECT:</small> Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p><small>DRAWING:</small> BASEMENT LEVEL 1 ENVELOPE PLANS Drawing Number: S75W -1002</p>	<p><small>JOB NUMBER:</small> 5899 Issue: B.</p>
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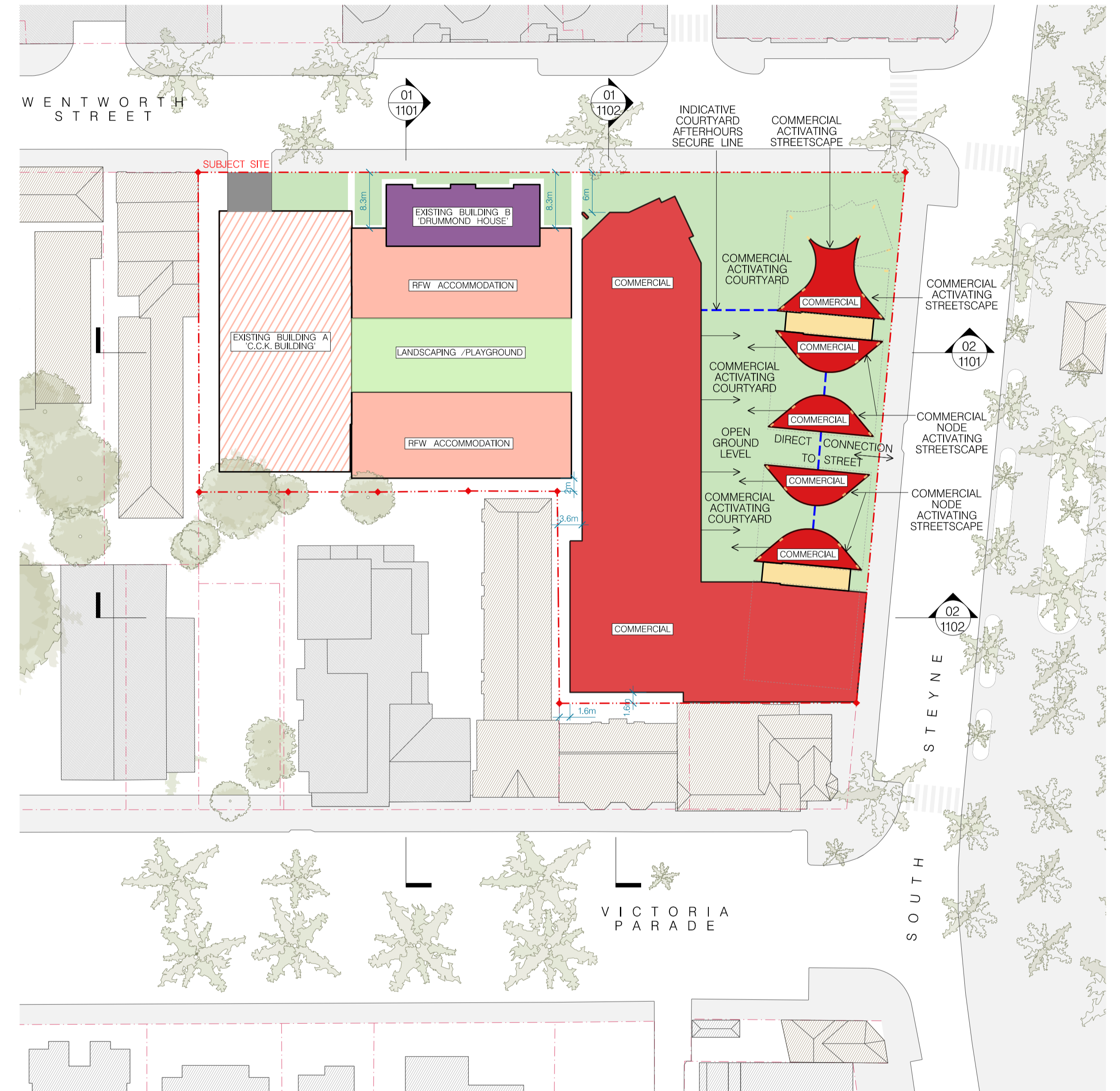
OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).



01 GROUND LEVEL ENVELOPE PLAN – PART 3A
1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING / PLAYGROUND
- RETAIL
- RESIDENTIAL
- HOTEL USE



02 GROUND LEVEL ENVELOPE PLAN – PROPOSAL
1:500

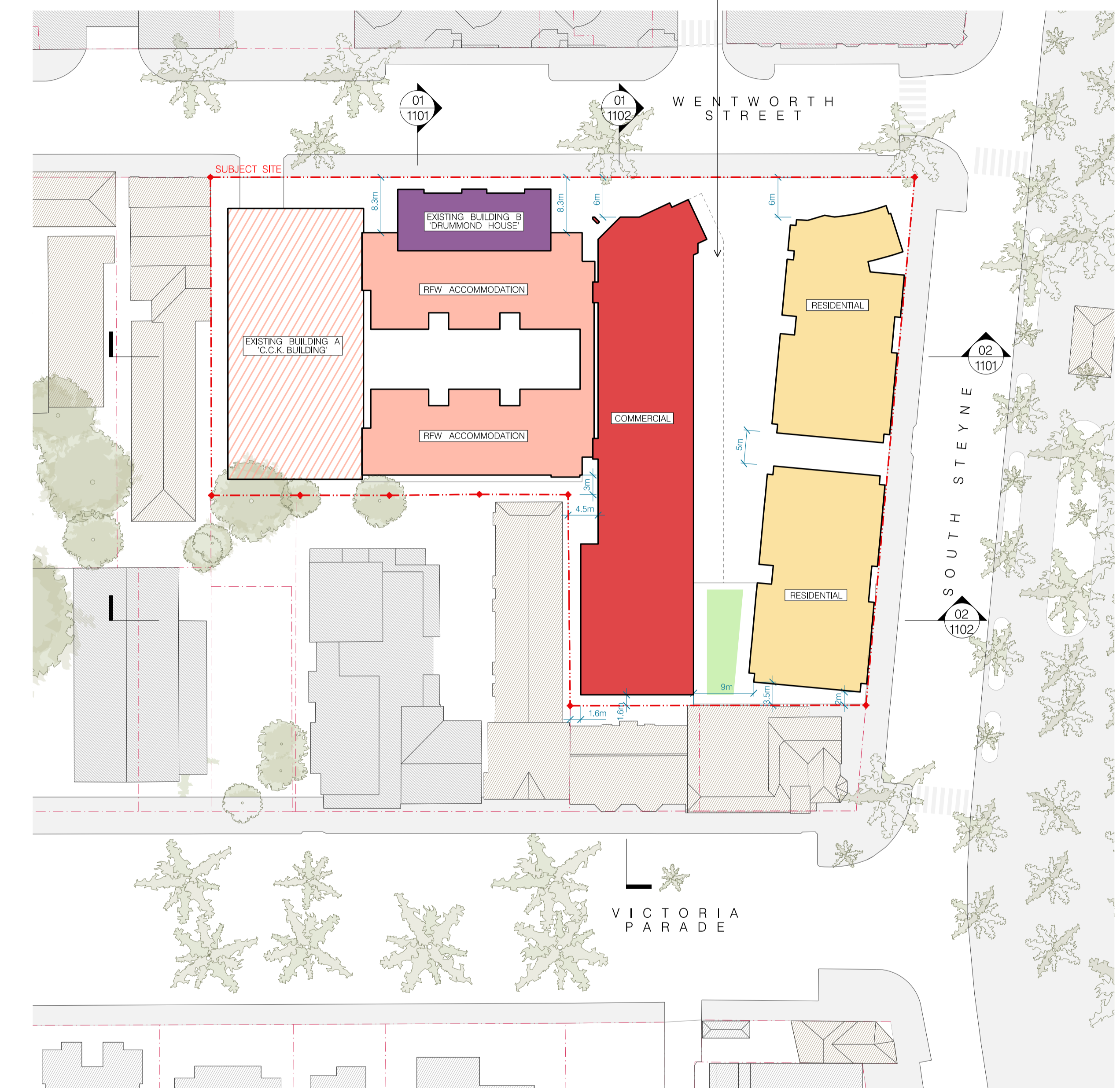
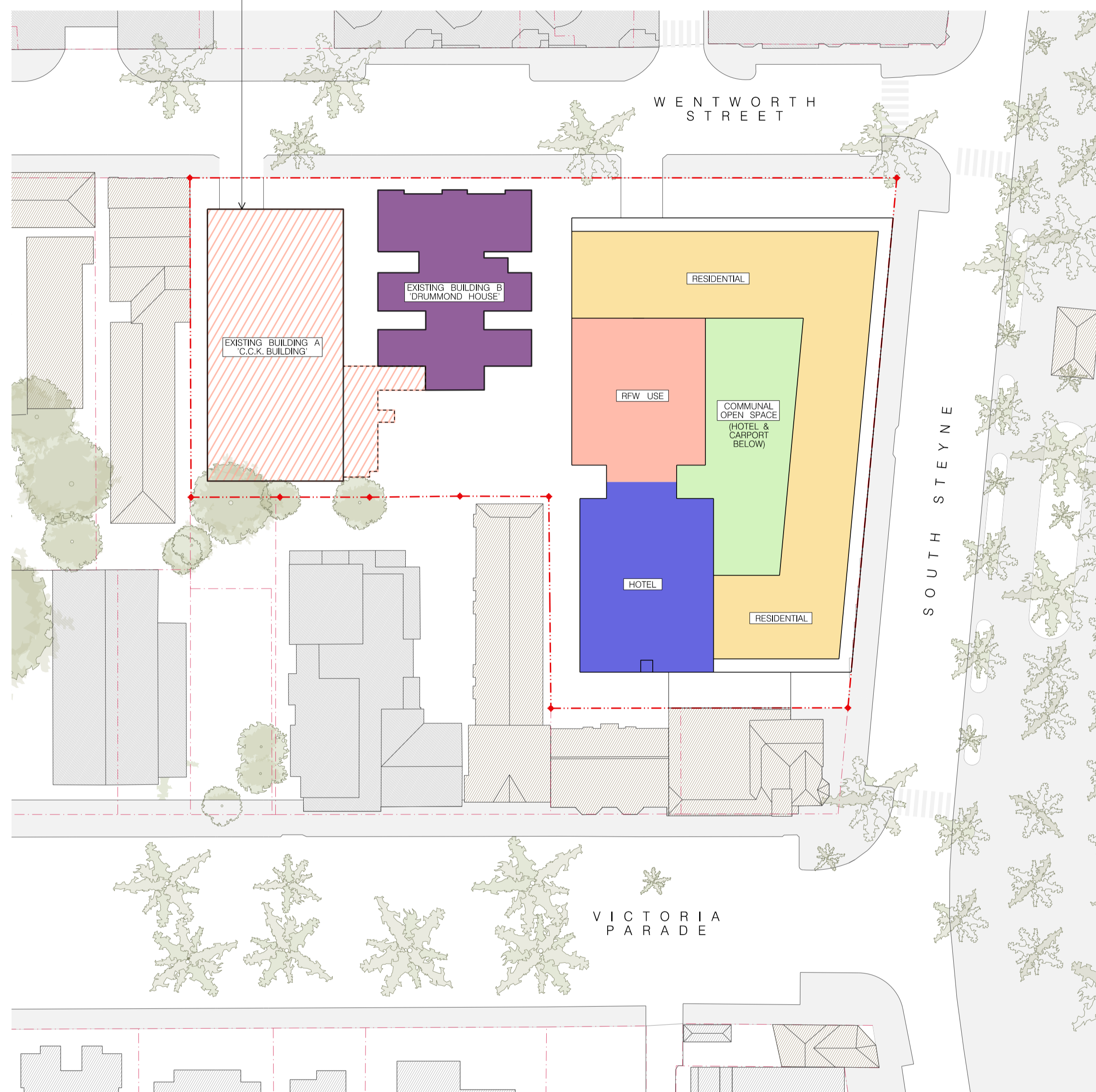
LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- RFW USE (NEW ACCOMMODATION)
- RFW USE (EXISTING CCK BUILDING)
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING / PLAYGROUND (BOTH HARD AND SOFTWARES)
- COMMERCIAL
- RESIDENTIAL
- INDICATIVE COURTYARD AFTERHOURS SECURE LINE

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All applicable consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further information. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicators only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belmore NSW 2065 greg@blythfleming.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepm.com.au T: 02 8233 9900</p>	<p>Heritage Consultant: URBIS Angell Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: City Plan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@douglasp.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@rtanet.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Surry Hills NSW 2010 info@janet.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 15 Military Rd Neutral Bay NSW 2089 info@james.taylorassociates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMS3/JAB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glen Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 1427</p>	<p>Drawing: GROUND LEVEL ENVELOPE PLANS Drawing Number: S75W -1003</p>	<p>Job Number: 5899 Issue: C</p>
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OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).

AWNING EXCLUDED FROM ENVELOPE EXTENT.



01 LEVEL 1 ENVELOPE PLAN – PART 3A
1:500

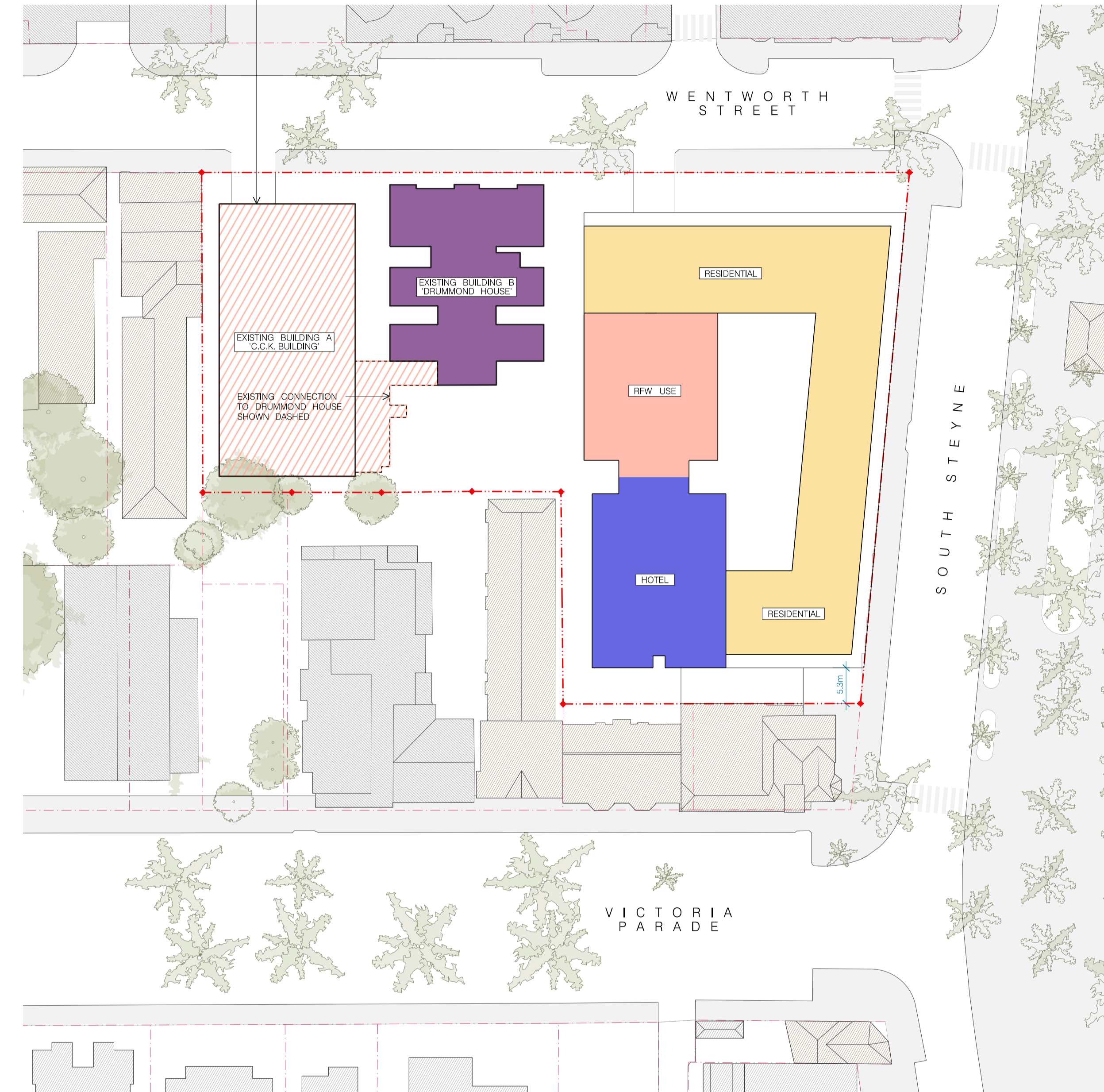
02 LEVEL ONE ENVELOPE PLAN – PROPOSAL
1:500

- LEGEND:**
- MANLY LEP 2013 HERITAGE ITEM
 - 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - LANDSCAPING
 - RETAIL
 - RESIDENTIAL
 - HOTEL USE

- LEGEND:**
- MANLY LEP 2013 HERITAGE ITEM
 - RFW USE (NEW ACCOMMODATION)
 - RFW USE (EXISTING CCK BUILDING)
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - LANDSCAPING / PLAYGROUND
 - COMMERCIAL
 - RESIDENTIAL

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further information. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belfair NSW 2085 greg@blythfleming.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepm.com.au T: 02 8233 9900</p>	<p>Heritage Consultant: URBIS Angill Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: CityPlan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@douglaspartners.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@renzotoni.com.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Surry Hills NSW 2010 info@jirwin.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 info@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 15 Military Rd Neutral Bay NSW 2089 info@james.taylorassociates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMSJ:MB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: LEVEL 1 ENVELOPE PLANS Drawing Number: S75W -1004</p>	<p>Job Number: 5899 Issue: B.</p>
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OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).



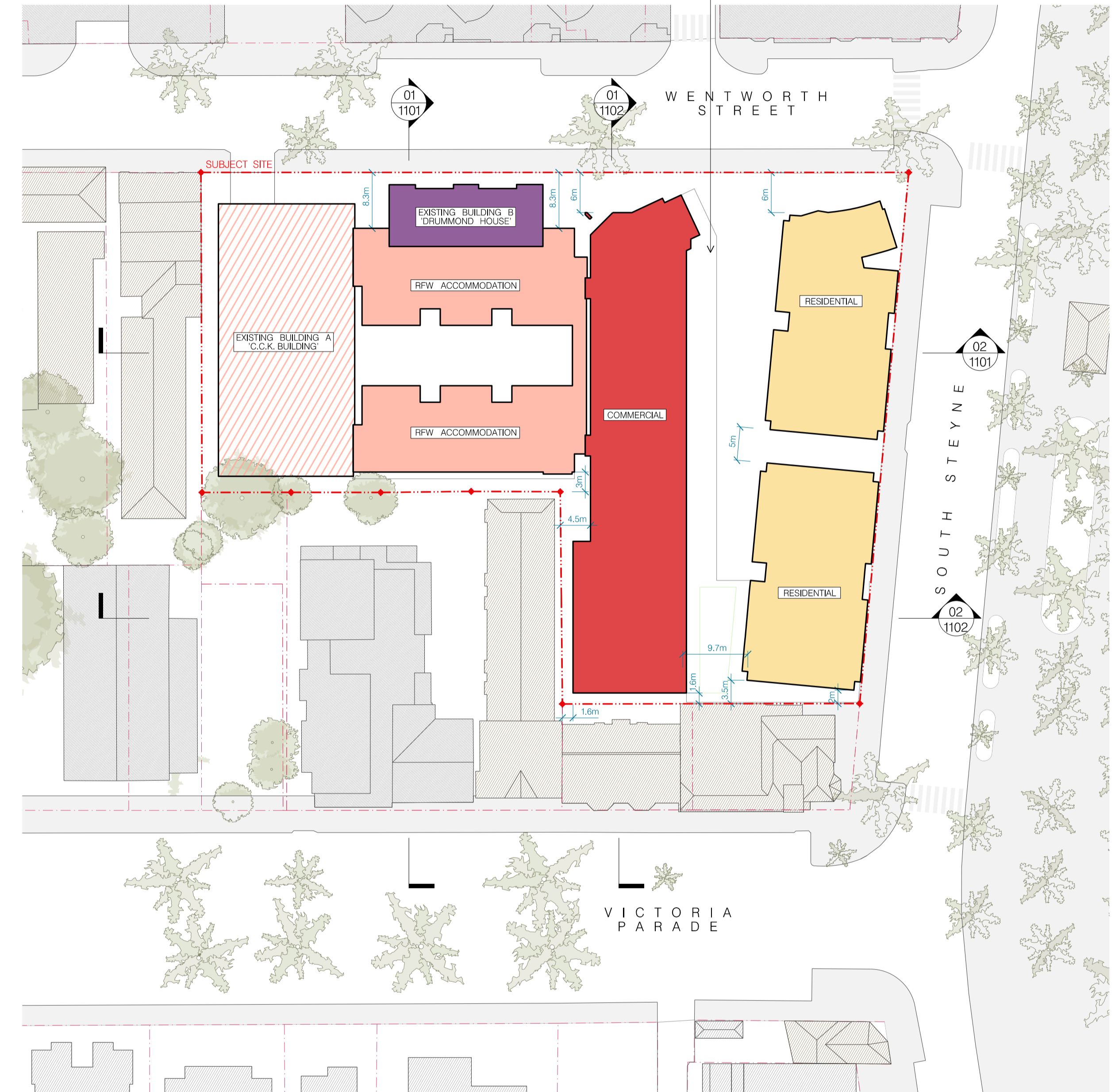
01 LEVEL 2 ENVELOPE PLAN - PART 3A

1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING
- RETAIL
- RESIDENTIAL
- HOTEL USE

AWNING EXCLUDED FROM ENVELOPE EXTENT.



02 LEVEL 2 ENVELOPE PLAN - PROPOSAL

1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- RFW USE (NEW ACCOMMODATION)
- RFW USE (EXISTING CCK BUILDING)
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING /PLAYGROUND
- COMMERCIAL
- RESIDENTIAL

Note:
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This document shall only be used for the purpose for which it was commissioned.

Town Planning:
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Belmore NSW 2065
greg@bfbplanners.com.au
T: 02 9986 2535

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Lighthouse Project Group
Level 2, 56 Berry St
North Sydney NSW 2060
info@lighthousepm.com.au
T: 02 8233 9900

Heritage Consultant:
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Sydney NSW 2000
T: 02 8233 9900

BCA Consultant:
City Plan
Level 6, 120 Sussex St
Sydney NSW 2000
reception@cityplan.com.au
T: 02 8270 3100

Geotech & Contamination:
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West Ryde NSW 2114
info@douglasp.com.au
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Acoustic Engineer:
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info@rtanet.au
T: 02 8218 0500

Landscape Architect:
Jane Irwin Landscape Architecture
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Sydney NSW 2010
info@jila.net.au
T: 02 9212 6957

Fire & Fire Services Engineers:
GHD
Level 15, 133 Castlereagh St
Sydney NSW 2000
T: 02 9239 7100

Civil & Stormwater Engineers:
Northrop
Level 11, 345 George St
Sydney NSW 2000
info@northrop.com.au
T: 02 9241 4188

Hydraulic & Mechanical Engineers:
ADP Consulting
Level 3, 8 Spring St
Sydney NSW 2000
contact@adpcosulting.com.au
T: 02 8203 5447

Structural Engineer:
James Taylor & Associates
Suite 1, 15 Military Rd
Neutral Bay NSW 2089
info@james.taylorassociates.com.au
T: 02 9969 1999

Scale:
As shown @ A1

Project:
ROYAL FAR WEST
14-22 Wentworth Street & 19-21 South Steyne, Manly

Client:
Royal Far West

Architect:
Murcutt Candalepas
309 Sussex Street
Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755
F: 02 9283 7477

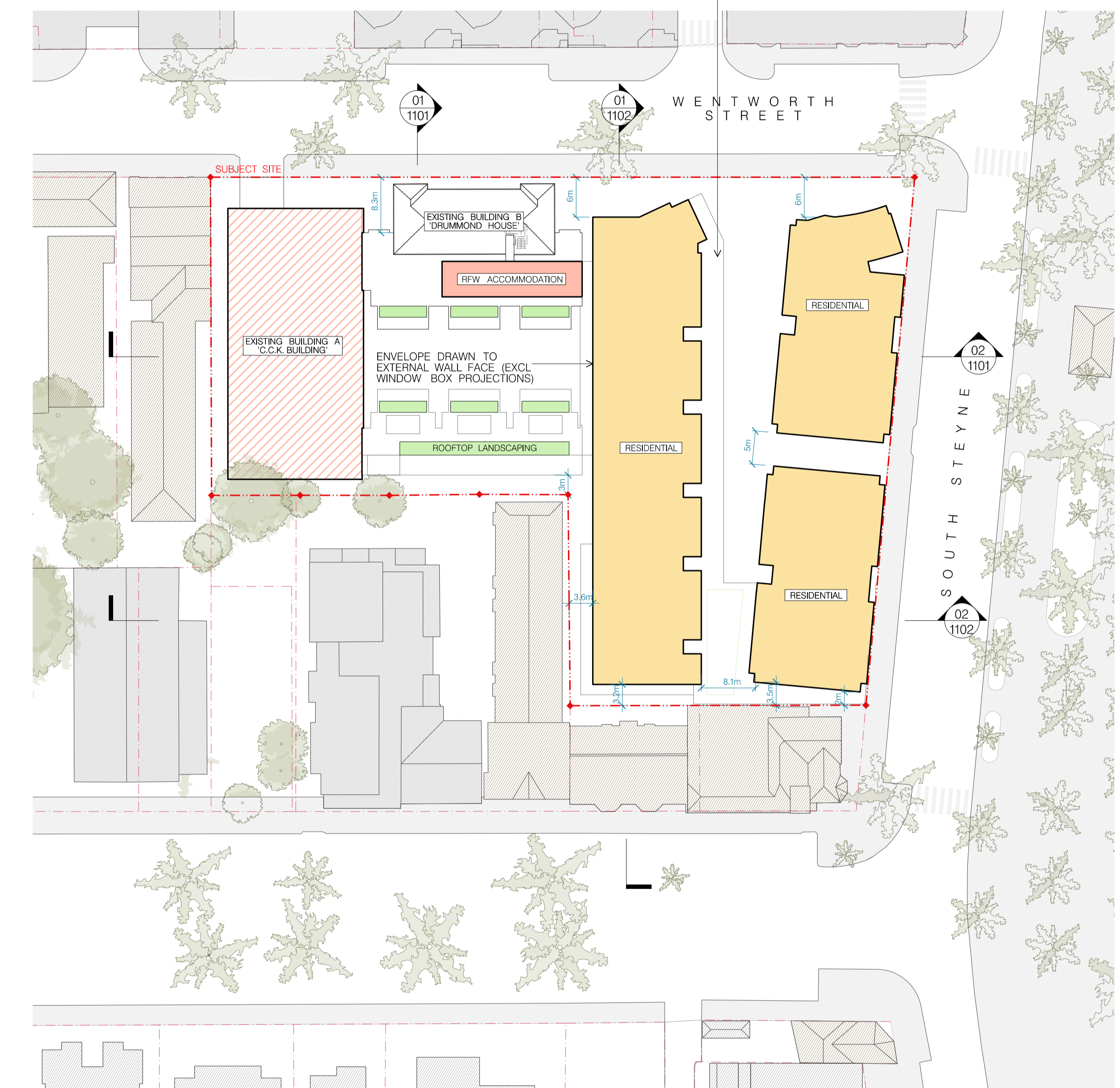
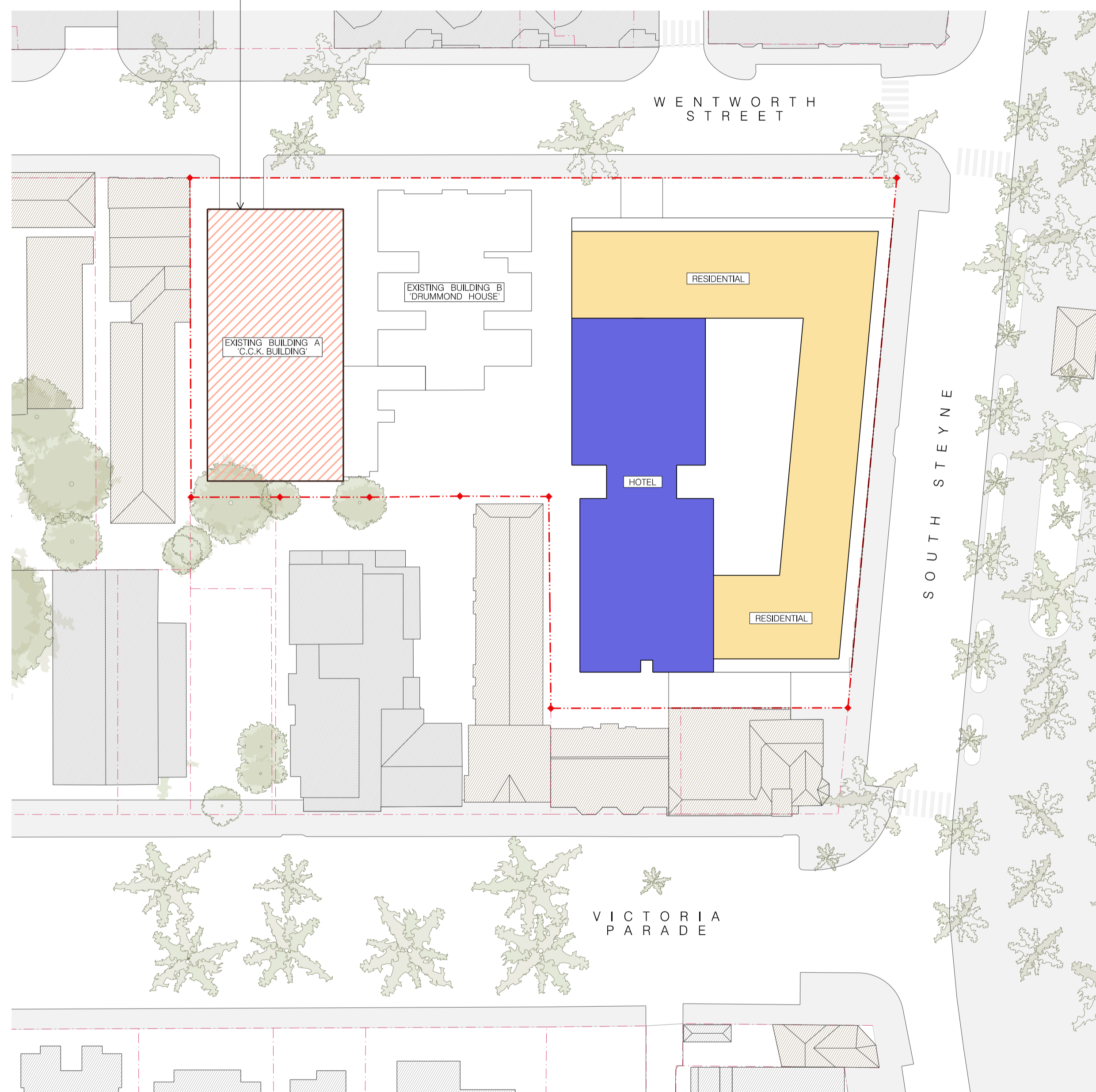
Drawing:
LEVEL 2 ENVELOPE PLANS
S75W -1005

Job Number:
5899

Issue:
B.

OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).

AWNING EXCLUDED FROM ENVELOPE EXTENT.



01 LEVEL 3 ENVELOPE PLAN - PART 3A
1:500

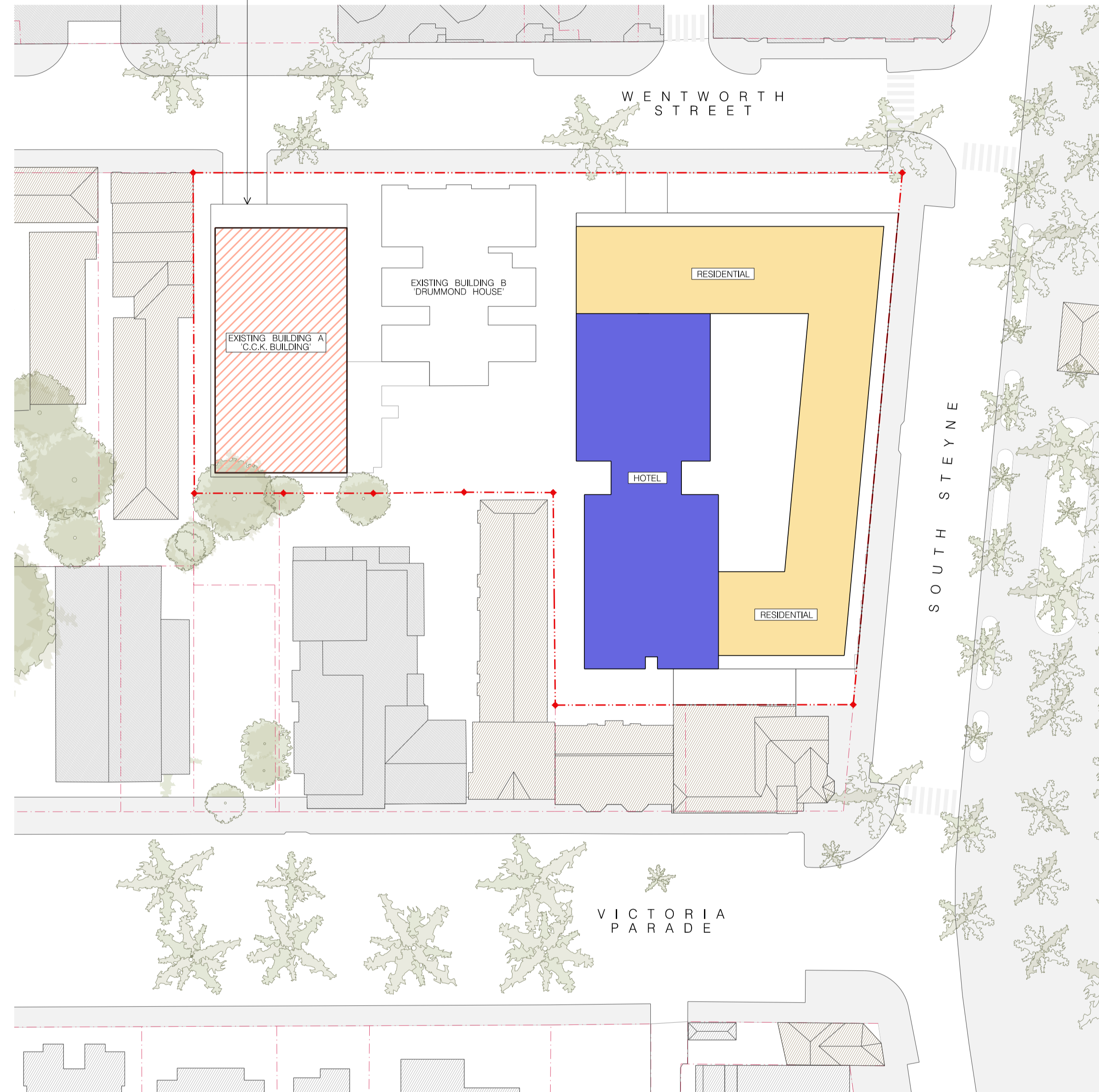
02 LEVEL 3 ENVELOPE PLAN - PROPOSAL
1:500

- LEGEND:**
- MANLY LEP 2013 HERITAGE ITEM
 - 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - GROUND LEVEL LANDSCAPING
 - RETAIL
 - RESIDENTIAL
 - HOTEL USE

- LEGEND:**
- MANLY LEP 2013 HERITAGE ITEM
 - RFW USE (NEW ACCOMMODATION)
 - RFW USE (EXISTING CCK BUILDING)
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - LANDSCAPING /PLAYGROUND
 - COMMERCIAL
 - RESIDENTIAL

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further notation. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belmore NSW 2065 greg@bblfplanners.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepm.com.au T: 02 8233 9900</p>	<p>Heritage Consultant: URBIS Angill Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: CityPlan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@douglasp.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 418A Elizabeth St Surry Hills NSW 2010 info@ra.net.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Surry Hills NSW 2010 info@jila.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 info@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 115 Military Rd Neutral Bay NSW 2089 info@james.taylor.associates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMS7/MJB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: LEVEL 3 ENVELOPE PLANS Drawing Number: S75W -1006</p>	<p>Job Number: 5899 Issue: B.</p>
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OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).

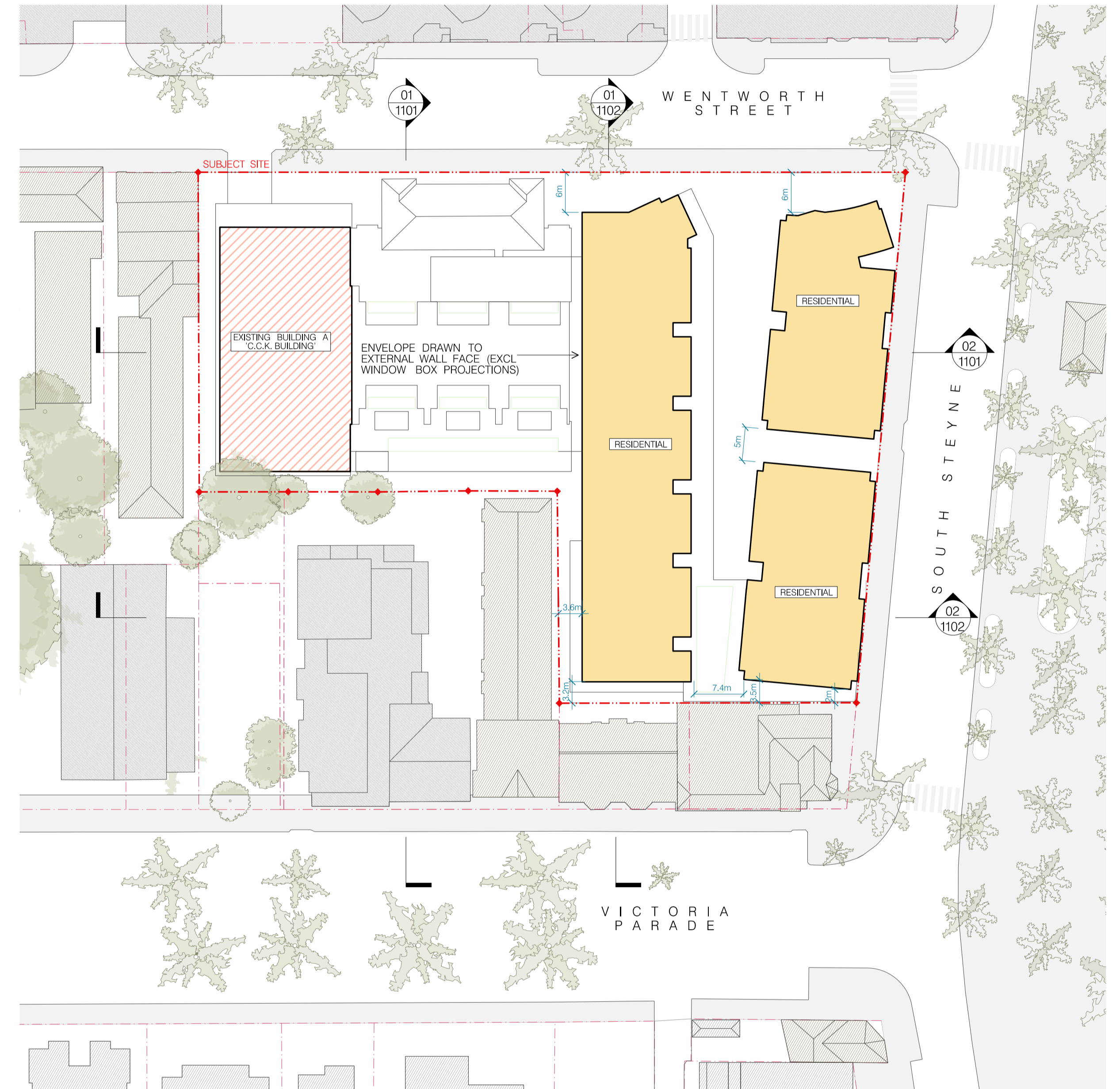


01 LEVEL 4 ENVELOPE PLAN - PART 3A

1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- GROUND LEVEL LANDSCAPING
- RETAIL
- RESIDENTIAL
- HOTEL USE



02 LEVEL 4 ENVELOPE PLAN - PROPOSAL

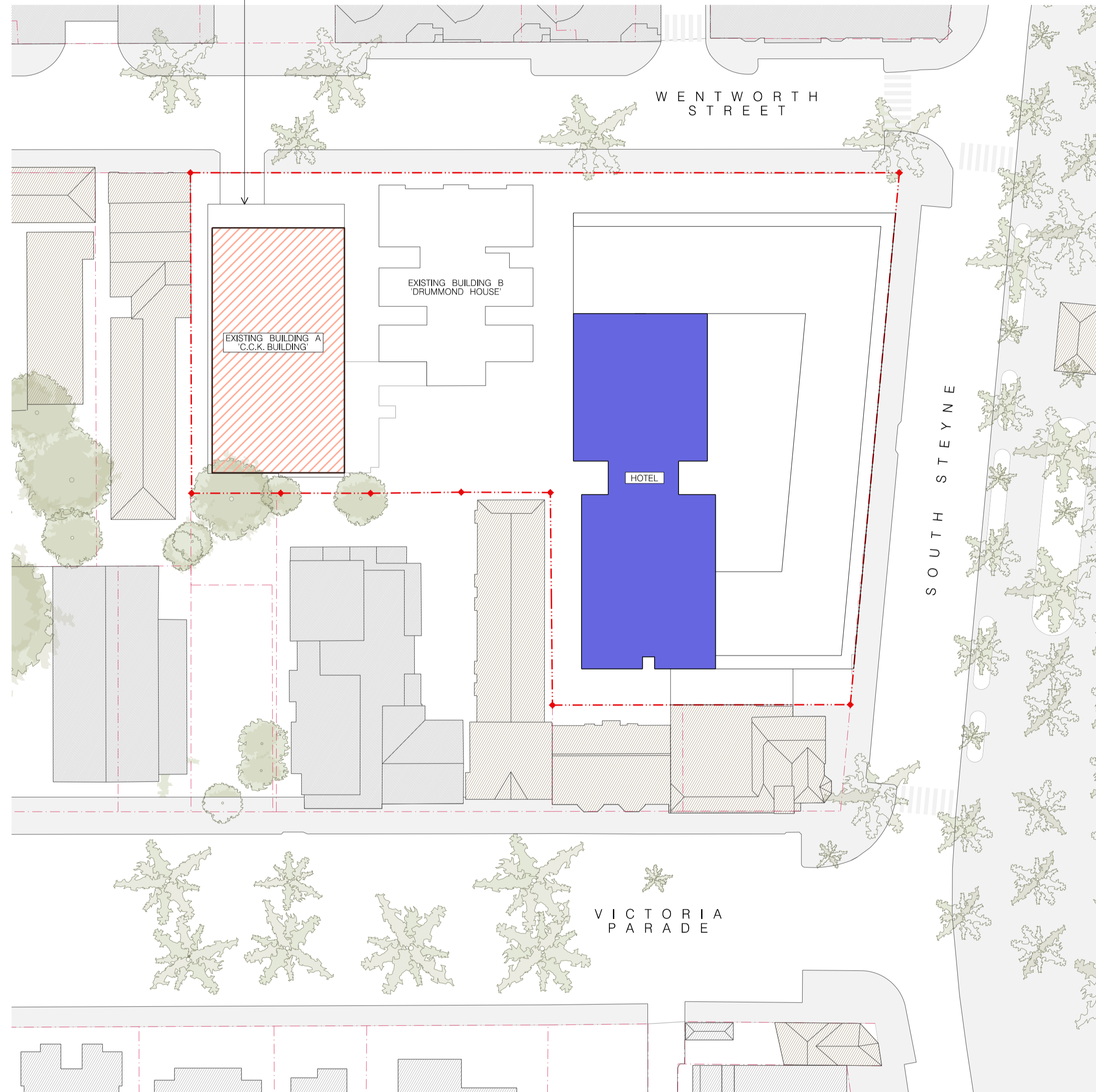
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LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- RFW USE (NEW ACCOMMODATION)
- RFW USE (EXISTING CCK BUILDING)
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING /PLAYGROUND
- COMMERCIAL
- RESIDENTIAL

<p>Note: This drawing is to be read in conjunction with all relevant project documentation (incl written architectural specifications) & all specialist consultant documentation (incl structural, mechanical, electrical & hydraulic engineering documentation etc). Refer architectural drawing notes page for further notations. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc) shall be shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Drawings ORIGINAL SIZE: A1</p>	<p>Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belmore NSW 2065 greg@bfbfplanners.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2000 info@lighthousepg.com.au T: 02 8233 9900</p>	<p>Heritage Consultant: URBIS Angell Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: CityPlan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@douglasp.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@rtanet.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Sydney NSW 2000 info@jlanet.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 info@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 15 Military Rd Neutral Bay NSW 2089 info@james.taylor.associates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly</p> <p>Client: Royal Far West</p> <p>Scale: As shown @ A1</p> <p>Drawn By: LMSJ:MB</p> <p>Checked 1: MB, EP</p> <p>Checked 2: EP</p> <p>Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: LEVEL 4 ENVELOPE PLANS</p> <p>Drawing Number: S75W -1007</p>	<p>Job Number: 5899</p> <p>Issue: B.</p>
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OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).

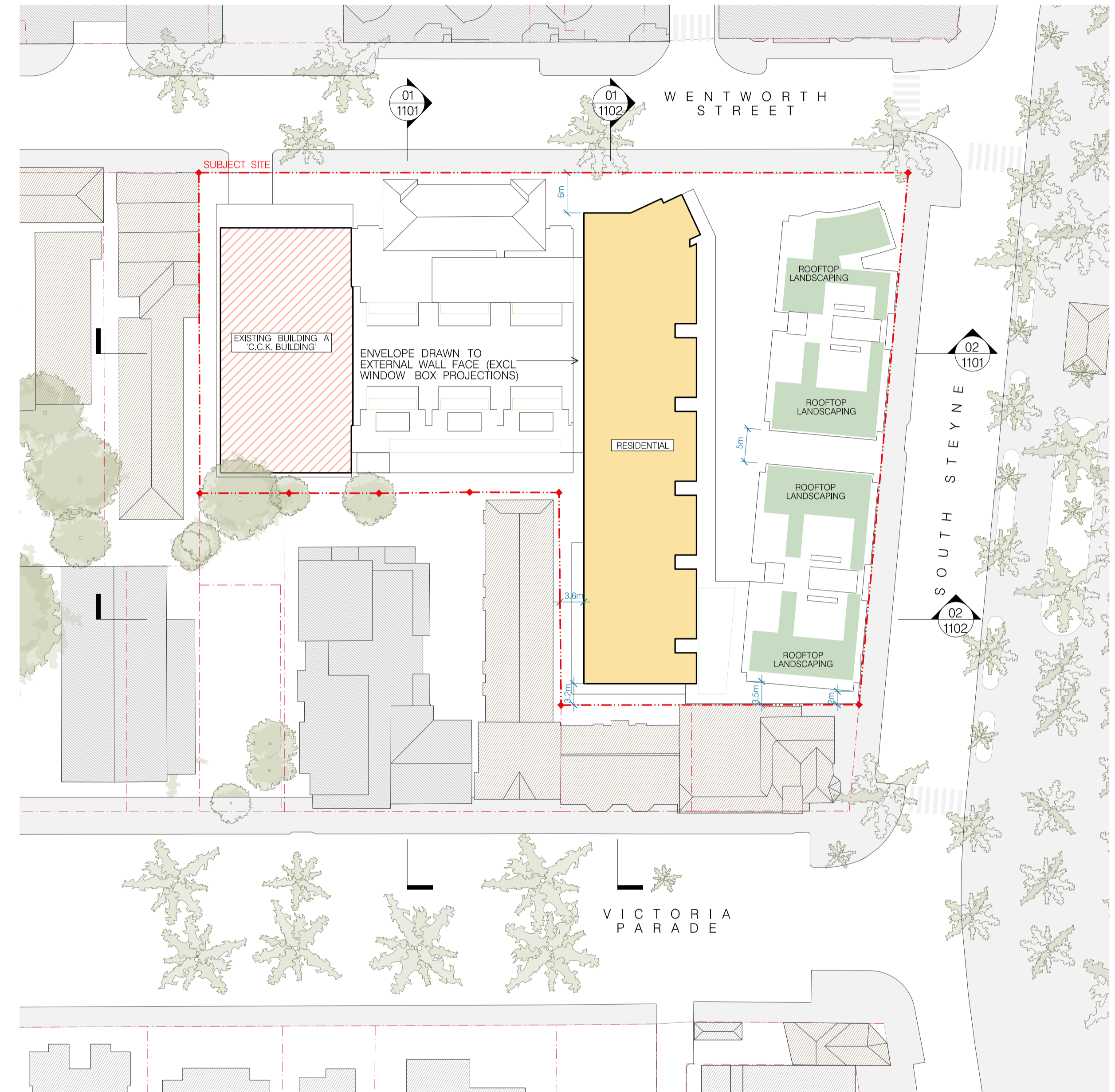


01 LEVEL 5 ENVELOPE PLAN - PART 3A

1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING
- RETAIL
- RESIDENTIAL
- HOTEL USE



02 LEVEL 5 ENVELOPE PLAN - PROPOSAL

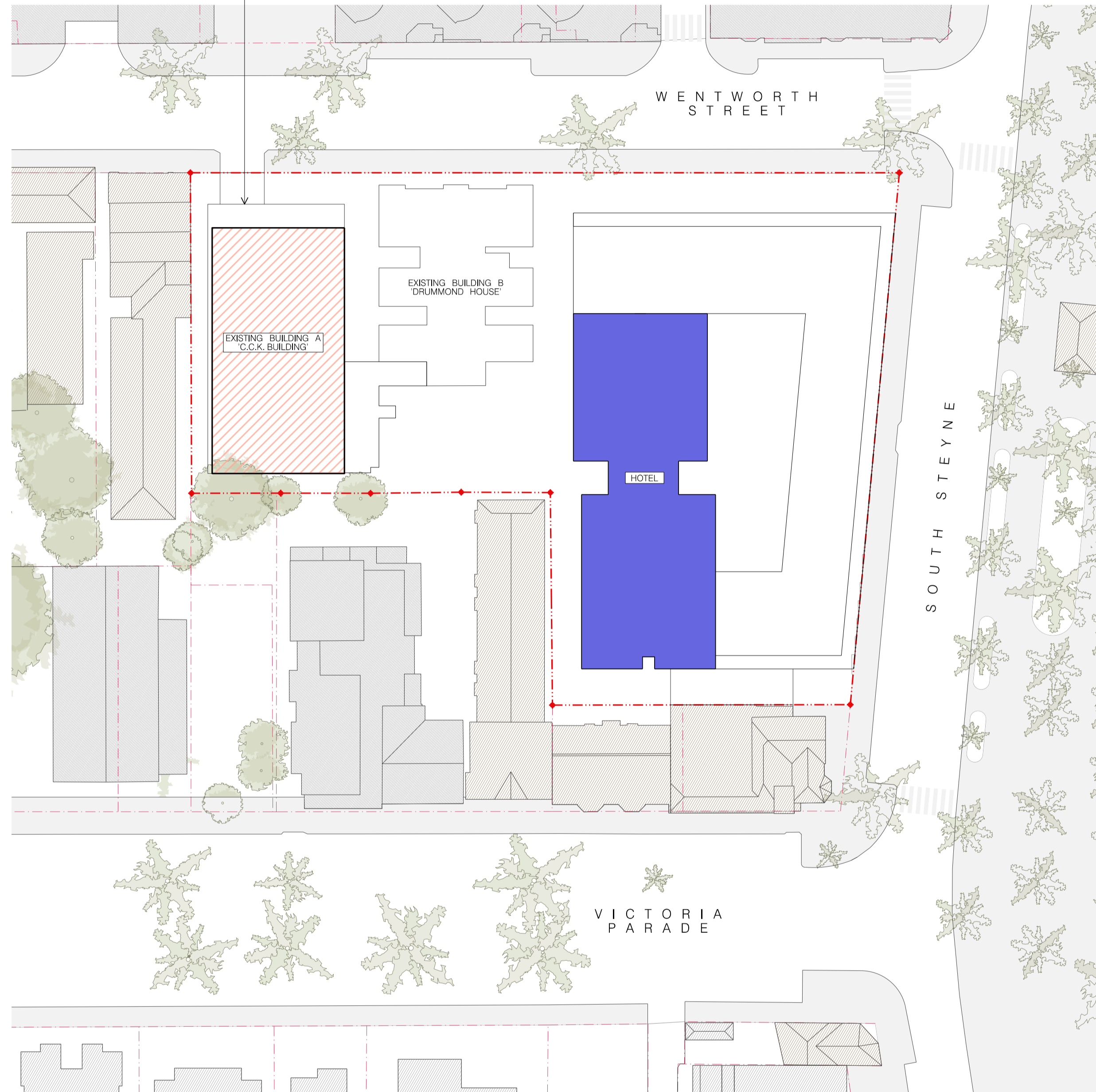
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LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- RFW USE (NEW ACCOMMODATION)
- RFW USE (EXISTING CCK BUILDING)
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING /PLAYGROUND
- COMMERCIAL
- RESIDENTIAL

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further notation. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Drawings ORIGINAL SIZE: A1</p>	<p>Town Planner: Boston Blyth Fleming Suite 1, 9 Narabang Way Belmore NSW 2065 greg@bfbfplanners.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepg.com.au T: 02 8233 9900</p>	<p>Heritage Consultant: URBIS Angill Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: CityPlan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 sydney@douglaspartners.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@rtanet.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Sydney NSW 2000 info@jil.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 15 Military Rd Neutral Bay NSW 2089 info@james.taylorassociates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMSJ:MB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: LEVEL 5 ENVELOPE PLANS Drawing Number: S75W -1008</p>	<p>Job Number: 5899 Issue: B.</p>
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OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).

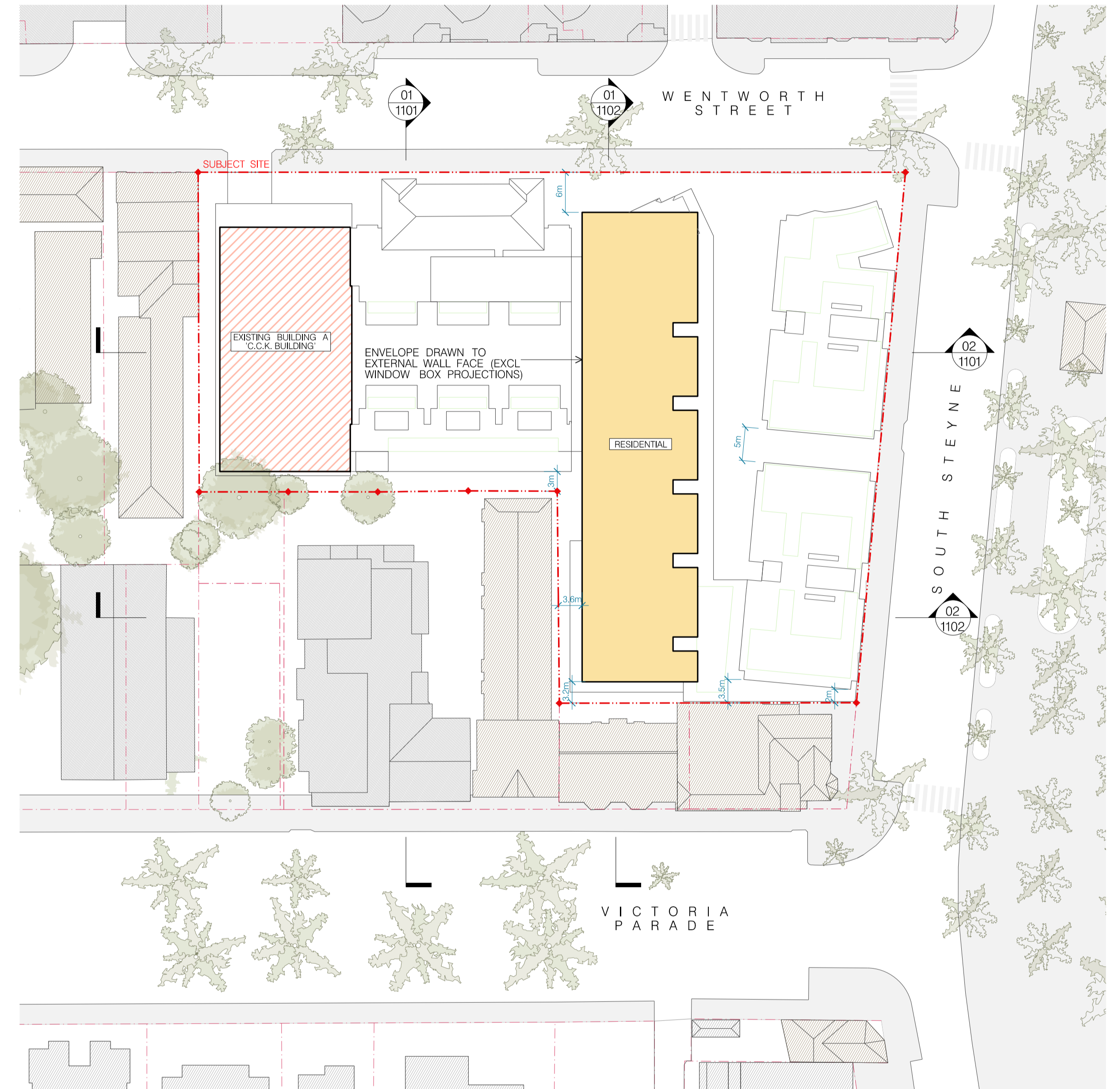


01 LEVEL 6 ENVELOPE PLAN - PART 3A

1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- GROUND LEVEL LANDSCAPING
- RETAIL
- RESIDENTIAL
- HOTEL USE



02 LEVEL 6 ENVELOPE PLAN - PROPOSAL

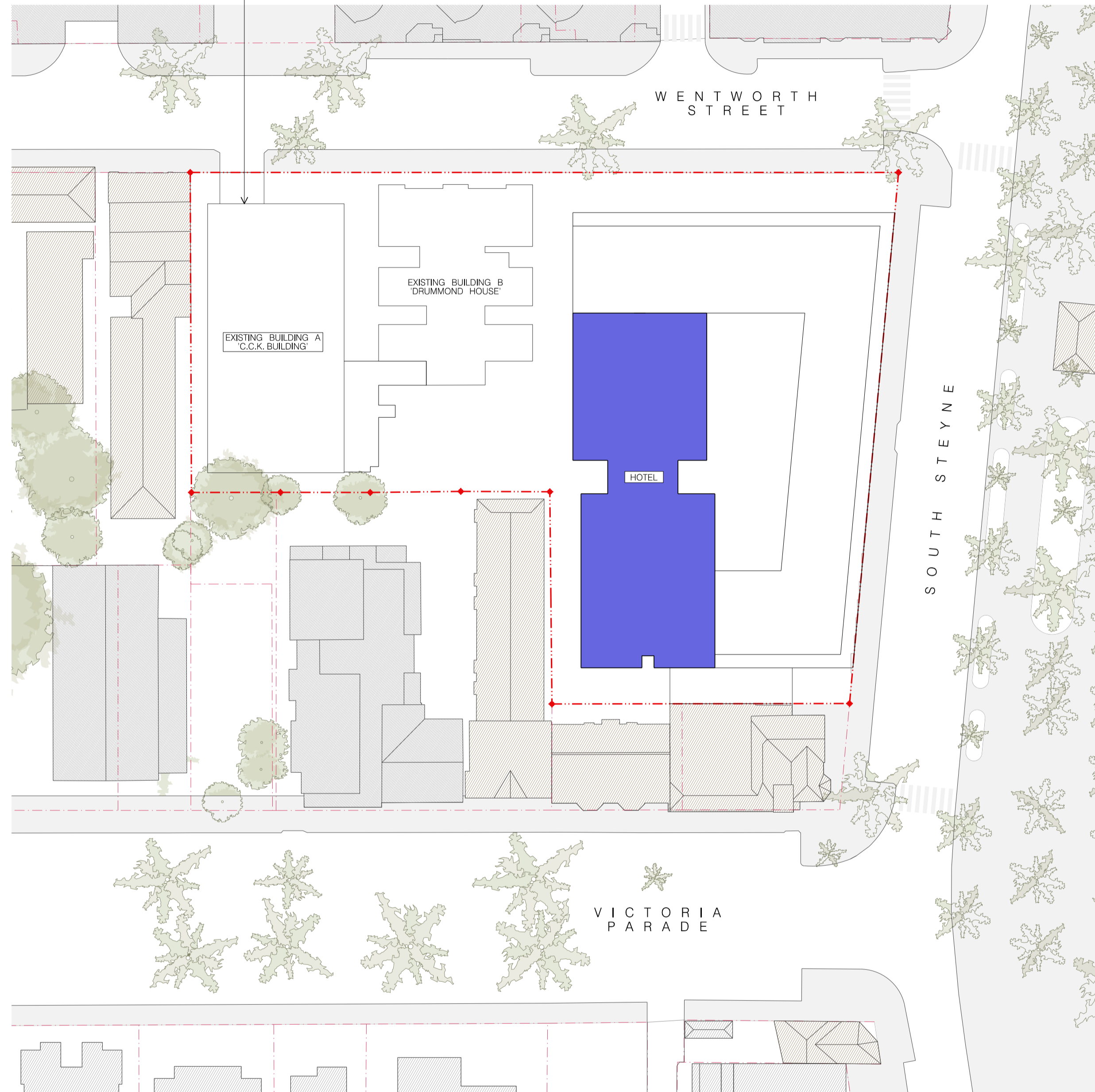
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LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- RFW USE (NEW ACCOMMODATION)
- RFW USE (EXISTING CCK BUILDING)
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING /PLAYGROUND
- COMMERCIAL
- RESIDENTIAL

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further notation.</p> <p>Do not scale from this drawing. Only figured dimensions shall be used.</p> <p>Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) shall be shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication.</p> <p>This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming</p> <p>Suite 1, 9 Narabang Way Belmore NSW 2065 greg@bfbfplanners.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group</p> <p>Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepg.com.au</p>	<p>Heritage Consultant: URBIS</p> <p>Angill Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: CityPlan</p> <p>Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners</p> <p>96 Hermitage Rd West Ryde NSW 2114 info@douglasp.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates</p> <p>Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@rtanet.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture</p> <p>Suite 203, 12, 61 Marlborough St Sydney NSW 2000 info@jil.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD</p> <p>Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop</p> <p>Level 11, 345 George St Sydney NSW 2000 info@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting</p> <p>Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates</p> <p>Suite 1, 15 Military Rd Neutral Bay NSW 2089 contact@james.taylor.associates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST</p> <p>Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly</p> <p>Client: Royal Far West</p> <p>Scale: As shown @ A1</p> <p>Drawn By: LMSJ:MB</p> <p>Checked 1: MB, EP</p> <p>Checked 2: EP</p> <p>Approved: EP</p>	<p>Architect: Murcutt Candalepas</p> <p>Glen Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773</p> <p>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: LEVEL 6 ENVELOPE PLANS</p> <p>Drawing Number: S75W -1009</p>	<p>Job Number: 5899</p> <p>Issue: B.</p>
	<p>FOR A 575W APPLICATION ONLY</p>														

OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).

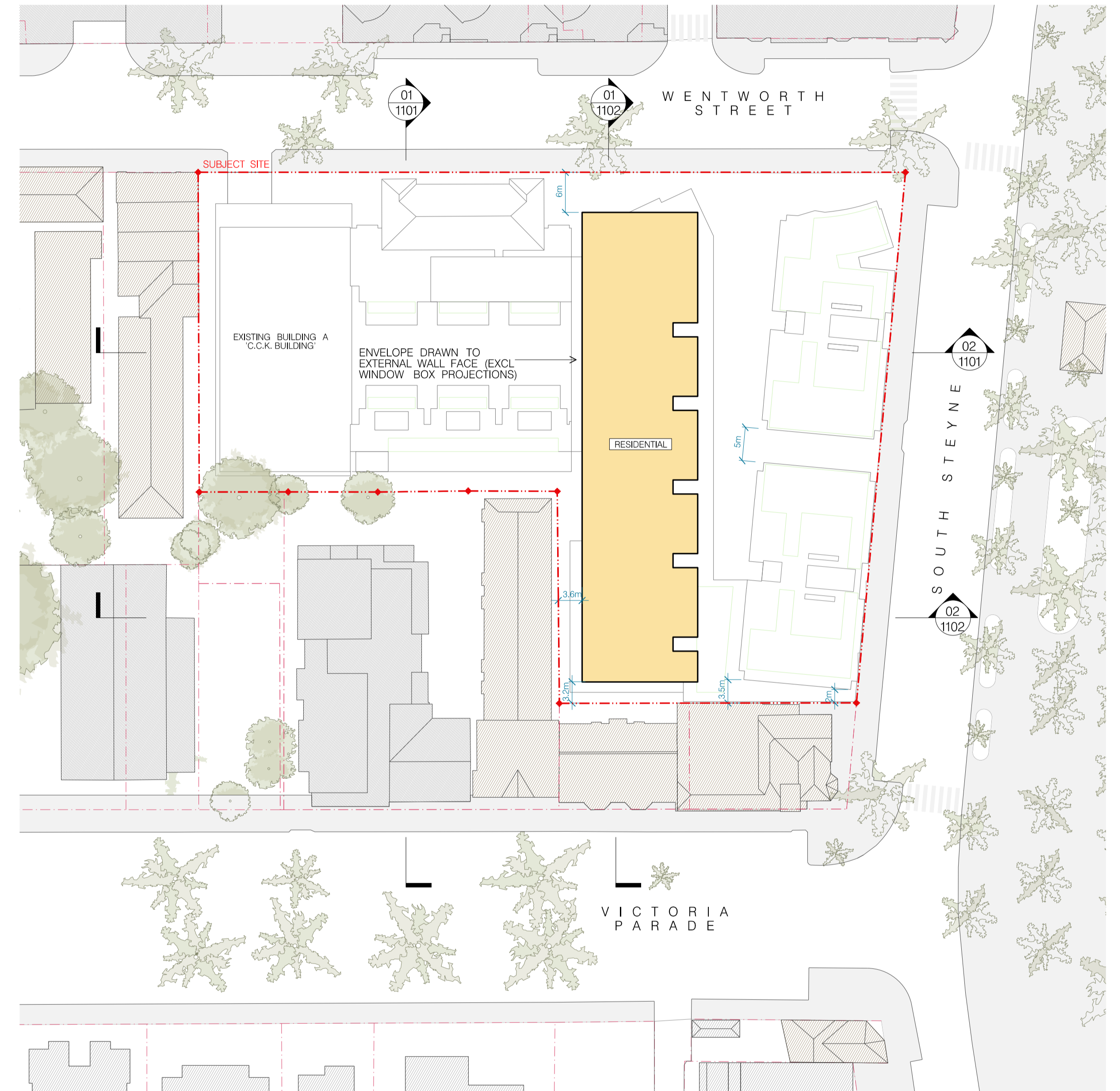


01 LEVEL 7 ENVELOPE PLAN - PART 3A

1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- GROUND LEVEL LANDSCAPING
- RETAIL
- RESIDENTIAL
- HOTEL USE



02 LEVEL 7 ENVELOPE PLAN - PROPOSAL

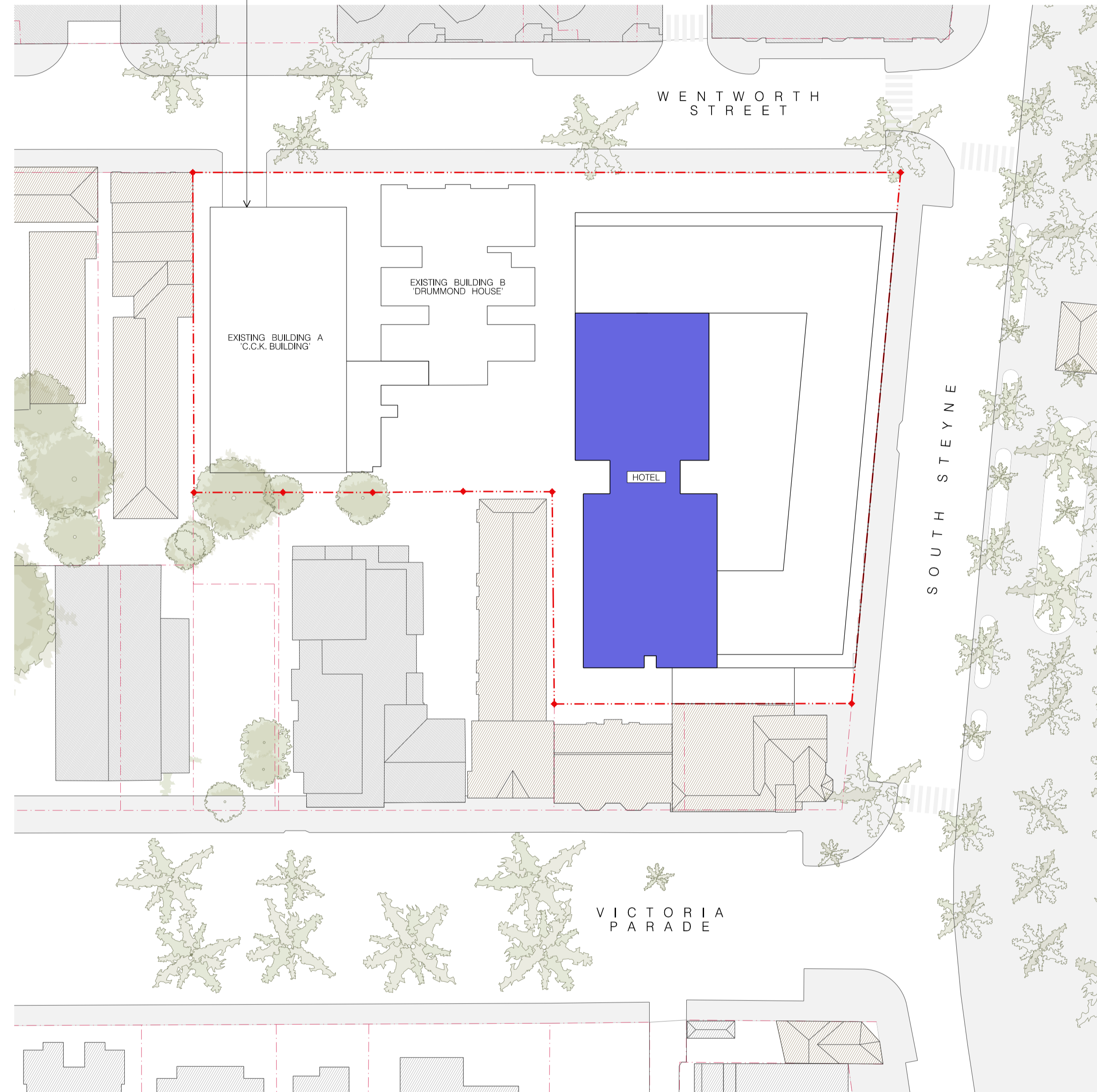
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LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- RFW USE (NEW ACCOMMODATION)
- RFW USE (EXISTING CCK BUILDING)
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING / PLAYGROUND
- COMMERCIAL
- RESIDENTIAL

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further notation. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicators only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belfair NSW 2085 greg@blythfleming.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepm.com.au T: 02 8233 9900</p>	<p>Heritage Consultant: URBIS Angell Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: URBIS Level 6, 120 Sussex St Sydney NSW 2000 reception@urbis.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@douglasp.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@rtanet.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Sydney NSW 2000 info@jil.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 info@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 15 Military Rd Neutral Bay NSW 2089 contact@james.taylor.associates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMSJ:MB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: LEVEL 7 ENVELOPE PLANS Drawing Number: S75W -1010</p>	<p>Job Number: 5899 Issue: B.</p>
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OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).



01 LEVEL 8 ENVELOPE PLAN - PART 3A

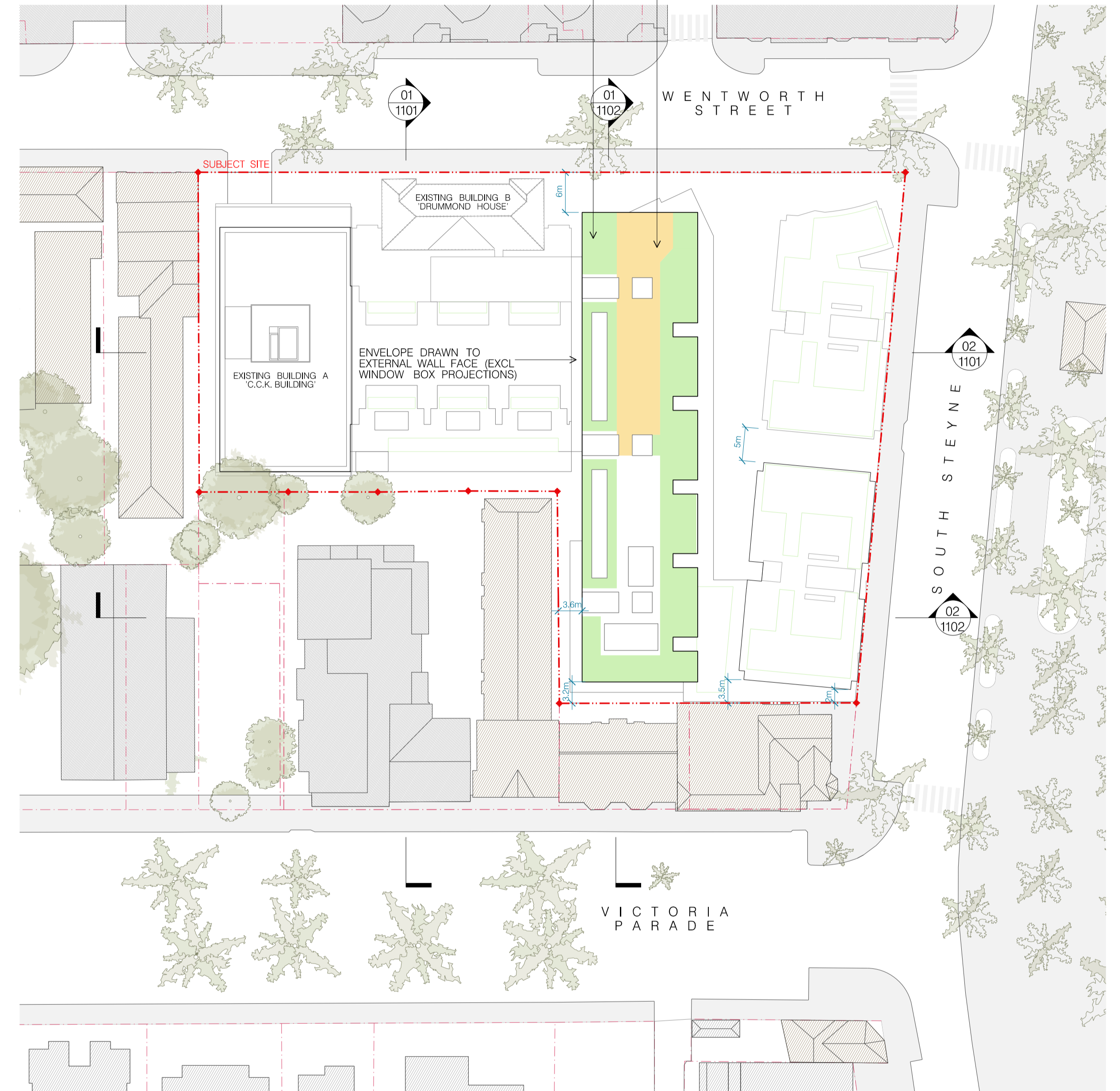
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LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- GROUND LEVEL LANDSCAPING
- RETAIL
- RESIDENTIAL
- HOTEL USE

ROOF TOP PLANTING AREAS

ROOF TOP COMMUNAL OPEN SPACE, LIFT & STAIR CORES ELEVATED TO ALLOW FOR ACCESS.



02 LEVEL 8 ENVELOPE PLAN - PROPOSAL

1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- RFW USE (NEW ACCOMMODATION)
- RFW USE (EXISTING CCK BUILDING)
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING /PLAYGROUND
- COMMERCIAL
- RESIDENTIAL

Note:
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DRAWING ORIGINATOR: SITE A1

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T: 02 8203 5447

Structural Engineer:
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Neutral Bay NSW 2089
info@james.taylorassociates.com.au
T: 02 9969 1999

Scale: As shown @ A1
Drawn By: LMS7/MJB
Checked 1: MB, EP
Checked 2: EP
Approved: EP

Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West

Architect:
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Angela Candalepas Registration No. NSW 5773
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Sydney NSW 2000
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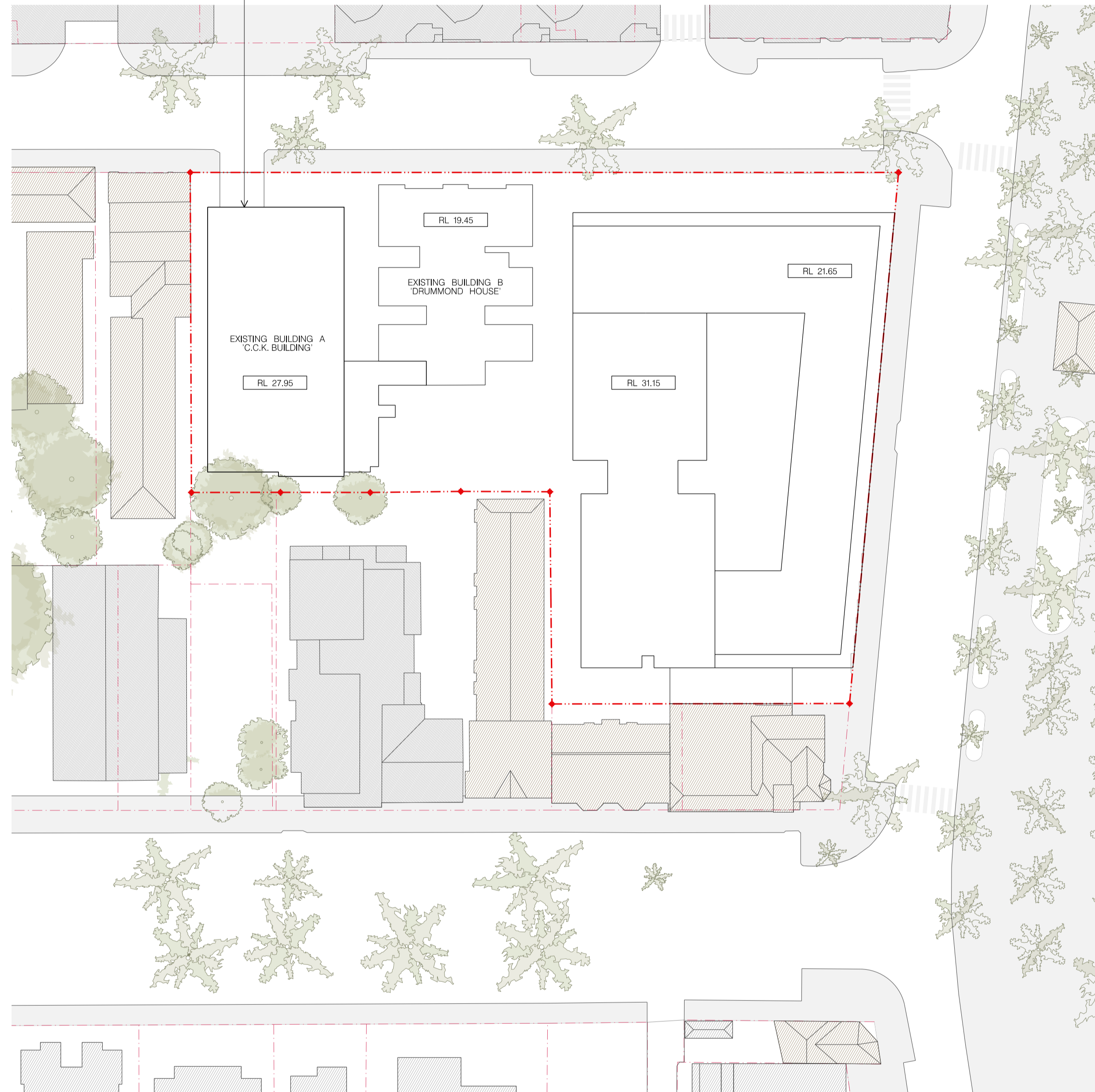
Drawing:
LEVEL 8 ENVELOPE PLANS
Drawing Number:
S75W -1011

Job Number:
5899
Issue:
B.

FOR A 575W APPLICATION ONLY

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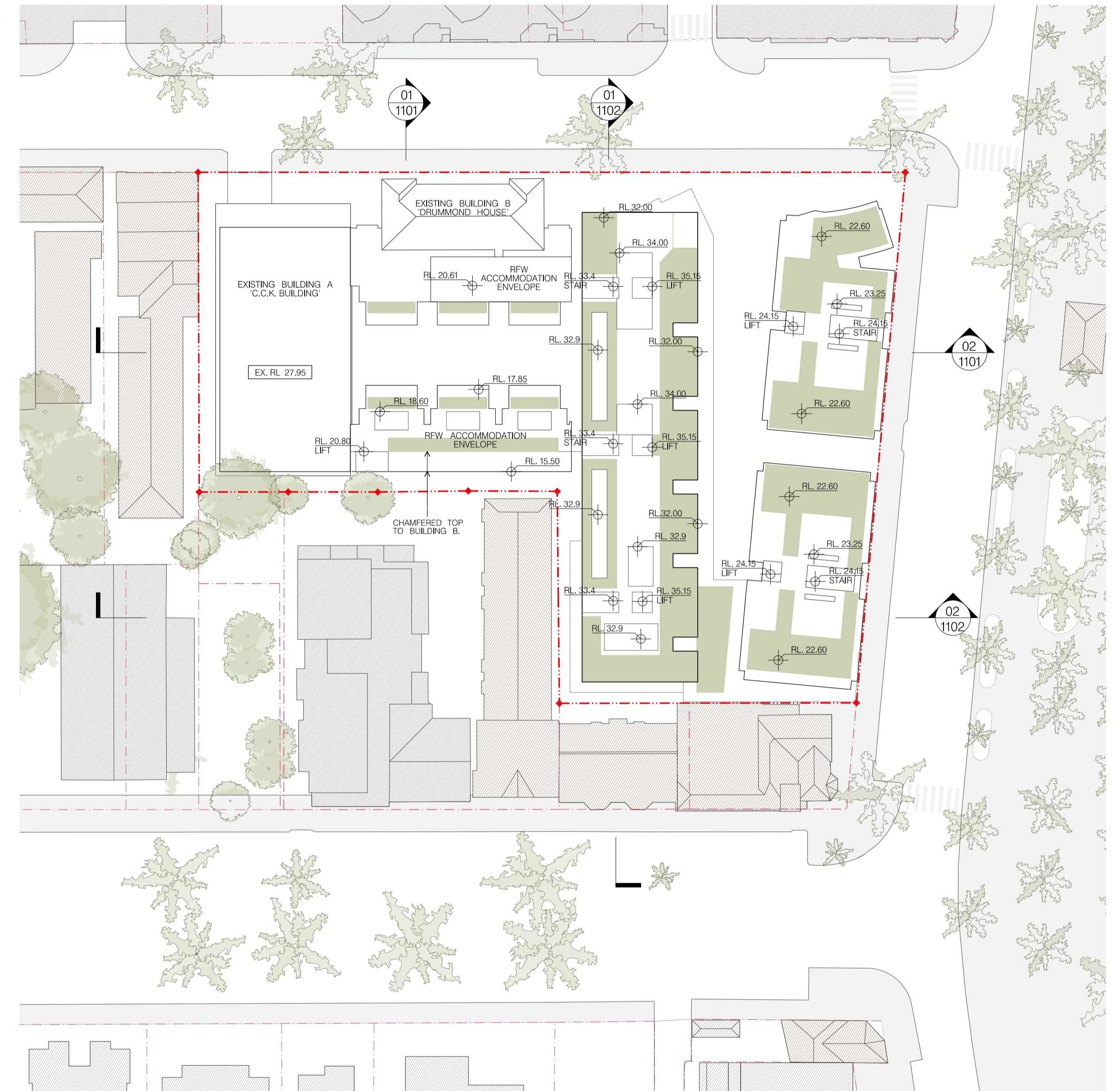
OUTLINE OF THE APPROVED CCK BUILDING SHOWN (DA 2532014).



01 ROOF ENVELOPE PLAN - PART 3A
1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- 'C.C.K. BUILDING PROPOSED AS PART OF PART 3A
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- GROUND LEVEL LANDSCAPING
- RETAIL
- RESIDENTIAL
- HOTEL USE



02 ROOF ENVELOPE PLAN - PROPOSAL
1:500

LEGEND:

- MANLY LEP 2013 HERITAGE ITEM
- R.F.W. USE (NEW ACCOMMODATION)
- R.F.W. USE (EXISTING CCK BUILDING)
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- LANDSCAPING /PLAYGROUND
- COMMERCIAL
- RESIDENTIAL

Note:
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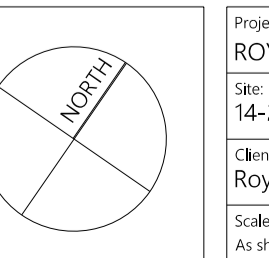
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Civil & Stormwater Engineers:
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T: 02 9969 1999

Rev	Date	Description
1	14/07/2023	Issued for construction



Project:
ROYAL FAR WEST
14-22 Wentworth Street & 19-21 South Steyne, Manly

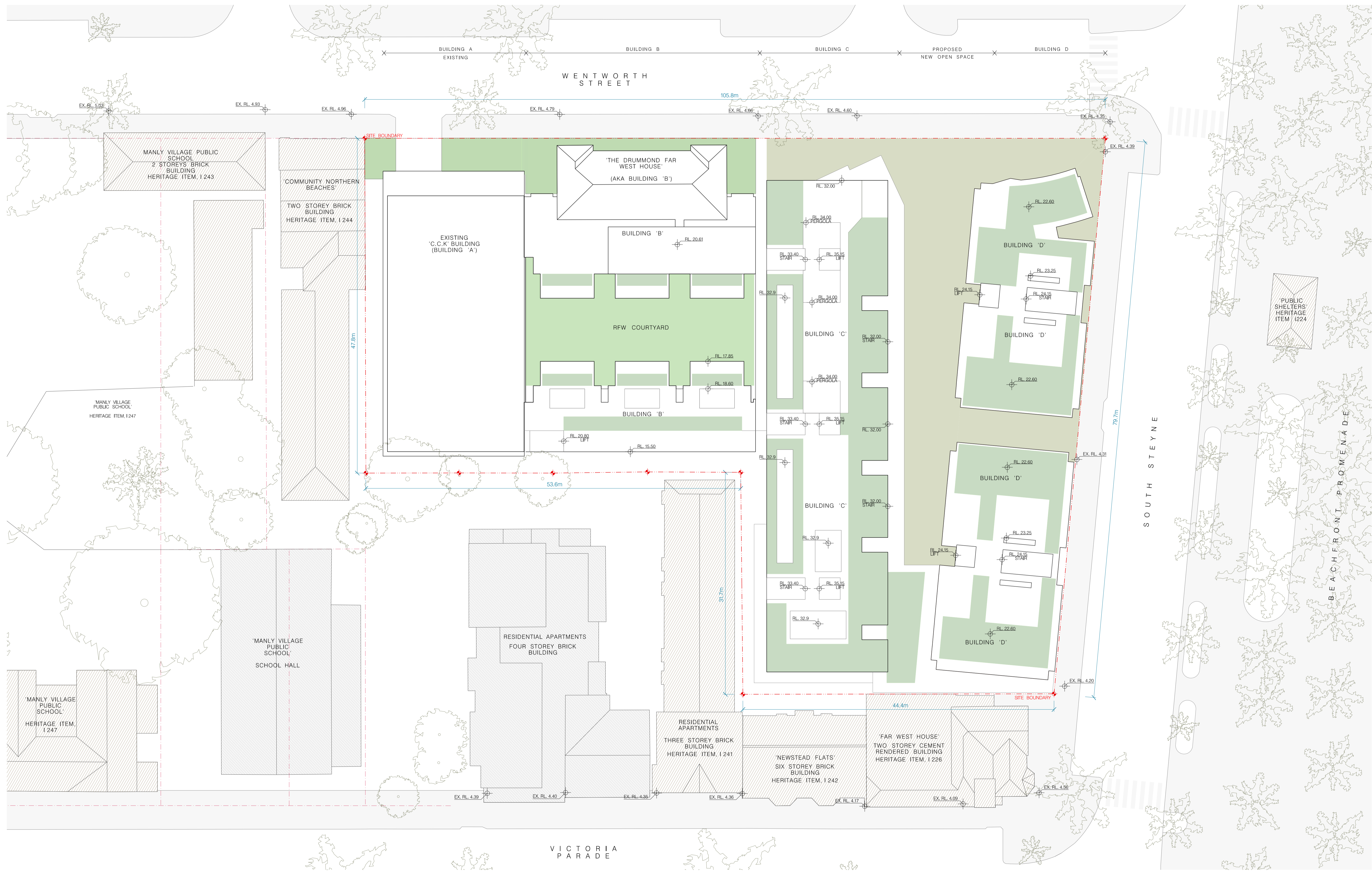
Client:
Royal Far West
Scale: As shown @ A1
Drawn By: LMS7/MJB
Checked 1: MJB, EP
Checked 2: EP
Approved: EP

Architect:
Murcutt Candalepas
Glenn Murcutt Registration No. NSW 2448
Angela Candalepas Registration No. NSW 5773
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info@candalepas.com.au
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Drawing:
ROOF ENVELOPE PLANS
Drawing Number:
S75W -1012

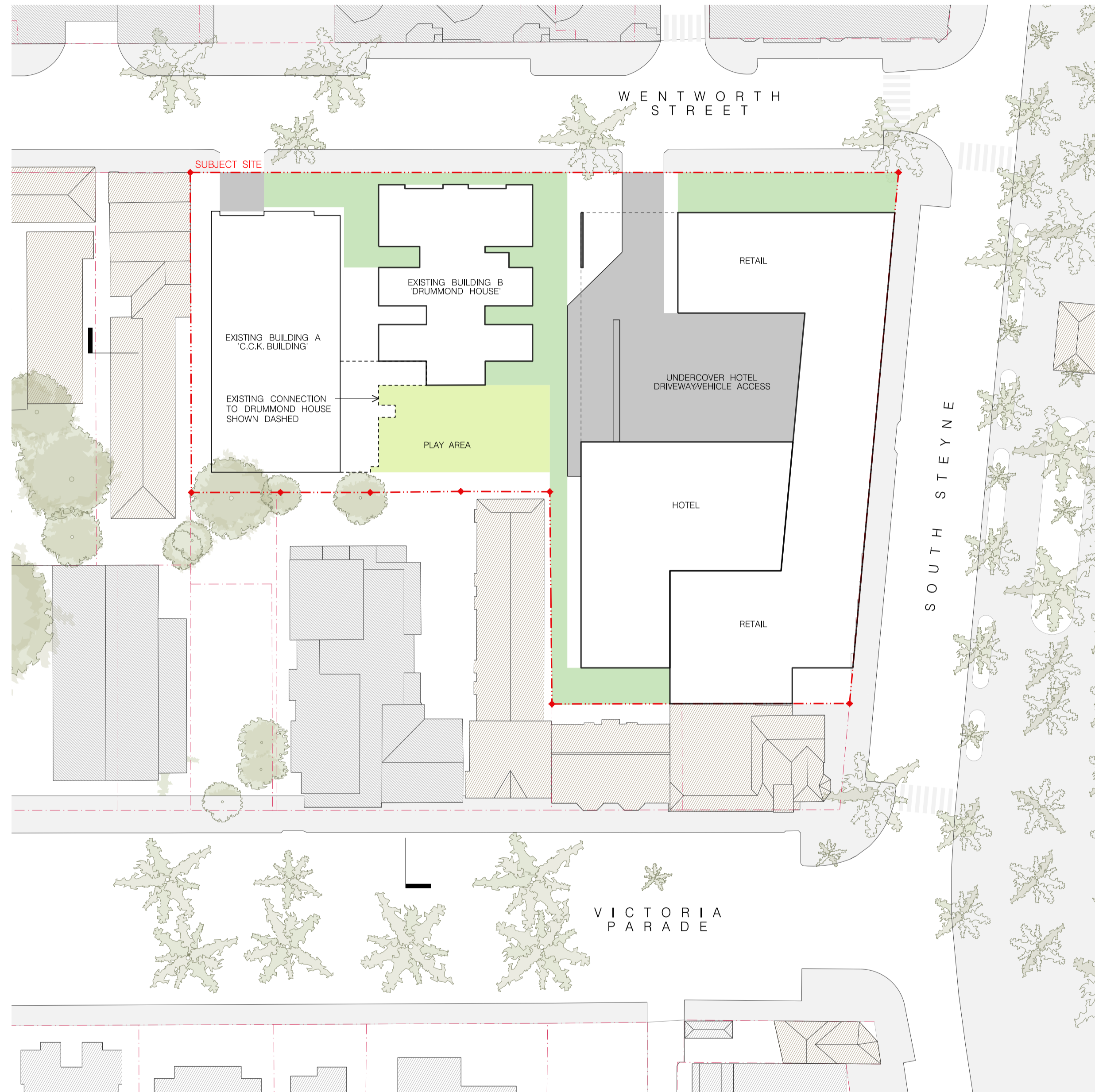
Job Number:
5899
Issue:
B.

FOR A.S75W APPLICATION ONLY



01 SITE PLAN
1:250

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (e.g. structural, mechanical, electrical & hydraulic, engineering, documentation etc.) Refer architectural drawing notes page for further information. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming</p>	<p>Project Manager: Lighthouse Project Group</p>	<p>Heritage Consultant: URBIS</p>	<p>BCA Consultant: City Plan</p>	<p>Geotech & Contamination: Douglas & Partners</p>	<p>Acoustic Engineer: Renzo Tonin & Associates</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture</p>	<p>Fire & Fire Services Engineers: GHD</p>	<p>Civil & Stormwater Engineers: Northrop</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting</p>	<p>Structural Engineer: James Taylor & Associates</p>	<p>Architect: Murcutt Candalepas</p>	<p>Drawing: SITE PLAN</p>	<p>Job Number: 5899</p>
	<p>Sub 1, 9 Narabang Way Belmore NSW 2065 greg@bfplanners.com.au T: 02 9986 2535</p>	<p>Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousegroup.com.au T: 02 8233 9900</p>	<p>Angell Place, 18, 123 Pitt St Sydney NSW 2000</p>	<p>Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>96 Hermitage Rd West Ryde NSW 2114 info@dfp.com.au T: 02 9809 0666</p>	<p>Level 1, 418A Elizabeth St Sydney NSW 2010 sydney@renzotonin.com.au T: 02 8218 0500</p>	<p>Sub 203, 12, 61 Marlborough St Sydney NSW 2010 info@janer.com.au T: 02 9212 6957</p>	<p>Level 15, 133 Castlereagh St Sydney NSW 2000 contact@adpconsulting.com.au T: 02 9239 7100</p>	<p>Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p>Level 3, 8 Spring St Neutral Bay NSW 2089 contact@adpconsulting.com.au T: 02 8033 5447</p>	<p>Sub 1, 115 Military Rd Neutral Bay NSW 2089 mail@jamestaylorandassociates.com.au T: 02 9969 1999</p>	<p>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 1427</p>	<p>Drawing Number: S75W - 1060</p>	<p>Issue: B.</p>

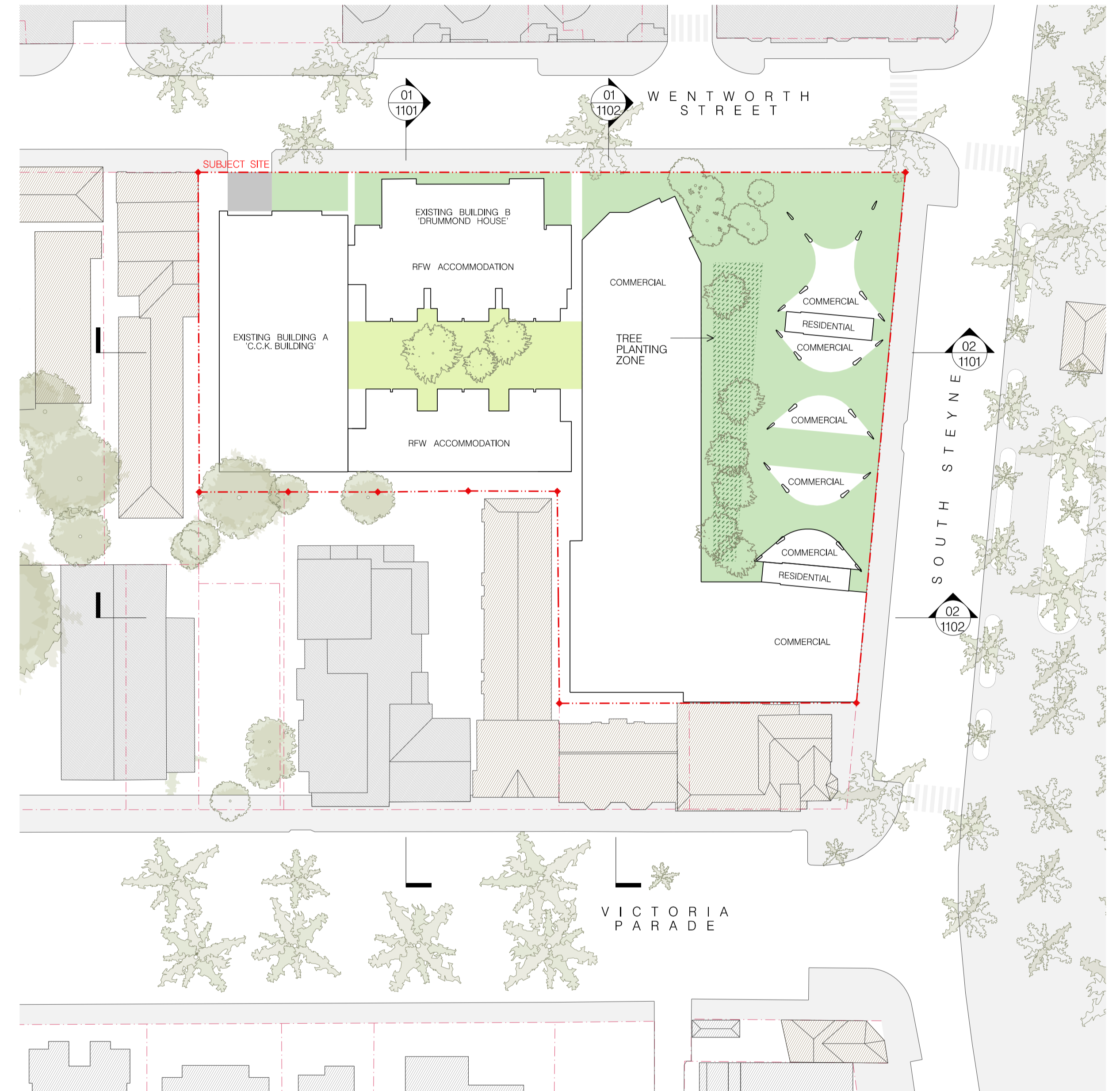


01 GROUND FLOOR LANDSCAPE PLAN - PART 3A

1:500

LEGEND:

- LANDSCAPING
- LANDSCAPING /CHILDRENS PLAY AREA
- ABOVE GROUND DRIVEWAY AND CAR ZONES



02 GROUND FLOOR LANDSCAPE PLAN - PROPOSAL

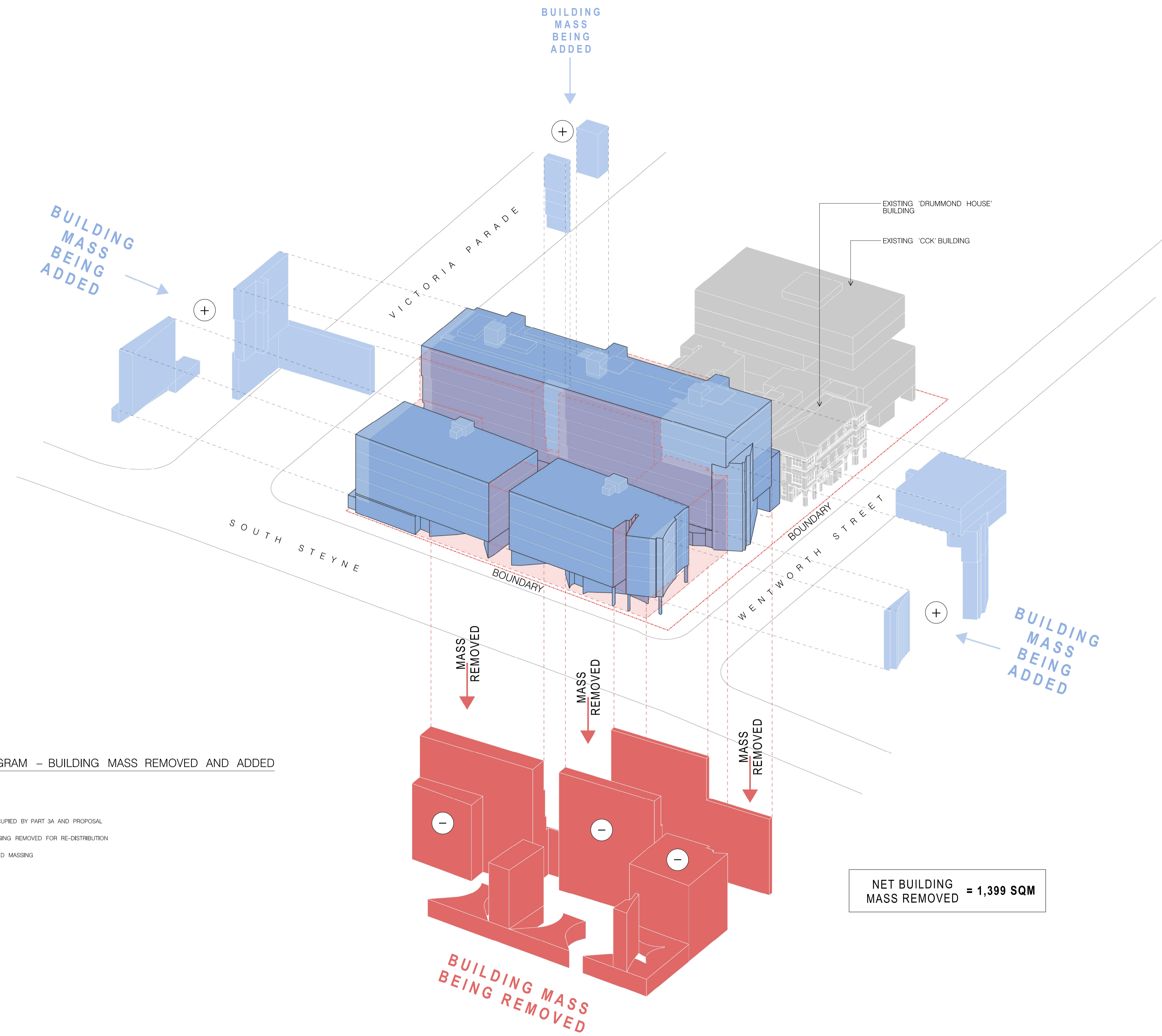
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LEGEND:

- LANDSCAPING (INCL HARD AND SOFT WORKS)
- LANDSCAPING /CHILDRENS PLAY AREA
- UNDERCOVER OPEN SPACE /LANDSCAPING
- ZONE FOR TREE PLANTING
- DEEP PODIUM PLANTING TO ALLOW MATURE TREE GROWTH
- MULTIPURPOSE SPACE
- ABOVE GROUND DRIVEWAY AND CAR ZONES

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (e.g. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further notations. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) are shown on these architectural documents as indicators only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belmore NSW 2065 greg@bffplanners.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepm.com.au</p>	<p>Heritage Consultant: URBIS Angell Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: URBIS Level 6, 120 Sussex St Sydney NSW 2000 reception@urbis.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@douglasp.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Surry Hills NSW 2010 info@ra.net.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Surry Hills NSW 2010 info@jila.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8003 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 115 Military Rd Neutral Bay NSW 2089 mail@james.taylor.associates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMS7/MJB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: GROUND FLOOR LANDSCAPE PLANS Drawing Number: S75W -1070</p>	<p>Job Number: 5899 Issue: B.</p>
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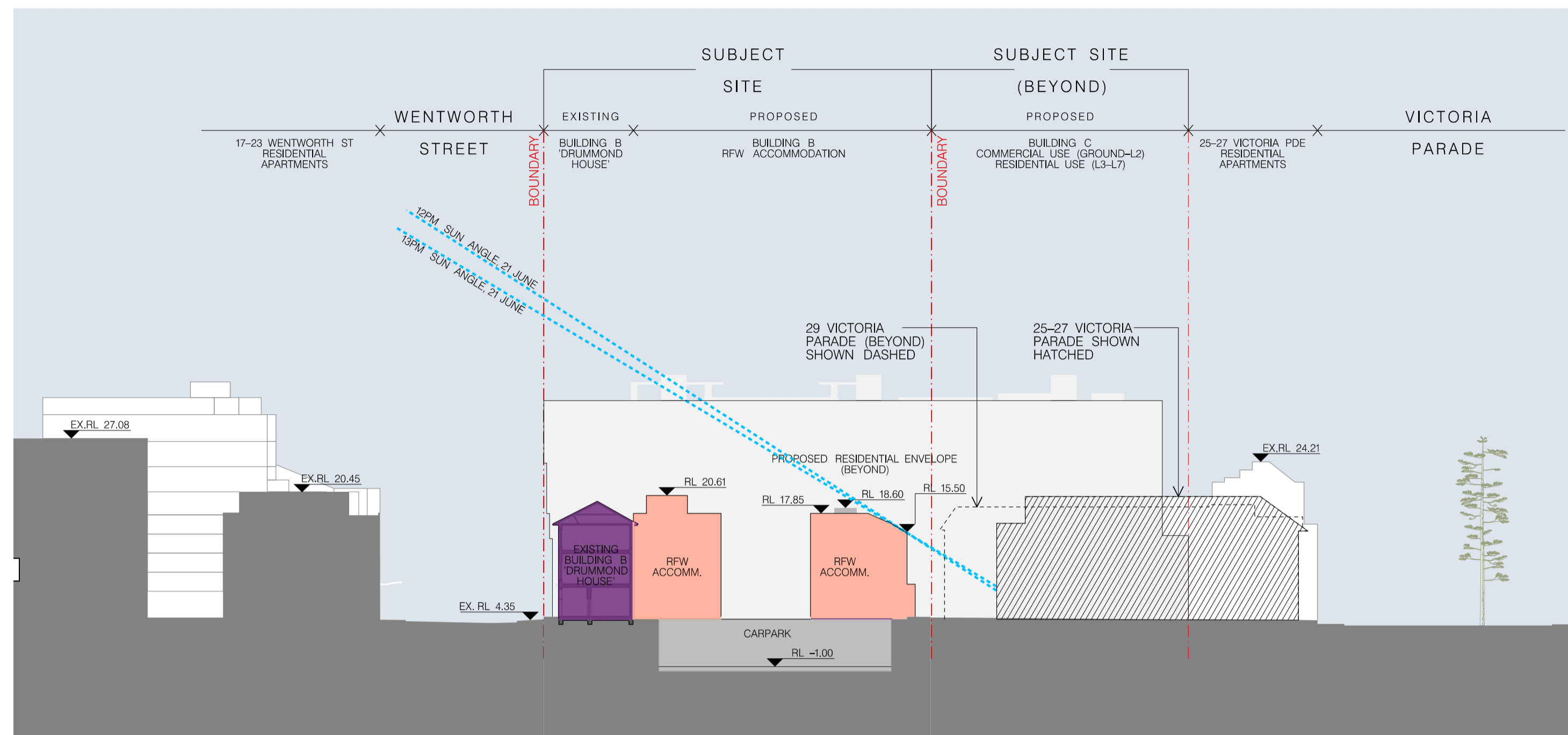
300mm
250mm
200mm
150mm
100mm



01 MASSING DIAGRAM – BUILDING MASS REMOVED AND ADDED
NTS

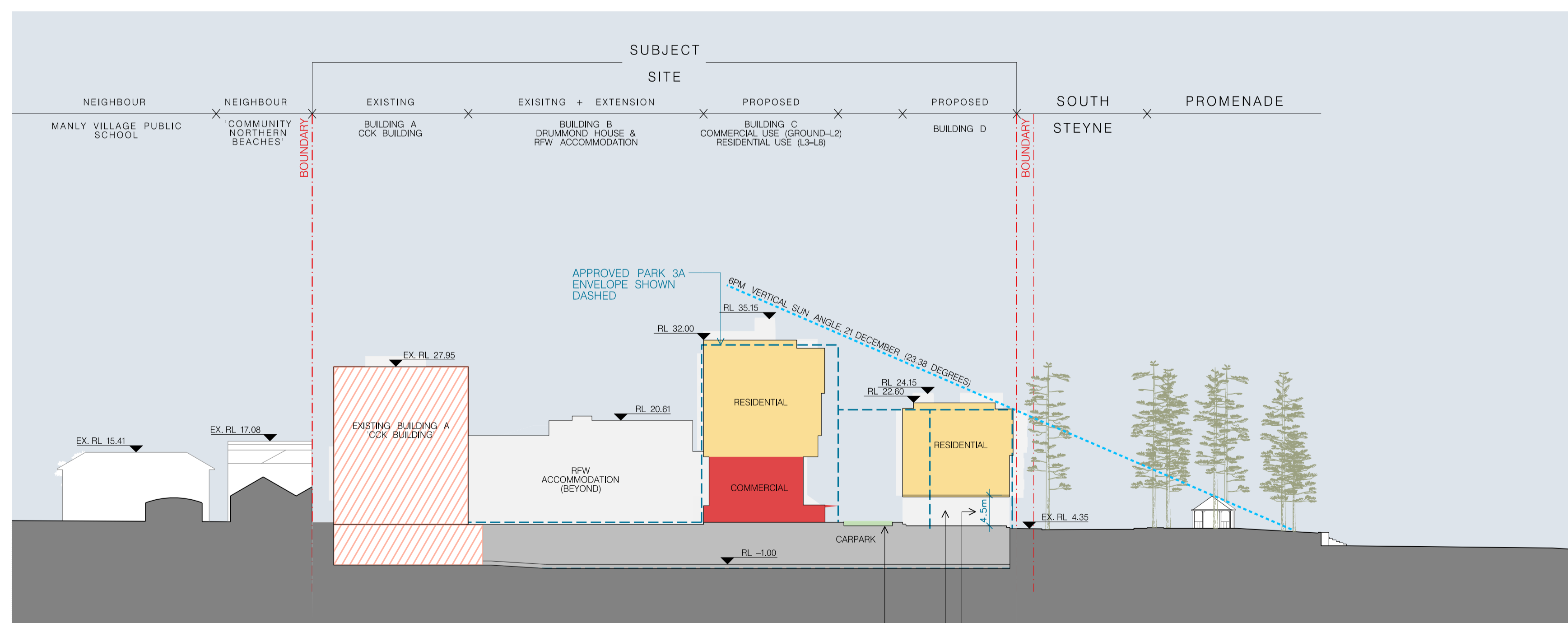
- LEGEND:
- MASSING OCCUPIED BY PART 3A AND PROPOSAL
 - PART 3A MASSING REMOVED FOR RE-DISTRIBUTION
 - RE-DISTRIBUTED MASSING

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further notation.</p> <p>Do not scale from this drawing. Only figured dimensions shall be used.</p> <p>Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) shall be shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication.</p> <p>This document shall only be used for the purpose for which it was commissioned.</p>	<p>DRAWING ORIGINATOR: SITE: A1</p>	<p>Town Planning: Boston Blyth Fleming</p>	<p>Project Manager: Lighthouse Project Group</p>	<p>Heritage Consultant: URBIS</p>	<p>BCA Consultant: City Plan</p>	<p>Geotech & Contamination: Douglas & Partners</p>	<p>Acoustic Engineer: Renzo Tonin & Associates</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture</p>	<p>Fire & Fire Services Engineers: GHD</p>	<p>Civil & Stormwater Engineers: Northrop</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting</p>	<p>Structural Engineer: James Taylor & Associates</p>	<table border="1"> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> </tr> <tr> <td>1</td> <td>14/07/2021</td> <td>Issued for comment</td> </tr> <tr> <td>2</td> <td>14/07/2021</td> <td>Revised</td> </tr> <tr> <td>3</td> <td>14/07/2021</td> <td>Final</td> </tr> </table>	Rev	Date	Description	1	14/07/2021	Issued for comment	2	14/07/2021	Revised	3	14/07/2021	Final	<p>Project: ROYAL FAR WEST</p> <p>Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly</p> <p>Client: Royal Far West</p> <p>Scale: As shown @ A1</p> <p>Drawn By: LMS/MB</p> <p>Checked 1: MB, EP</p> <p>Checked 2: EP</p> <p>Approved: EP</p>	<p>Architect: Murcutt Candalepas</p> <p>Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773</p> <p>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: MASSING DIAGRAM</p> <p>Drawing Number: S75W - 1080</p>	<p>Job Number: 5899</p> <p>Issue: B.</p>
	Rev	Date	Description																										
1	14/07/2021	Issued for comment																											
2	14/07/2021	Revised																											
3	14/07/2021	Final																											
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- LEGEND:**
- RFW USE
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - COMMERCIAL
 - RESIDENTIAL
 - BASEMENT CARPARKING

01 SECTION B (NORTH - SOUTH)
1:500



- LEGEND:**
- EXISTING BUILDING A 'C.C.K. BUILDING'
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - COMMERCIAL
 - RESIDENTIAL
 - GROUND FLOOR TREE PLANTING ZONE
 - BASEMENT CARPARKING
 - APPROVED PART 3A ENVELOPE

02 SECTION A (EAST - WEST)
1:500

300mm
250mm
200mm
150mm
100mm

Note:
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mail@james.taylorassociates.com.au
T: 02 9969 1999

Rev	Issue	Date	Description
1	Issue	14/07/2023	Issued for construction

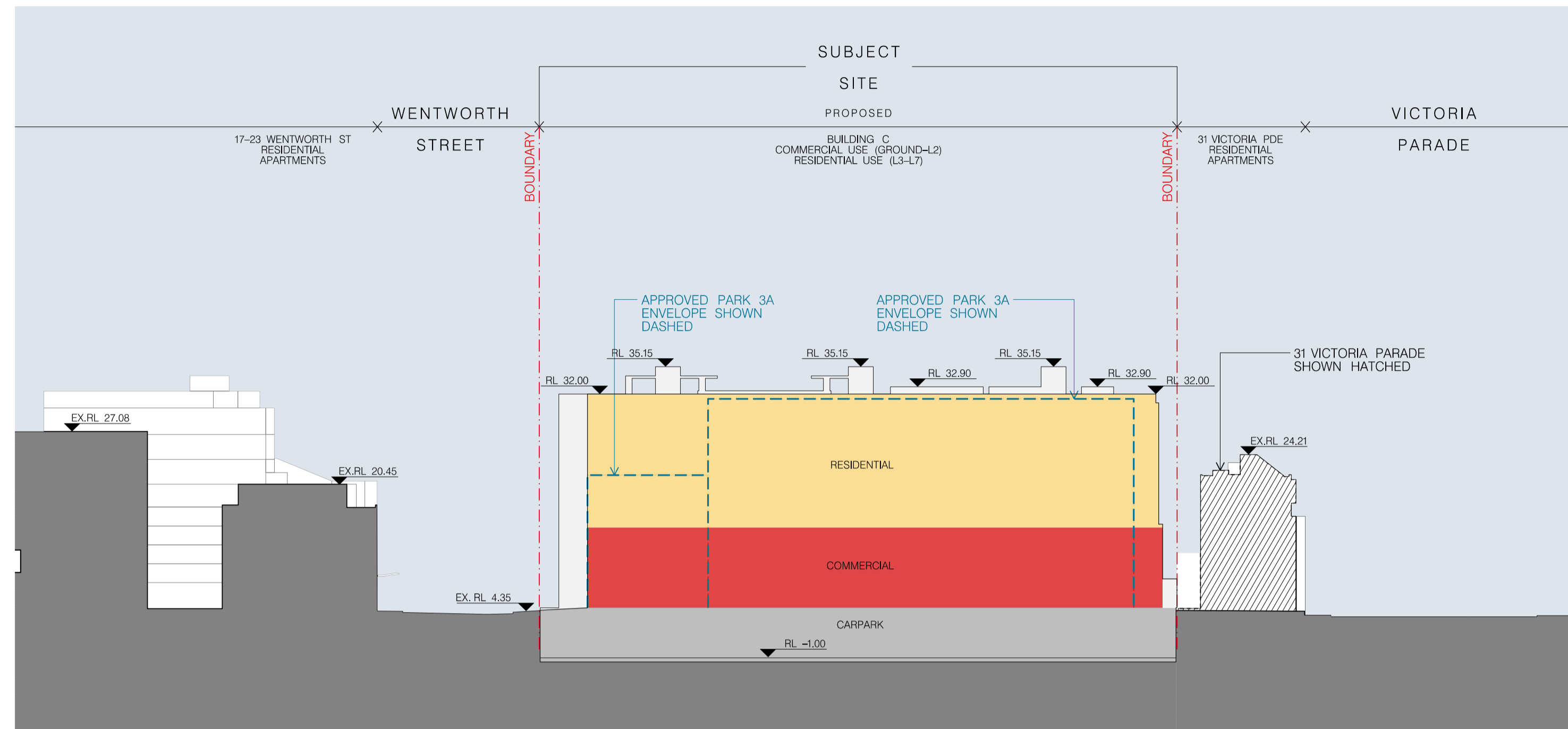
Rev	Issue	Date	Description
1	Issue	14/07/2023	Issued for construction

Project:
ROYAL FAR WEST
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale: As shown @ A1
Drawn By: LMS748
Checked 1: MB, EP
Checked 2: EP
Approved: EP

Architect:
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Glenn Murcutt Registration No. NSW 2448
Angela Candalepas Registration No. NSW 5773
309 Sussex Street
Sydney NSW 2000
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T: 02 9283 7755
F: 02 9283 7477

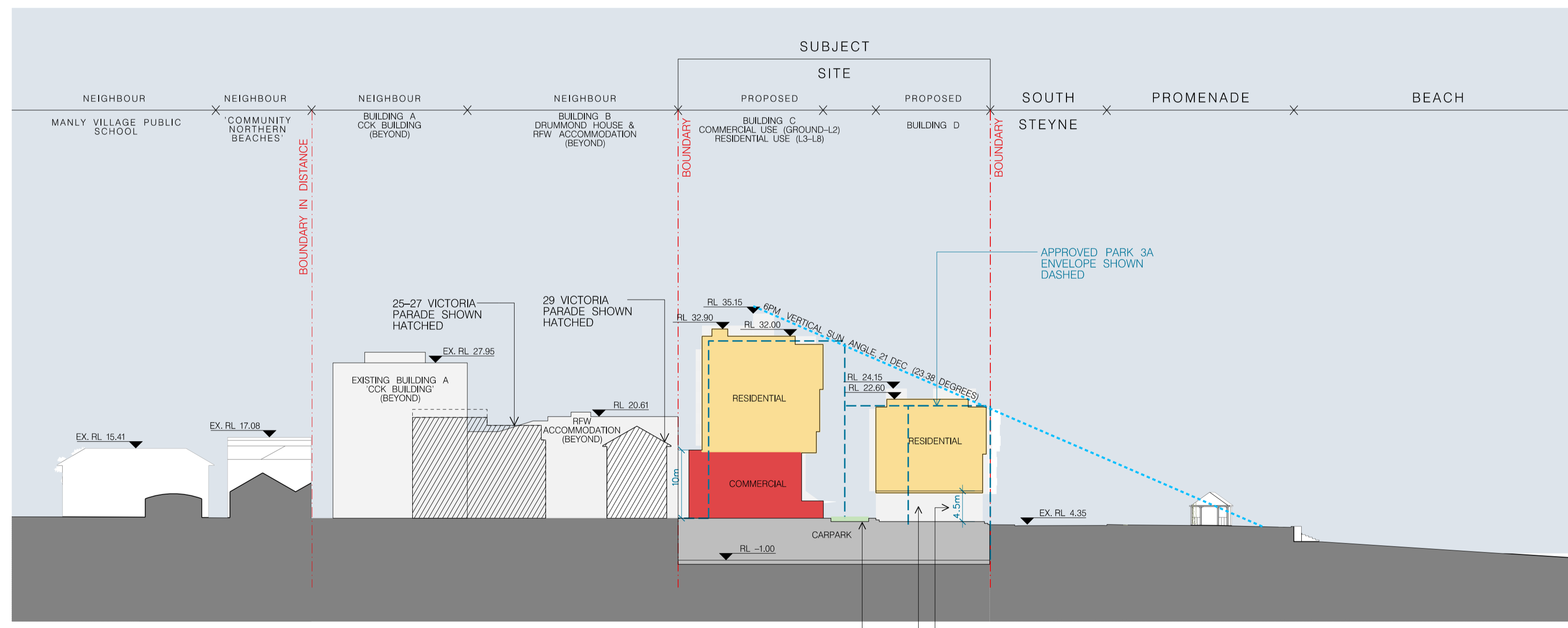
Drawing:
ENVELOPE SECTIONS - SHEET 1
Drawing Number: S75W - 1101

Job Number:
5899
Issue:
B



- LEGEND:**
- COMMERCIAL
 - RESIDENTIAL
 - BASEMENT CARPARKING
 - APPROVED PART 3A ENVELOPE

01 SECTION F (NORTH - SOUTH)
1:500

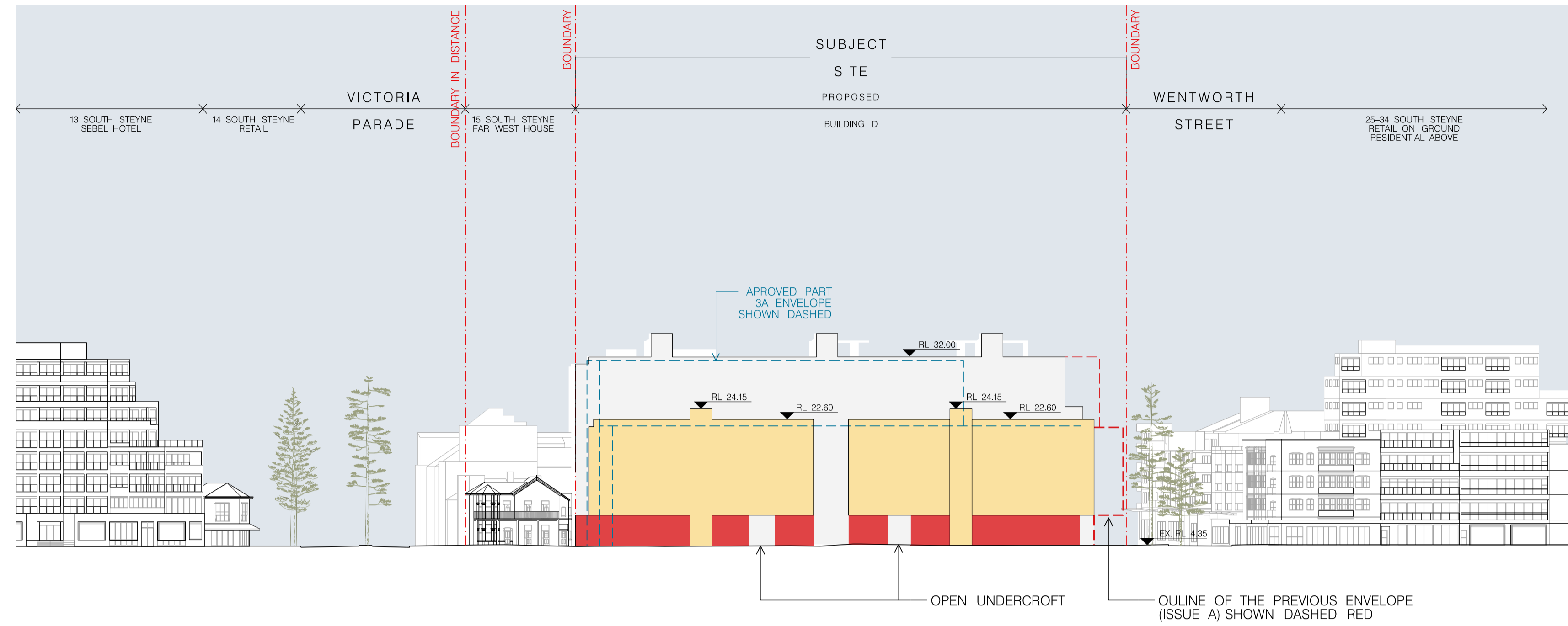


- LEGEND:**
- COMMERCIAL
 - RESIDENTIAL
 - GROUND FLOOR TREE PLANTING ZONE
 - BASEMENT CARPARKING
 - APPROVED PART 3A ENVELOPE

02 SECTION E (EAST - WEST)
1:500

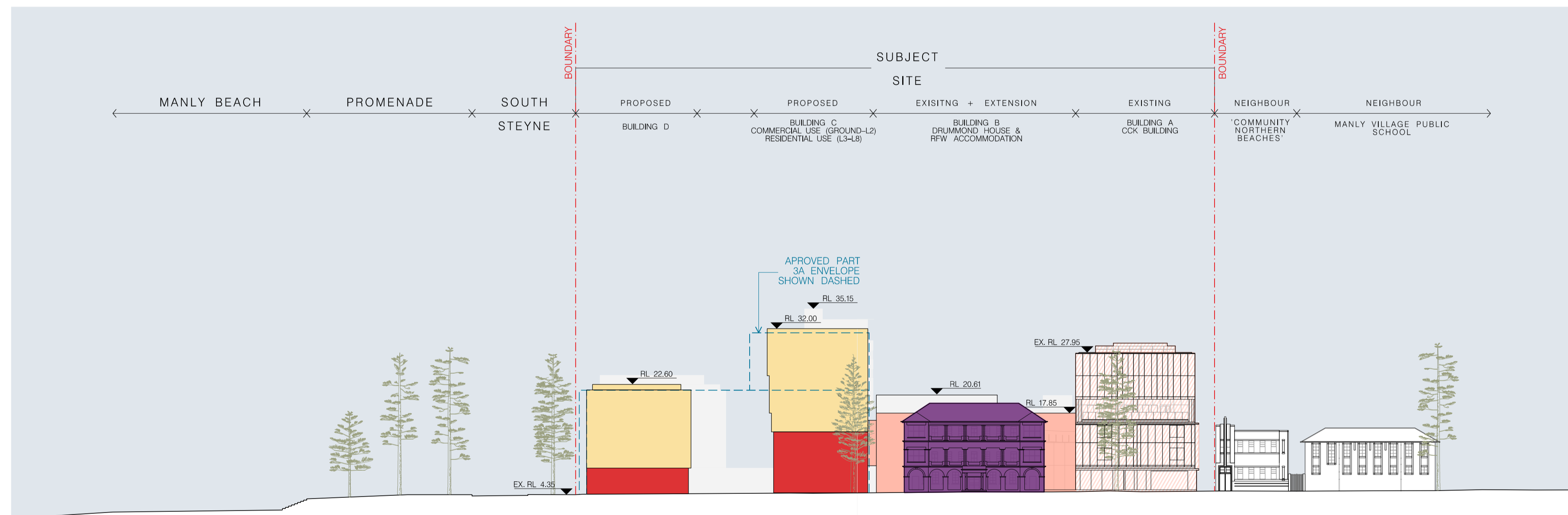
300mm
250mm
200mm
150mm
100mm

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further notations. Do not scale from this drawing. Only figured dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) shall be shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belmore NSW 2065 greg@blythfleming.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepm.com.au</p>	<p>Heritage Consultant: URBIS Angill Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: City Plan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 sydney@douglaspartners.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Surry Hills NSW 2010 sydney@renzotonin.com.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Surry Hills NSW 2010 jirwin@janenet.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 contact@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpconsulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 115 Military Rd Neutral Bay NSW 2089 james.taylor@james-taylor.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LMS3/JAB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: ENVELOPE SECTIONS - SHEET 2 Drawing Number: S75W - 1102</p>	<p>Job Number: 5899 Issue: B.</p>
	<p>FOR A 575W APPLICATION ONLY</p>														



- LEGEND:**
- EXISTING BUILDING A 'C.C.K. BUILDING'
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - RFW ACCOMMODATION
 - COMMERCIAL
 - RESIDENTIAL
 - APPROVED PART 3A ENVELOPE

01 EAST ELEVATION - SOUTH STEYNE
1:500



- LEGEND:**
- EXISTING BUILDING A 'C.C.K. BUILDING'
 - EXISTING BUILDING B 'DRUMMOND HOUSE'
 - RFW ACCOMMODATION
 - COMMERCIAL
 - RESIDENTIAL
 - APPROVED PART 3A ENVELOPE

02 NORTH ELEVATION - WENTWORTH STREET
1:500

Note:
This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further information.
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info@lighthousepm.com.au

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Sydney NSW 2000
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BCA Consultant:
City Plan
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Sydney NSW 2000
reception@cityplan.com.au
T: 02 8270 3100

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Sydney NSW 2000
T: 02 9239 7100

Civil & Stormwater Engineers:
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Level 11, 345 George St
Sydney NSW 2000
sydney@northrop.com.au
T: 02 9241 4188

Hydraulic & Mechanical Engineers:
ADP Consulting
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Sydney NSW 2000
contact@adpconsulting.com.au
T: 02 8203 5447

Structural Engineer:
James Taylor & Associates
Suite 1, 115 Military Rd
Neutral Bay NSW 2089
neutral@james.taylor.associates.com.au
T: 02 9969 1999

Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
As shown @ A1
Drawn By:
LMS748
Checked 1:
MBL, EP
Checked 2:
EP
Approved:
EP

Architect:
Murcutt Candalepas
Glenn Murcutt Registration No. NSW 2448
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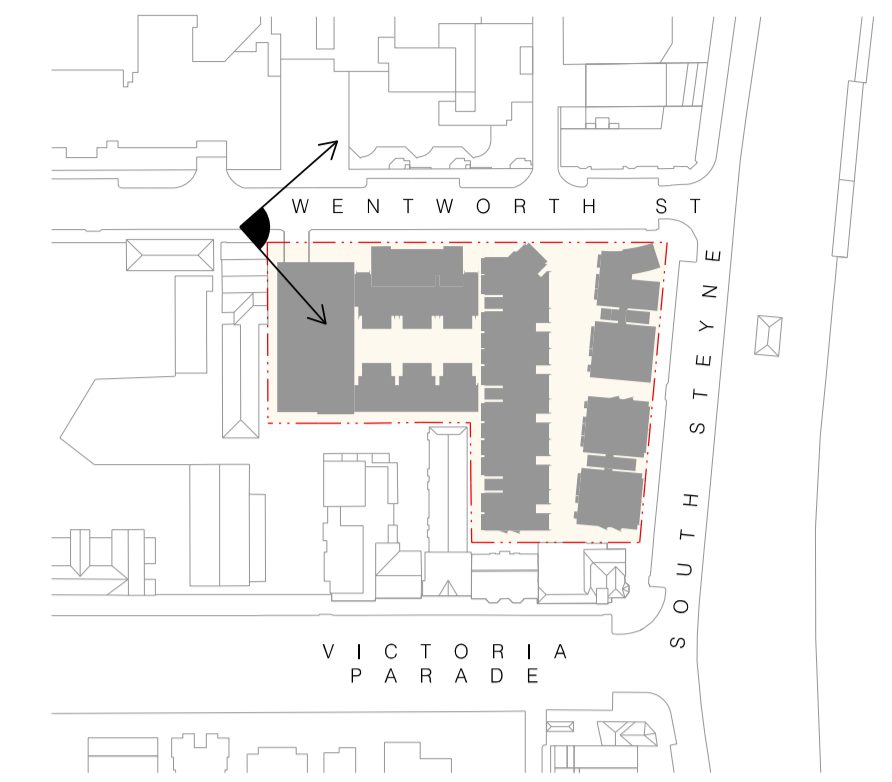
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KEY PLAN



01 APPROVED 3A ENVELOPE VIEW
LOOKING EAST DOWN WENTWORTH ST

LEGEND:

- EXISTING BUILDING A 'C.C.K. BUILDING'
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- APPROVED PART 3A ENVELOPE



02 PROPOSED 3A ENVELOPE VIEW
LOOKING EAST DOWN WENTWORTH ST

LEGEND:

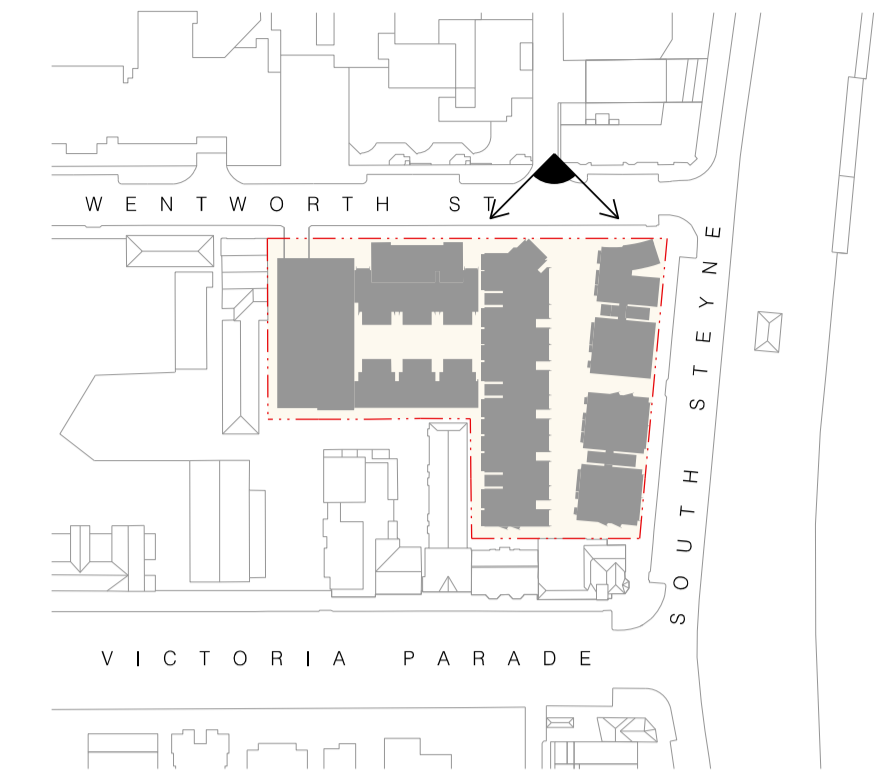
- DENOTES EXISTING BUILDING A 'C.C.K. BUILDING'
- DENOTES EXISTING BUILDING B 'DRUMMOND HOUSE'
- DENOTES PROPOSED PART 3A ENVELOPE

NOTE:

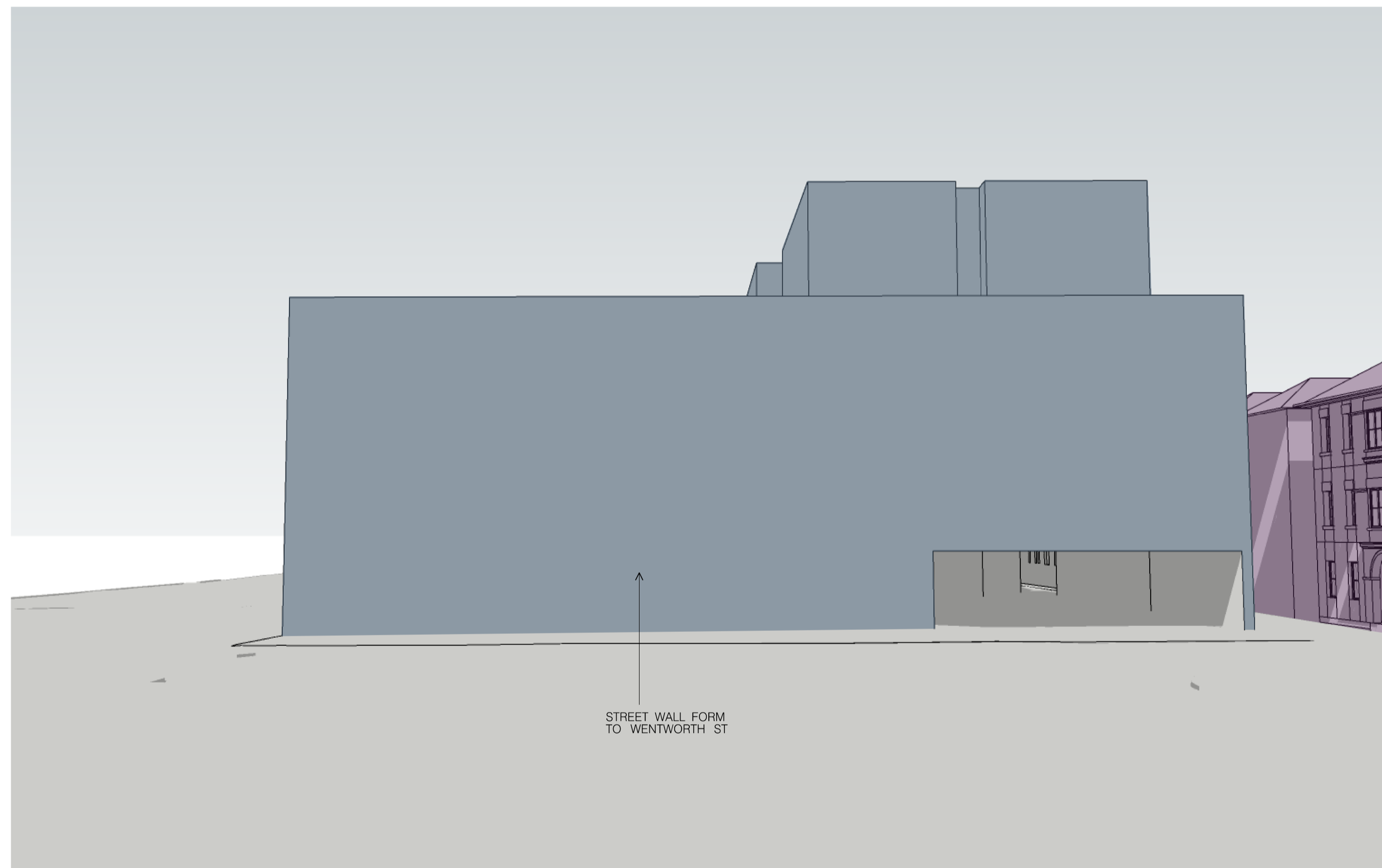
REFERENCE ARCHITECTURAL DESIGN SHOWN IN GREY FOR CLARITY.

150mm 200mm 250mm 300mm

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	Rev	By	Date	Description																				
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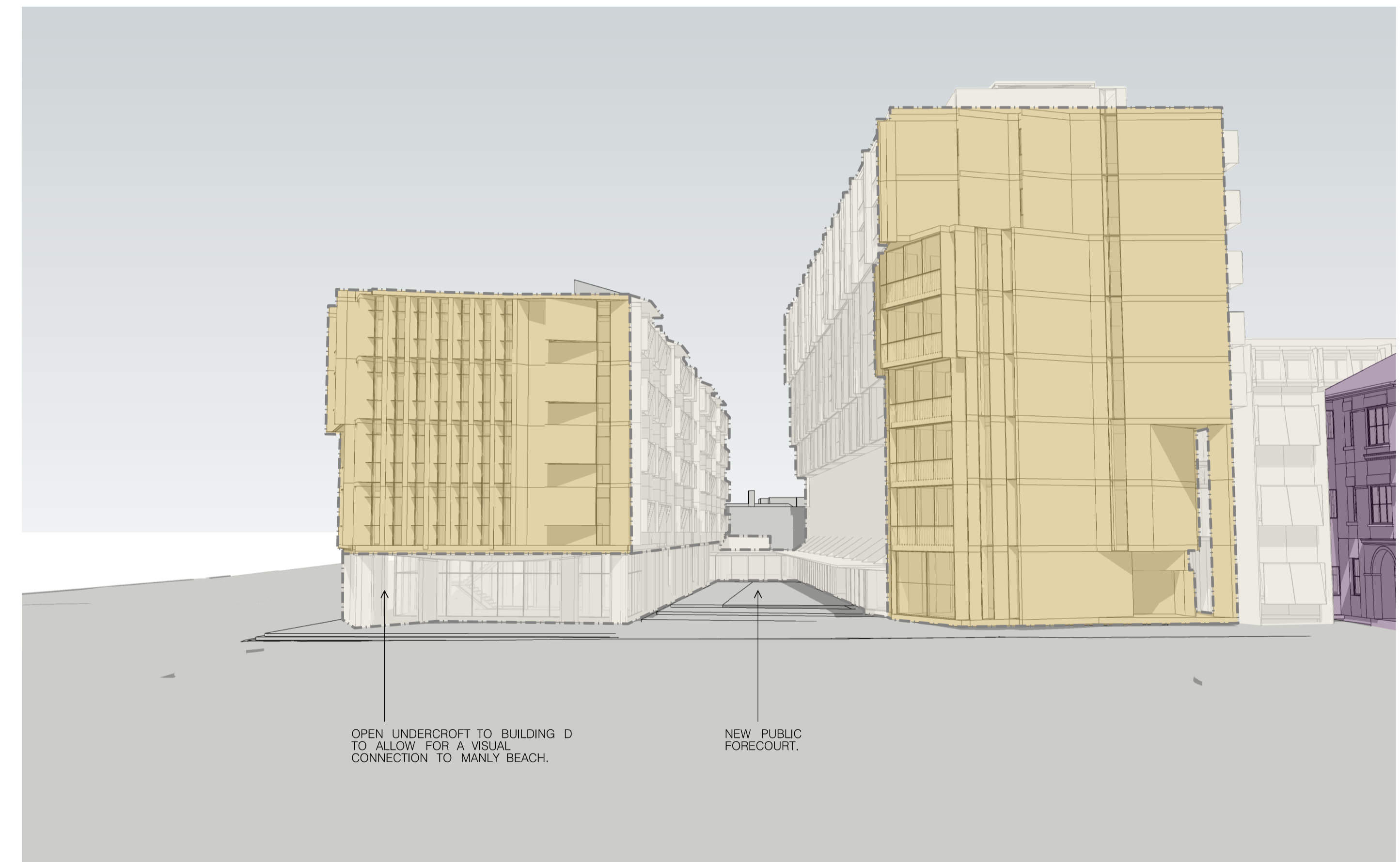
KEY PLAN



01 APPROVED 3A ENVELOPE VIEW
LOOKING SOUTH FROM WENTWORTH STREET

LEGEND:

- DENOTES EXISTING BUILDING A 'C.C.K. BUILDING'
- DENOTES EXISTING BUILDING B 'DRUMMOND HOUSE'
- DENOTES APPROVED PART 3A ENVELOPE
- DENOTES PROPOSED PART 3A ENVELOPE



02 PROPOSED 3A ENVELOPE VIEW
LOOKING SOUTH FROM WENTWORTH STREET

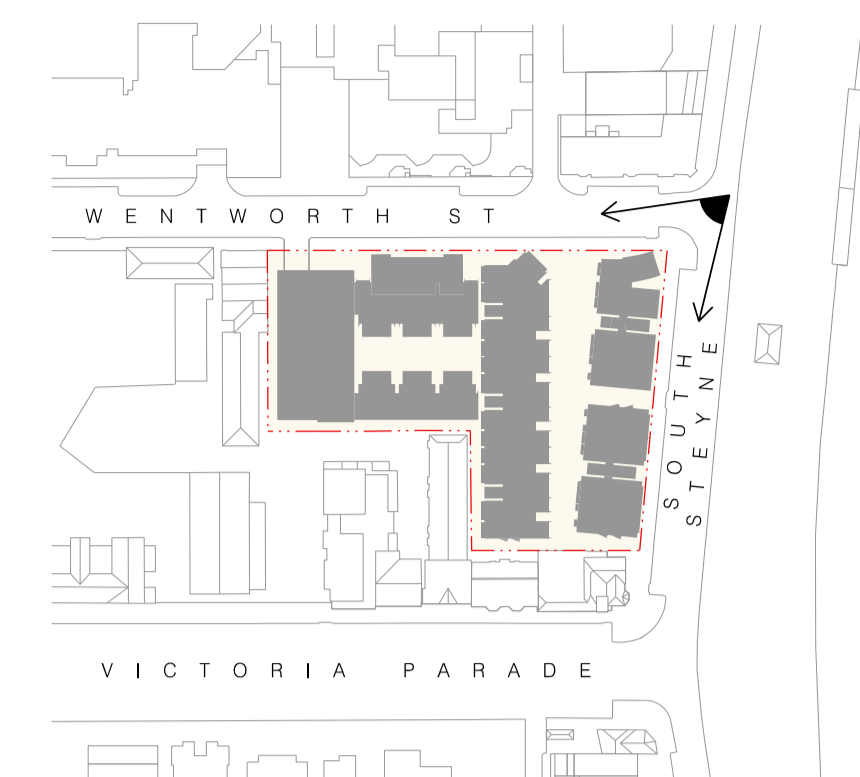
LEGEND:

- DENOTES EXISTING BUILDING A 'C.C.K. BUILDING'
- DENOTES EXISTING BUILDING B 'DRUMMOND HOUSE'
- DENOTES PROPOSED PART 3A ENVELOPE

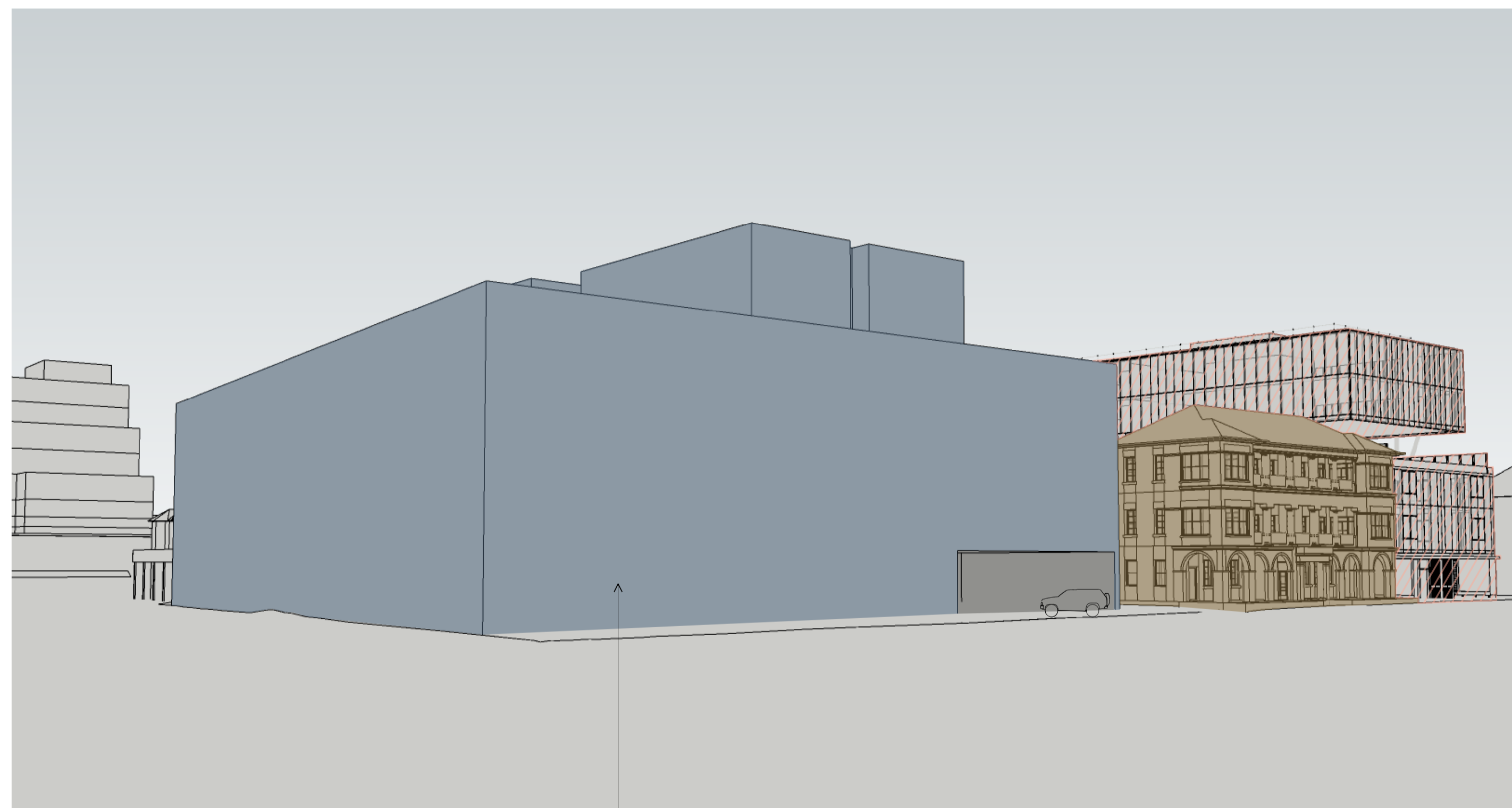
NOTE:

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	Rev	Date	Description																									
1	14/07/2023	Issued for comment																										
2	14/07/2023	Revised																										
3	14/07/2023	Final																										



KEY PLAN



SOLID STREET WALL FORM TO WENTWORTH ST & SOUTH STEYNE



OPEN UNDERCROFT TO BUILDING D TO ALLOW FOR A VISUAL CONNECTION TO MANLY BEACH.

NEW PUBLIC FORECOURT.

01 APPROVED 3A ENVELOPE VIEW
LOOKING WEST FROM SOUTH STEYNE

02 PROPOSED 3A ENVELOPE VIEW
LOOKING WEST FROM SOUTH STEYNE

LEGEND:

- EXISTING BUILDING A 'C.C.K. BUILDING'
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- APPROVED PART 3A ENVELOPE

LEGEND:

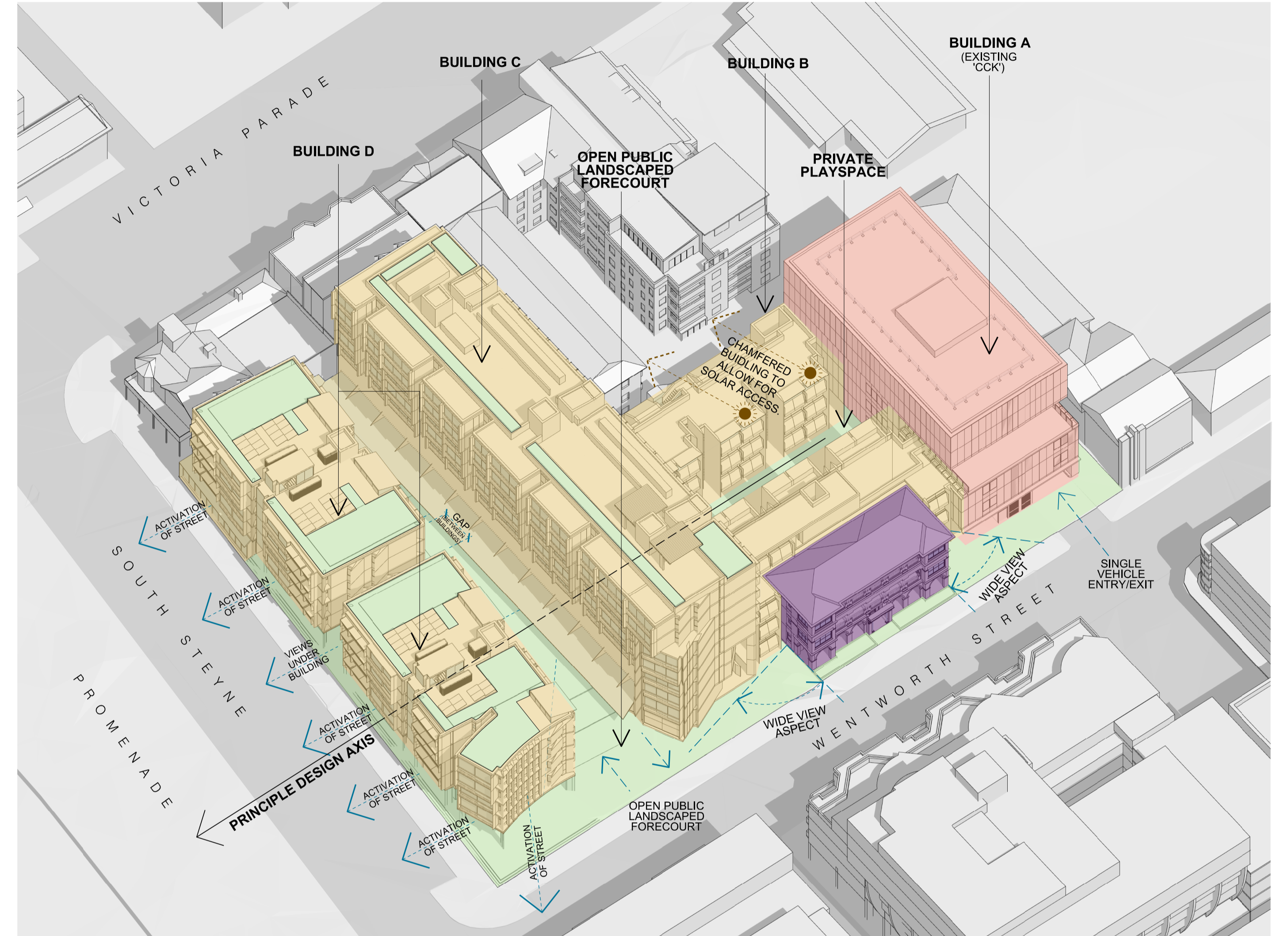
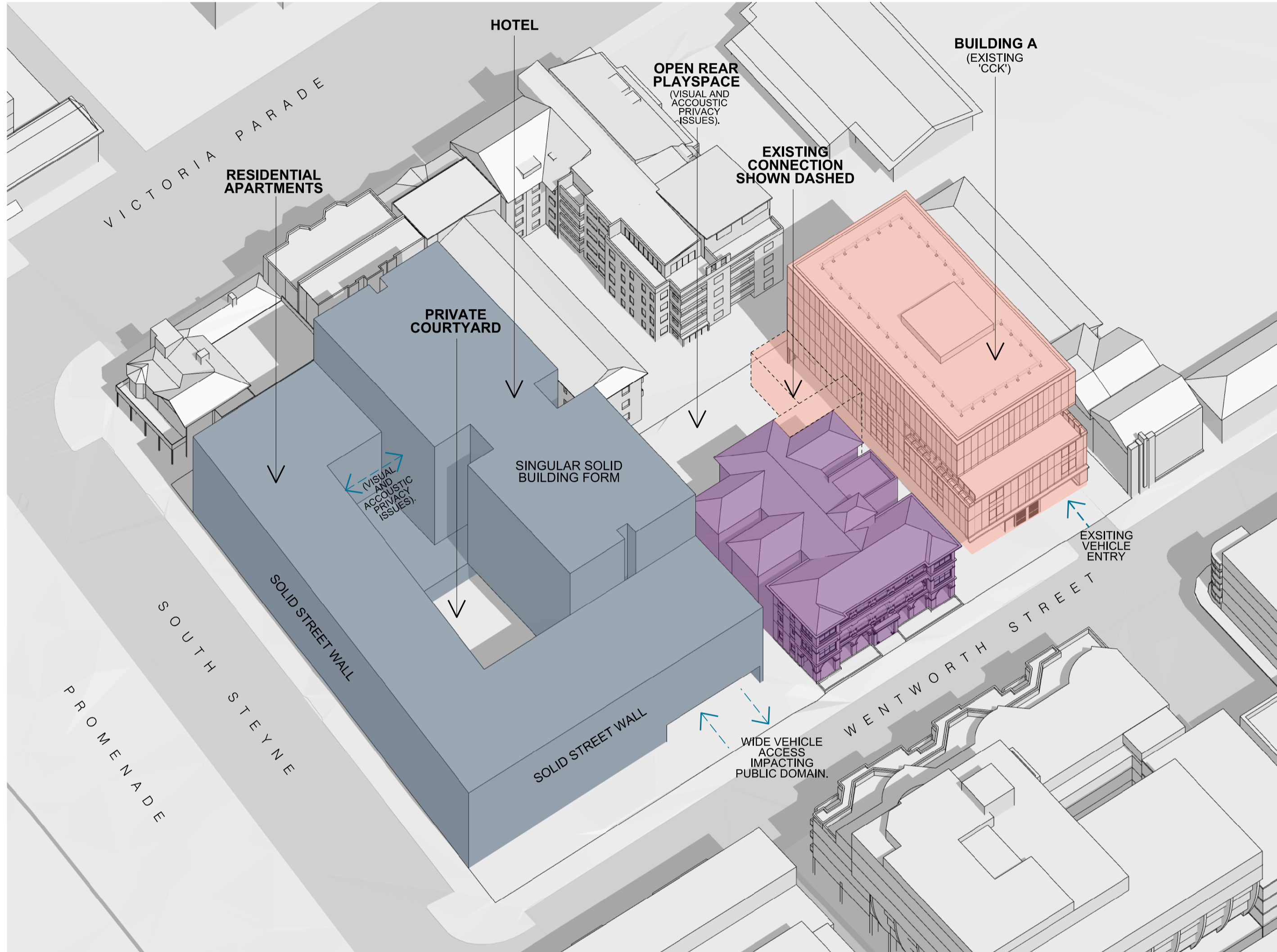
- EXISTING BUILDING A 'C.C.K. BUILDING'
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- PROPOSED PART 3A ENVELOPE

NOTE:

REFERENCE ARCHITECTURAL DESIGN SHOWN IN GREY FOR CLARITY.

150mm 200mm 250mm 300mm

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01 APPROVED 3A ENVELOPE
AXONOMETRIC SITE VIEW

LEGEND:

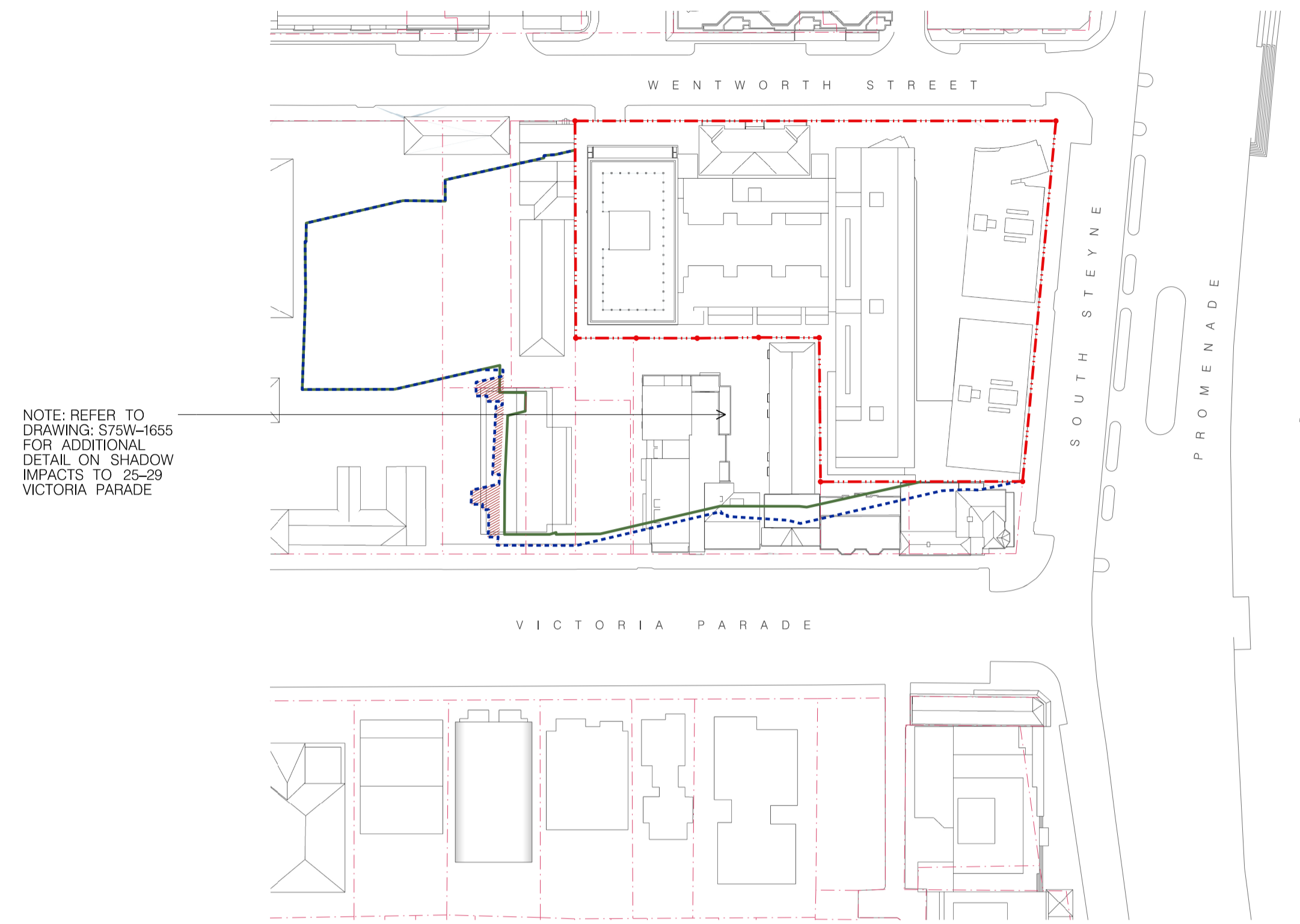
- EXISTING BUILDING A 'C.C.K. BUILDING'
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- APPROVED PART 3A ENVELOPE
- OPEN PUBLIC FORECOURT WITHIN SITE

02 PROPOSED 3A ENVELOPE VIEW
AXONOMETRIC SITE VIEW

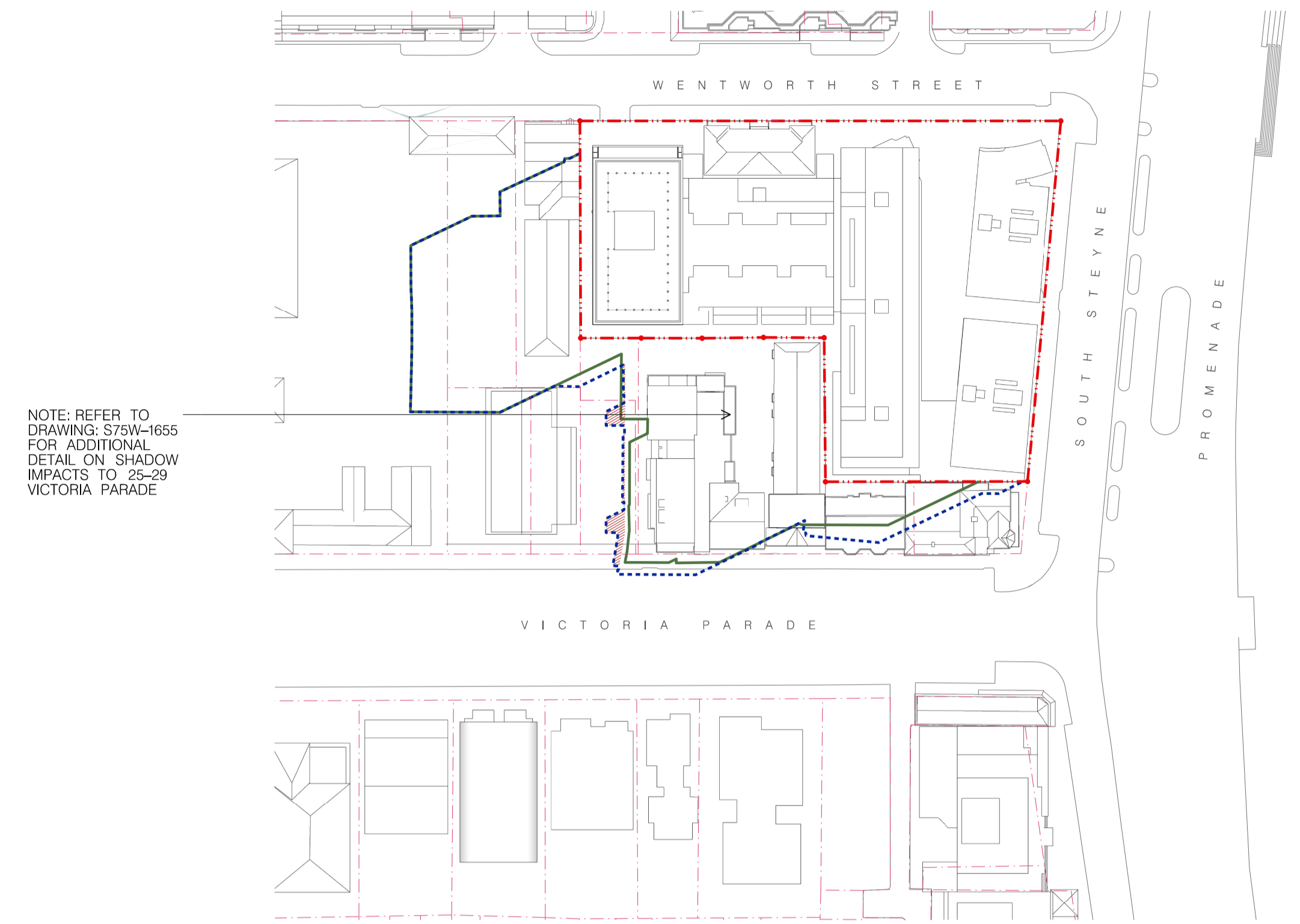
LEGEND:

- EXISTING BUILDING A 'C.C.K. BUILDING'
- EXISTING BUILDING B 'DRUMMOND HOUSE'
- PROPOSED ENVELOPE
- LANDSCAPE AND OPEN PUBLIC FORECOURT WITHIN SITE

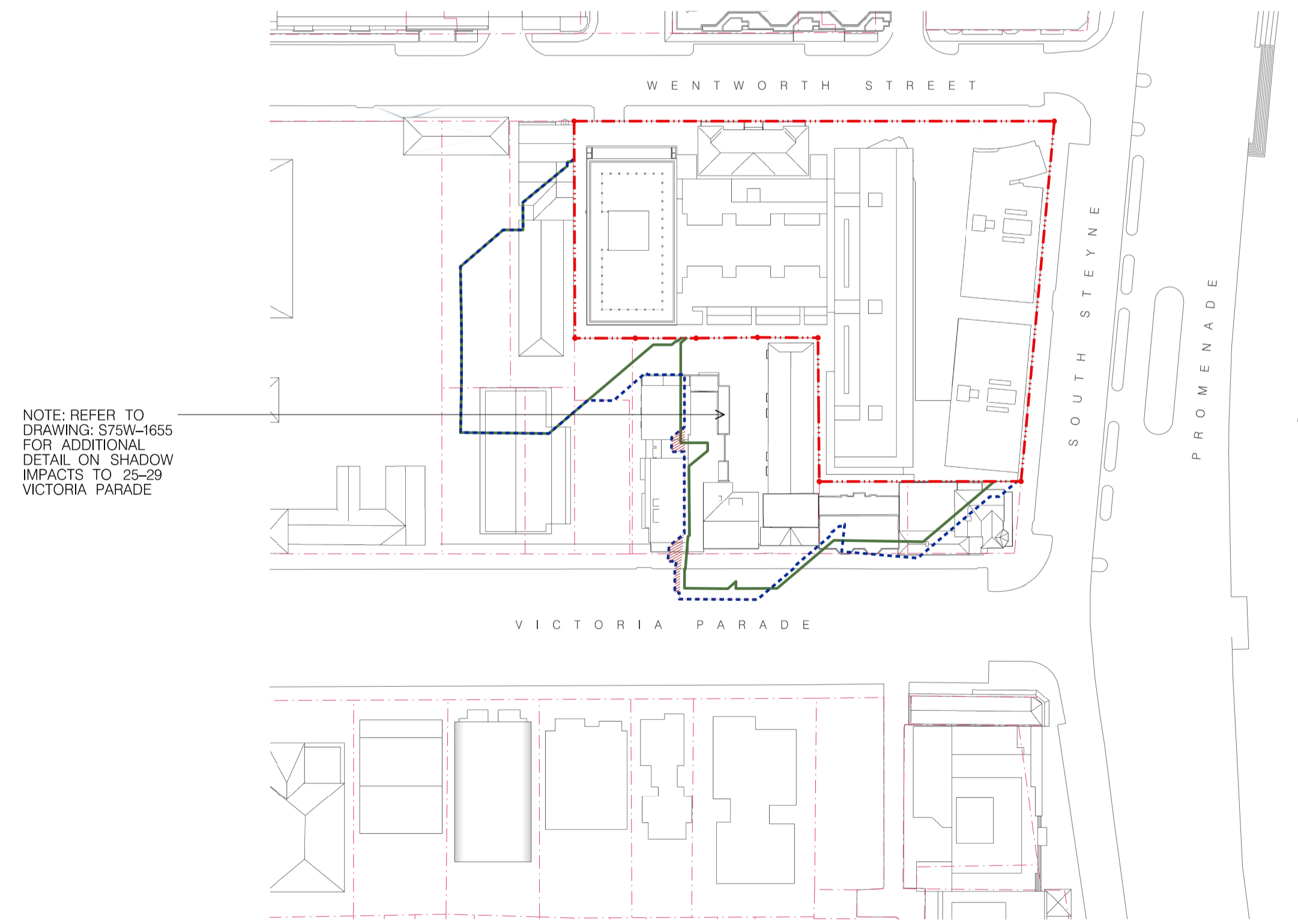
<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further information.</p> <p>Do not scale from this drawing. Only figured dimensions shall be used.</p> <p>Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) shall be shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication.</p> <p>This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming</p>	<p>Project Manager: Lighthouse Project Group</p>	<p>Heritage Consultant: URBIS</p>	<p>BCA Consultant: City Plan</p>	<p>Geotech & Contamination: Douglas & Partners</p>	<p>Acoustic Engineer: Renzo Tonin & Associates</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture</p>	<p>Fire & Fire Services Engineers: GHD</p>	<p>Civil & Stormwater Engineers: Northrop</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting</p>	<p>Structural Engineer: James Taylor & Associates</p>	<table border="1"> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	Rev	Date	Description				<p>Project: ROYAL FAR WEST 14-22 Wentworth Street & 19-21 South Steyne, Manly</p> <p>Client: Royal Far West</p> <p>Scale: As shown @ A1</p> <p>Drawn By: LMSJ/MJB</p> <p>Checked 1: MBL/EP</p> <p>Checked 2: EP</p> <p>Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angelo Candalepas Registration No. NSW 5773</p> <p>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: ENVELOPE AXONOMETRIC VIEW</p> <p>Drawing Number: S75W -1354</p>	<p>Job Number: 5899</p> <p>Issue: B.</p>
	Rev	Date	Description																			
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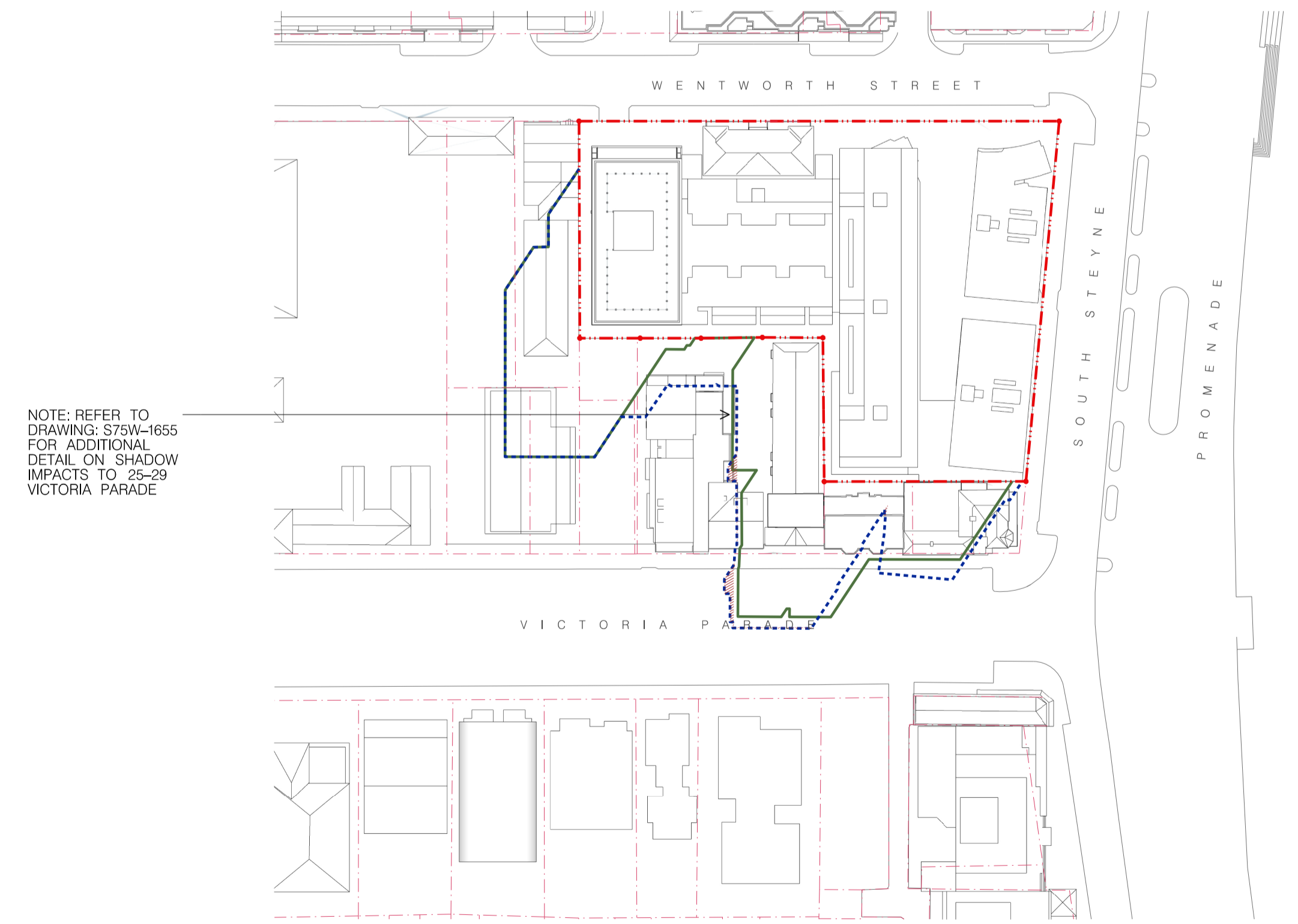
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02 SHADOW DIAGRAM - 10am JUNE 21
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03 SHADOW DIAGRAM - 11am JUNE 21
1:1000

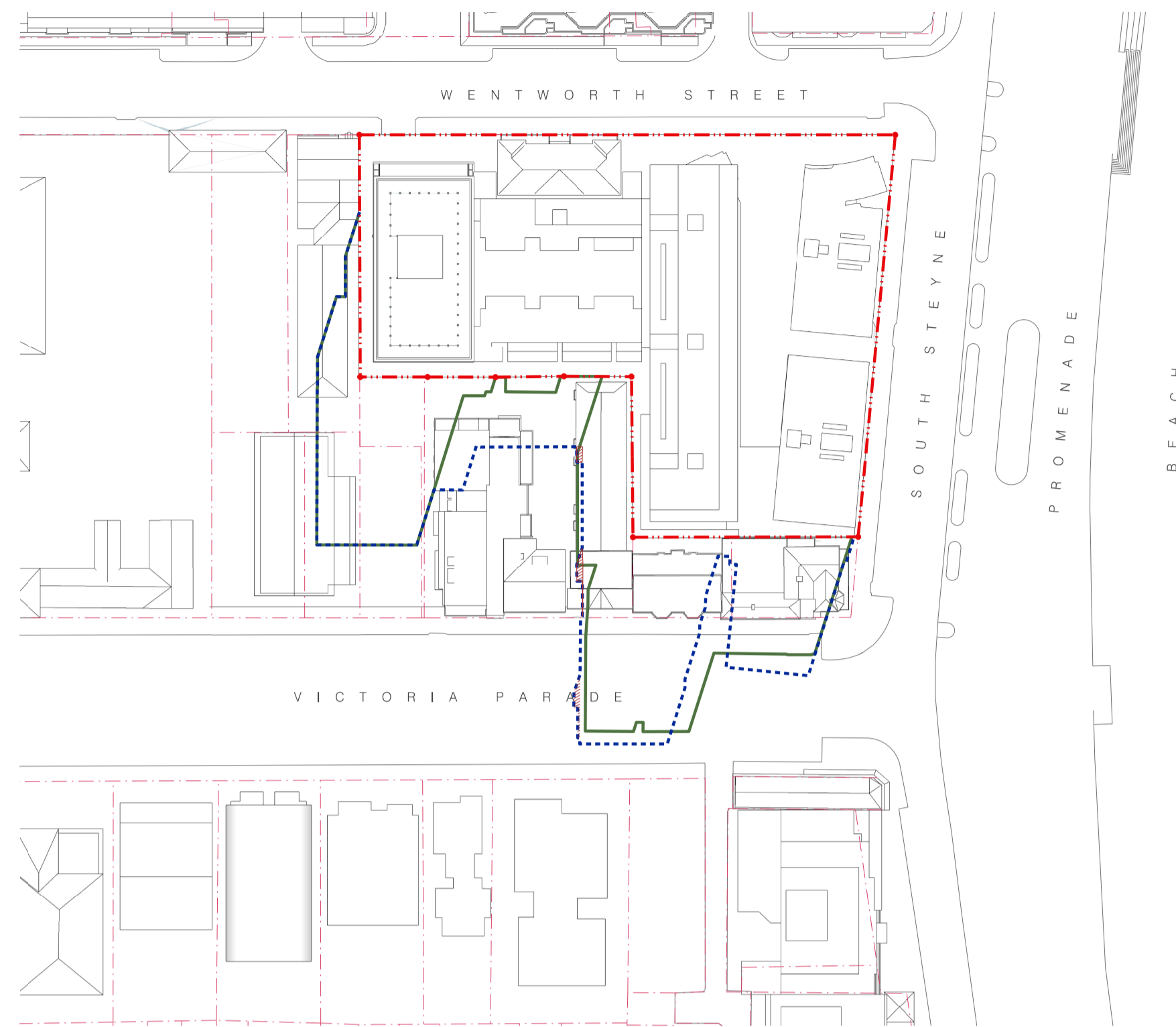


04 SHADOW DIAGRAM - 12pm JUNE 21
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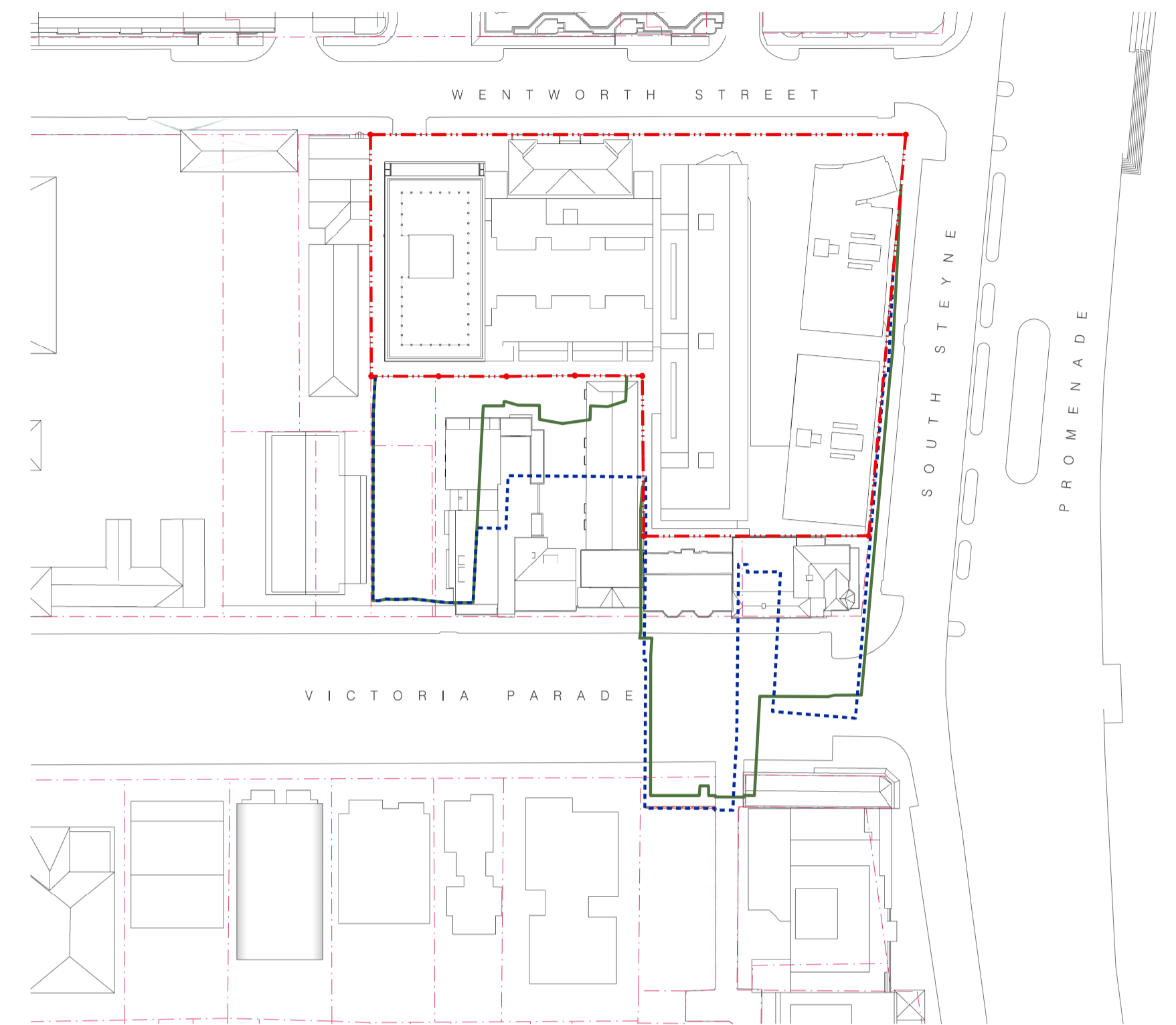
LEGEND
 [Red dashed line] APPROVED PART 3A ON GROUND SHADOW OUTLINE
 [Blue solid line] PROPOSED DEVELOPMENT ON GROUND SHADOW OUTLINE
 [Green dashed line] ON GROUND SHADOW CAST BY MASSING ABOVE THE PART 3A HEIGHT PLANE

300mm
250mm
200mm
150mm
100mm
 DRAWING ORIGINAL SIZE: A1
 DATE: 14/07/2023
 PROJECT: ROYAL FAR WEST
 SHEET: SHADOW ANALYSIS SHEET 1

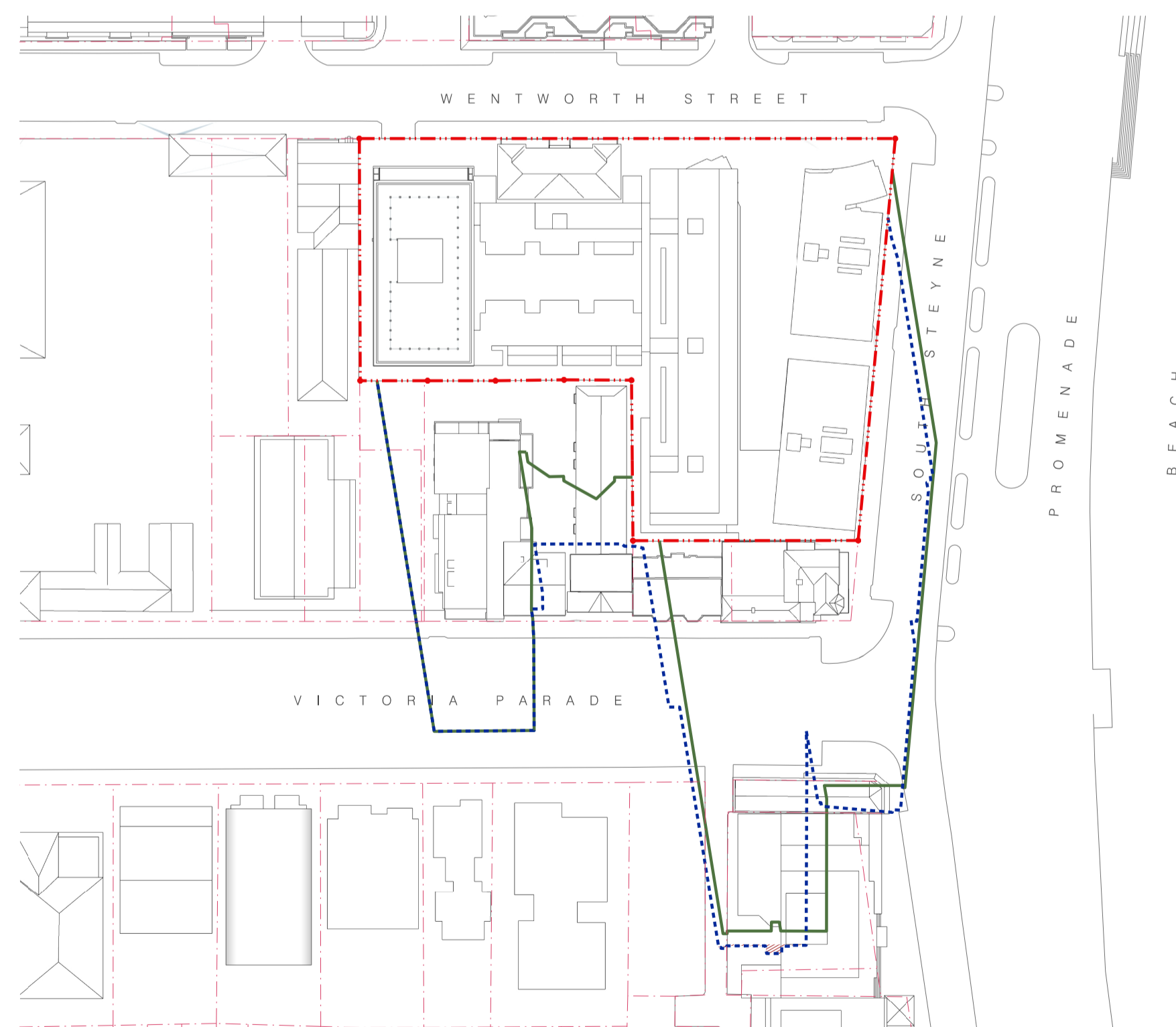
<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic engineering documentation etc.) Refer architectural drawing notes page for further information.</p> <p>Do not scale from this drawing. Only figured dimensions shall be used.</p> <p>Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc.) shall be shown on these architectural documents as indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication.</p> <p>This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming</p> <p>Suble 1, 9 Narabang Way Belmore NSW 2065 greg@blythfleming.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group</p> <p>Level 2, 56 Berry St North Sydney NSW 2060 info@lighthousepm.com.au</p>	<p>Heritage Consultant: URBIS</p> <p>Angill Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: URBIS</p> <p>Level 6, 120 Sussex St North Sydney NSW 2060 reception@urbis.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners</p> <p>96 Hermitage Rd West Ryde NSW 2114 info@douglaspartners.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates</p> <p>Level 1, 416A Elizabeth St Surry Hills NSW 2010 sydney@renzotonin.com.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture</p> <p>Suite 203, 12, 61 Marlborough St Surry Hills NSW 2010 info@janer.com.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD</p> <p>Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop</p> <p>Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting</p> <p>Level 3, 8 Spring St Sydney NSW 2000 contact@adpcosulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates</p> <p>Suite 1, 115 Military Rd Neutral Bay NSW 2089 info@james.taylor.associates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West</p> <p>Scale: _____ Drawn By: LM37/JAB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773</p> <p>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: SHADOW ANALYSIS SHEET 1 Drawing Number: S75W -1651</p>	<p>Job Number: 5899 Issue: B.</p>
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01 SHADOW DIAGRAM - 1pm JUNE 21
1:1000



02 SHADOW DIAGRAM - 2pm JUNE 21
1:1000



03 SHADOW DIAGRAM - 3pm JUNE 21
1:1000

- LEGEND**
- APPROVED PART 3A ON GROUND SHADOW OUTLINE
 - PROPOSED DEVELOPMENT ON GROUND SHADOW OUTLINE
 - ON GROUND SHADOW CAST BY MASSING ABOVE THE PART 3A HEIGHT PLANE

Note:
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Do not scale from this drawing. Only signed dimensions shall be used.
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DRAWING ORIGINAL SIZE: A1

Town Planner:
Boston Blyth Fleming
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Belmore NSW 2065
greg@bfbplanners.com.au
T: 02 9986 2535

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info@lighthousepg.com.au

Heritage Consultant:
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Angill Place, 18, 123 Pitt St
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reception@cityplan.com.au
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sydney@renzotonin.com.au
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Landscape Architect:
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info@jila.net.au
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Fire & Fire Services Engineers:
GHD
Level 15, 133 Castlereagh St
Sydney NSW 2000
T: 02 9239 7100

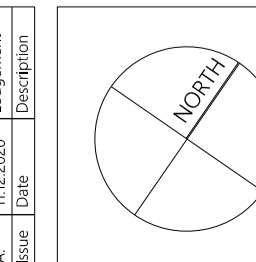
Civil & Stormwater Engineers:
Northrop
Level 11, 345 George St
Sydney NSW 2000
sydney@northrop.com.au
T: 02 9241 4188

Hydraulic & Mechanical Engineers:
ADP Consulting
Level 3, 8 Spring St
Sydney NSW 2000
contact@adpcos.com.au
T: 02 8203 5447

Structural Engineer:
James Taylor & Associates
Suite 1, 115 Military Rd
Neutral Bay NSW 2089
mail@james.taylor.associates.com.au
T: 02 9969 1999

Rev	Date	Description
1	14/07/2021	Issued for comment
2	14/07/2021	Revised
3	14/07/2021	Revised

Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
Drawn By:
LMK/AB
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

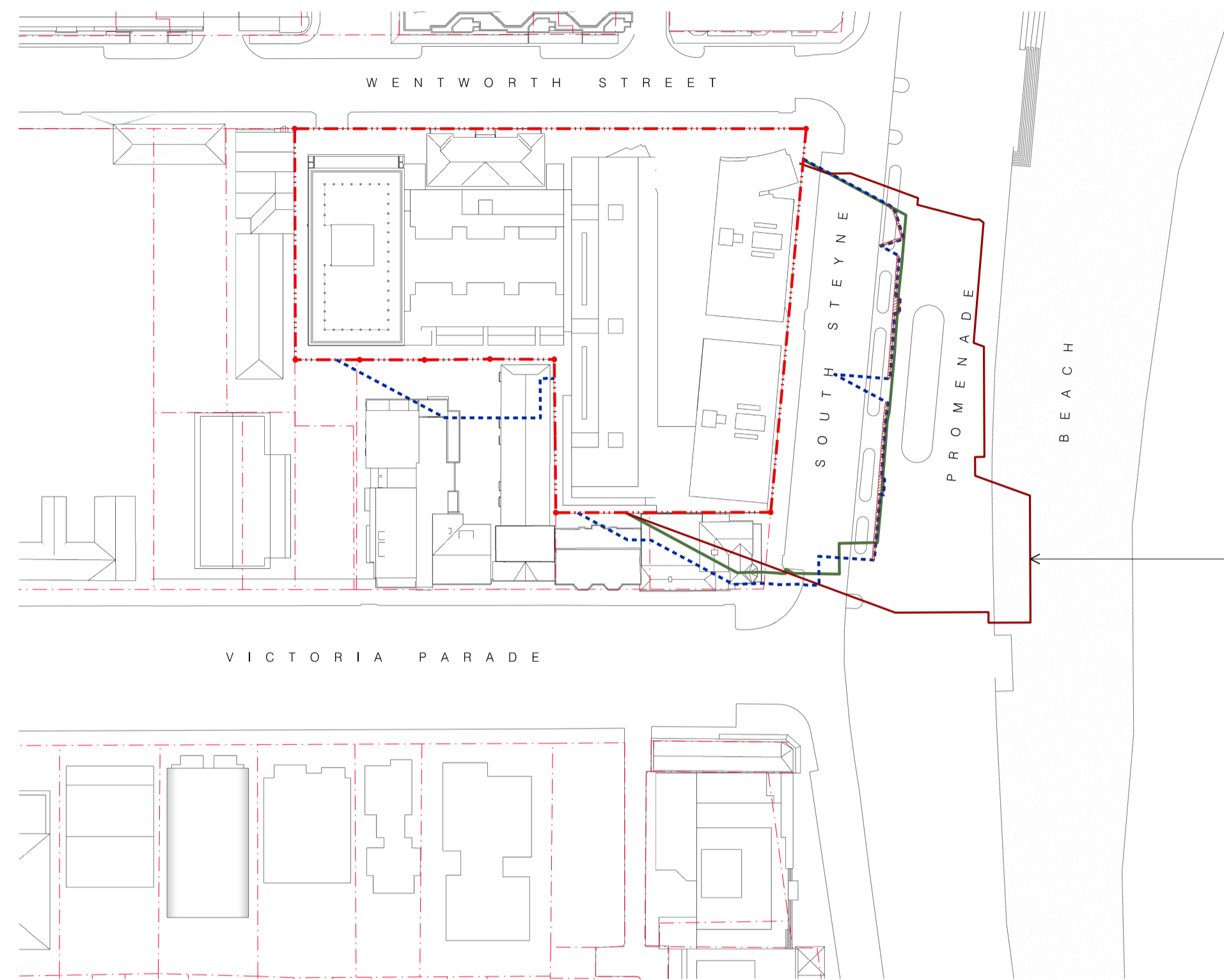


Architect:
Murcutt Candalepas
Glenn Murcutt Registration No. NSW 2448
Angela Candalepas Registration No. NSW 5773
309 Sussex Street
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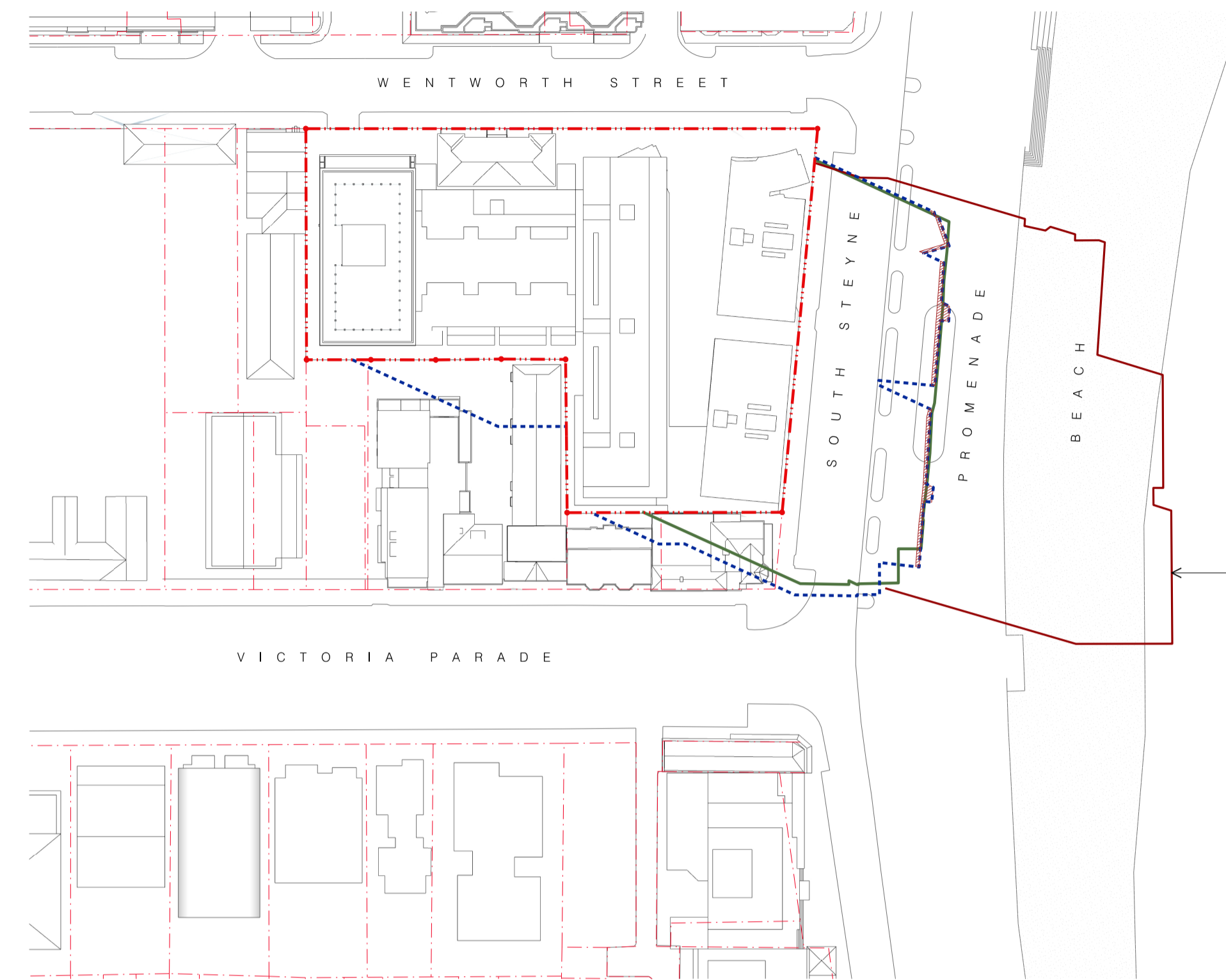
Drawing:
SHADOW ANALYSIS SHEET 2
Drawing Number:
S75W -1652

Job Number:
5899
Issue:
B.

FOR A-575W APPLICATION ONLY



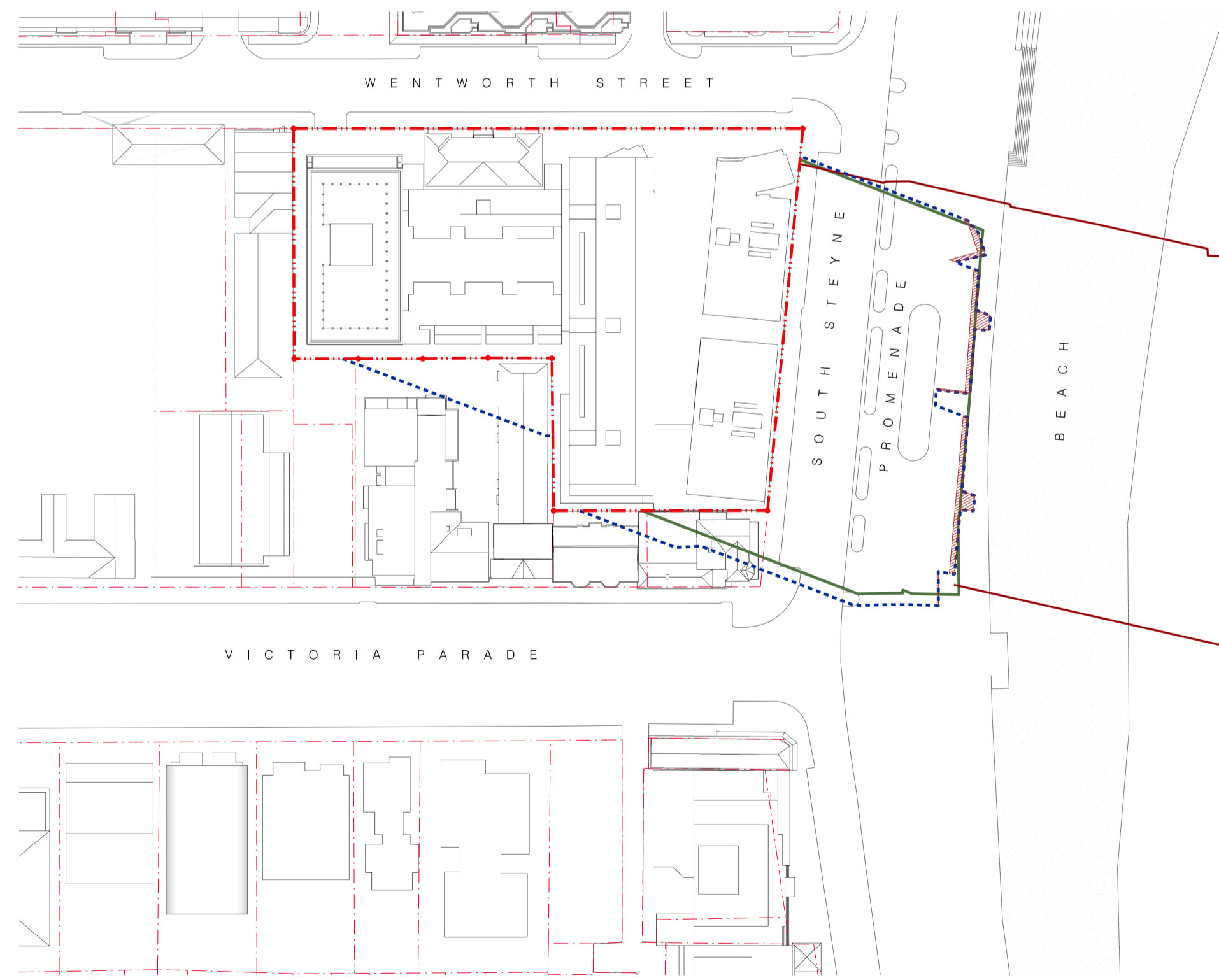
SHADOW OUTLINE FROM ARCHITECTUS DRAWING SK-202 ISSUE A



SHADOW OUTLINE FROM ARCHITECTUS DRAWING SK-203 ISSUE A

01 SHADOW DIAGRAM - 5pm AEDT DECEMBER 21
1:10000

02 SHADOW DIAGRAM - 5:30pm AEDT DECEMBER 21
1:10000



SHADOW OUTLINE FROM ARCHITECTUS DRAWING SK-204 ISSUE A

03 SHADOW DIAGRAM - 6pm AEDT DECEMBER 21
1:10000

- LEGEND**
- APPROVED PART 3A ON GROUND SHADOW OUTLINE
 - PROPOSED DEVELOPMENT ON GROUND SHADOW OUTLINE
 - SHADOW OUTLINE BASED ON ARCHITECTUS DRAWINGS SK-202, SK-203 & SK-204 (ALL ISSUE A) INCLUDED IN PAC REPORT ISSUED 18.04.13.
 - ON GROUND SHADOW CAST BY MASSING ABOVE THE PART 3A HEIGHT PLANE

Note:
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DRAWING ORIGINAL SITE: A1

Town Planning:
Boston Blyth Fleming
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Belmore NSW 2065
greg@bfbplanners.com.au
T: 02 9986 2535

Project Manager:
Lighthouse Project Group
Level 2, 56 Berry St
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Heritage Consultant:
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Angill Place, 18, 123 Pitt St
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BCA Consultant:
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Landscape Architect:
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contact@adpcosydney.com.au
T: 02 8203 5447

Structural Engineer:
James Taylor & Associates
Suite 1, 115 Military Rd
Neutral Bay NSW 2089
T: 02 9969 1999

REV	DATE	DESCRIPTION
1	18/07/2021	Issued for comment
2	18/07/2021	Revised
3	18/07/2021	Revised

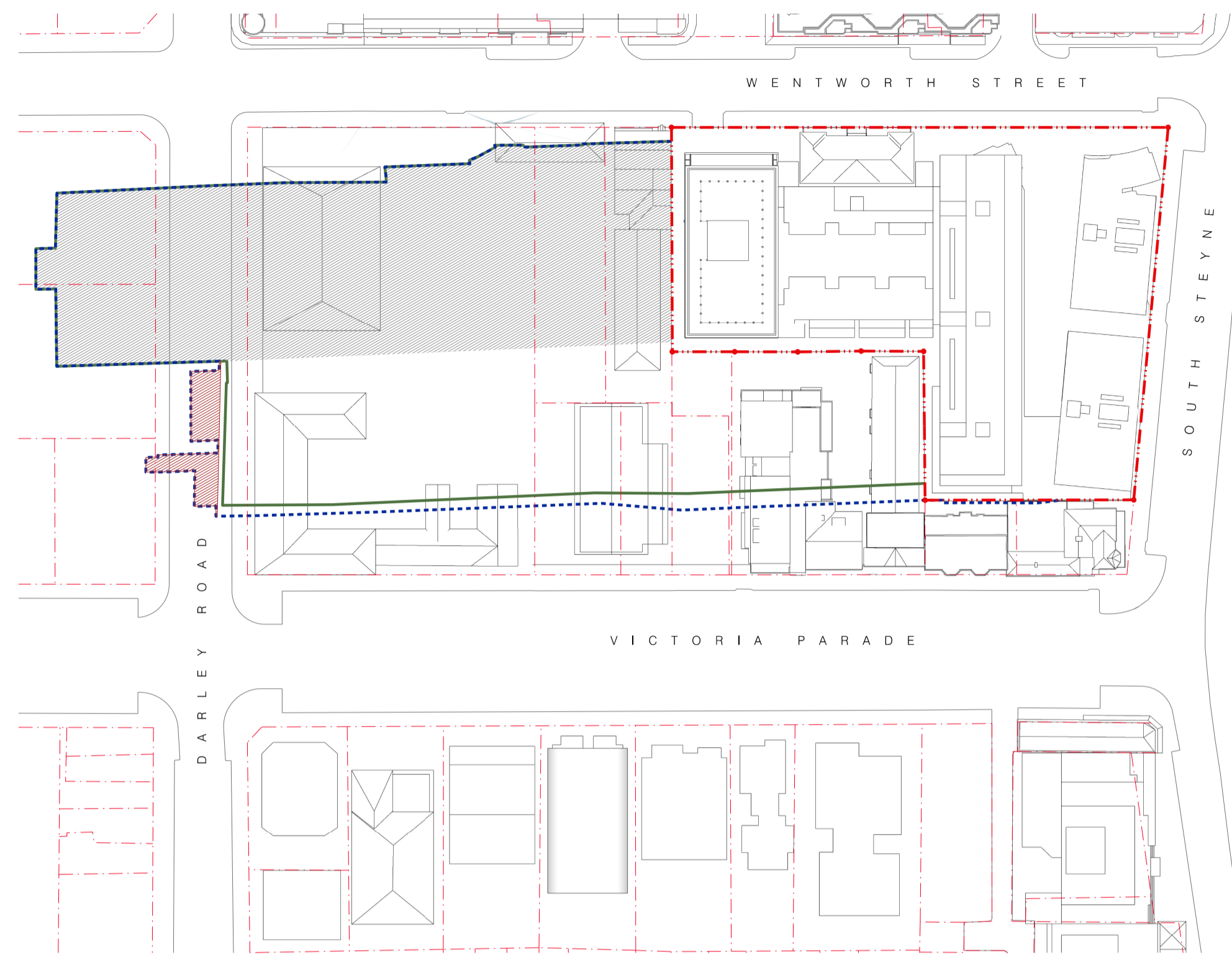
Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
Drawn By: LMS/MB
Checked 1: MB, EP
Checked 2: EP
Approved: EP

Architect:
Murcutt Candalepas
Glenn Murcutt Registration No. NSW 2448
Angela Candalepas Registration No. NSW 5773
309 Sussex Street
Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755
F: 02 9283 7477

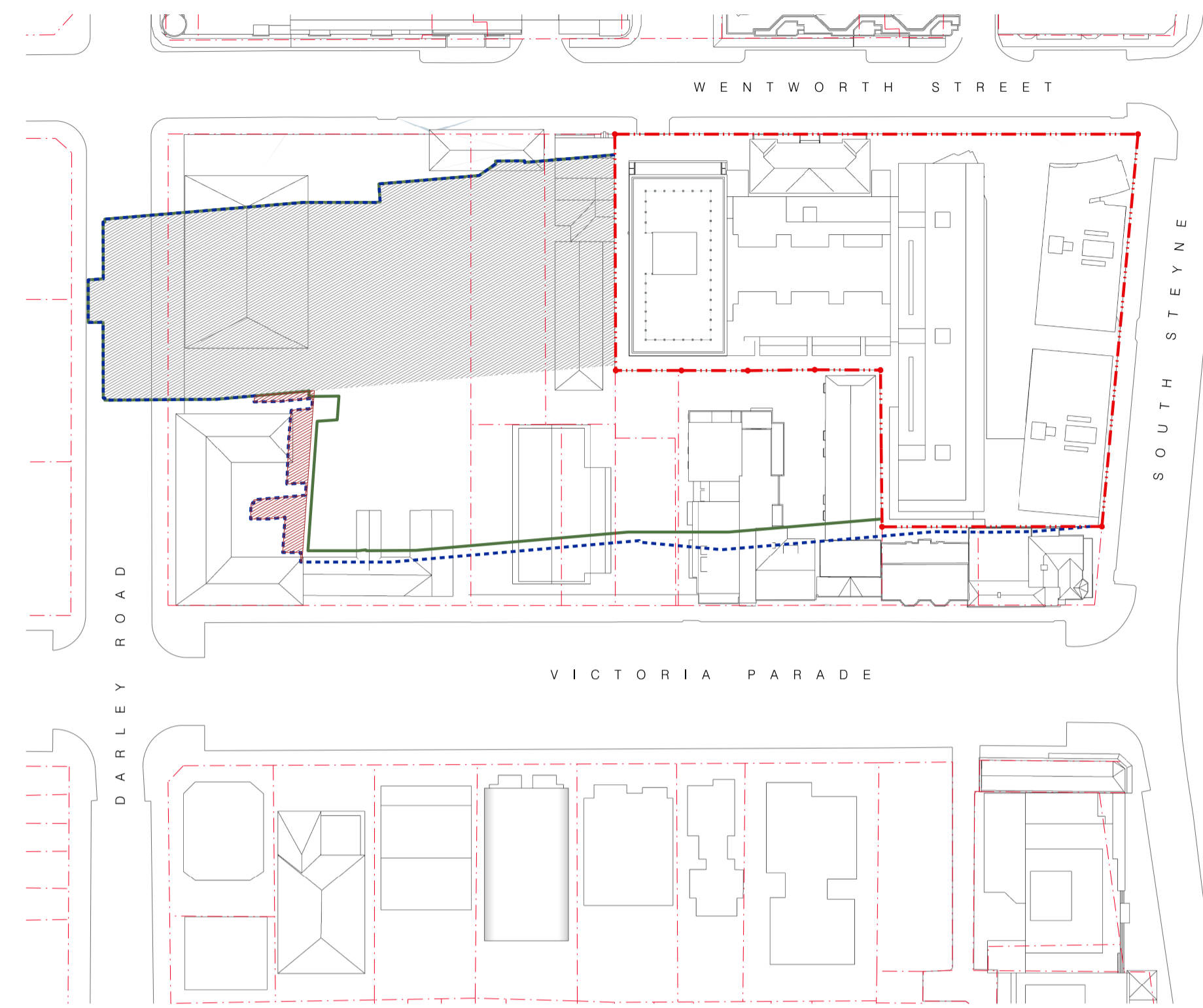
Drawing:
SHADOW ANALYSIS SHEET 3 - BEACH
Drawing Number:
S75W -1653

Job Number:
5899
Issue:
B

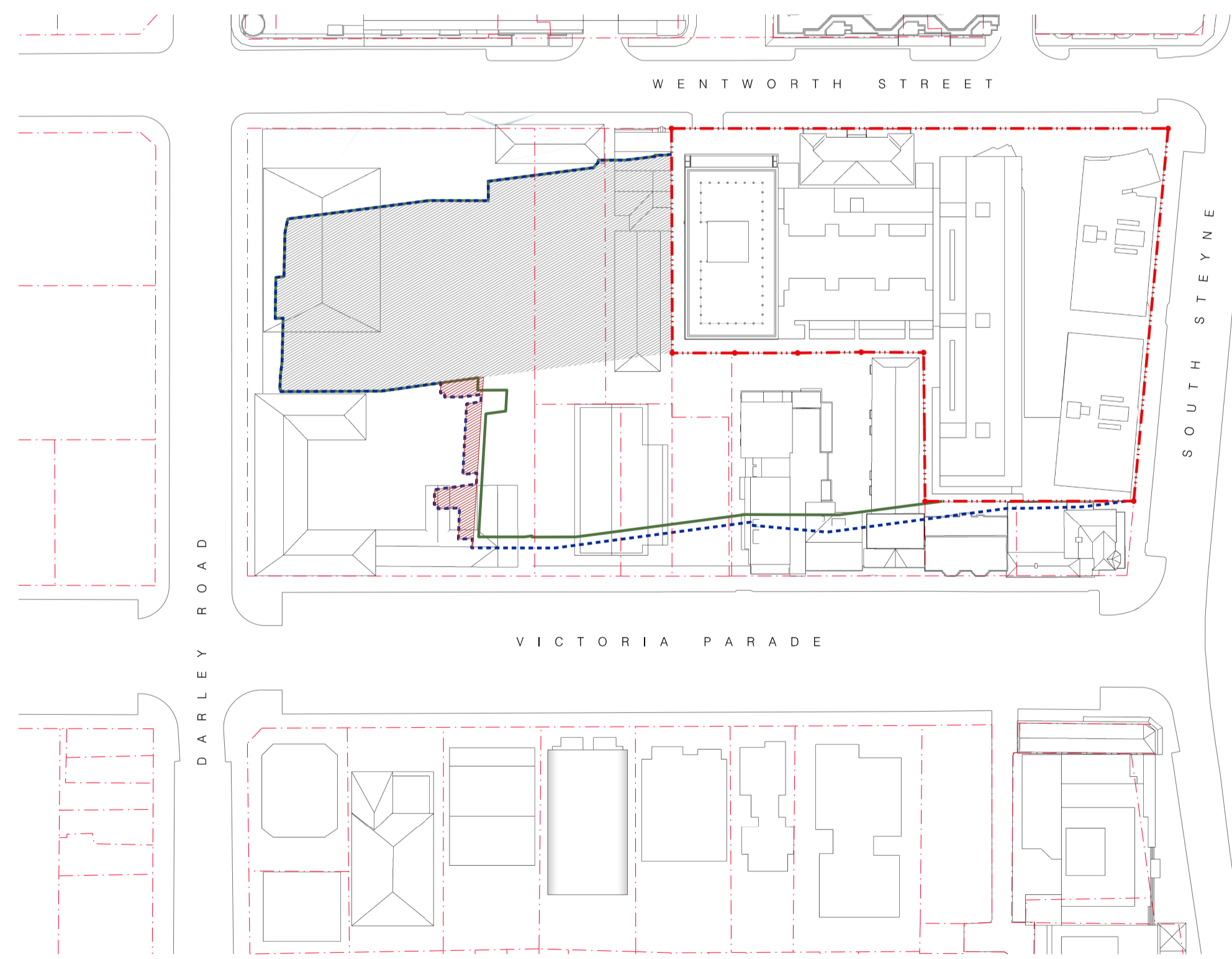
FOR A-175W APPLICATION ONLY



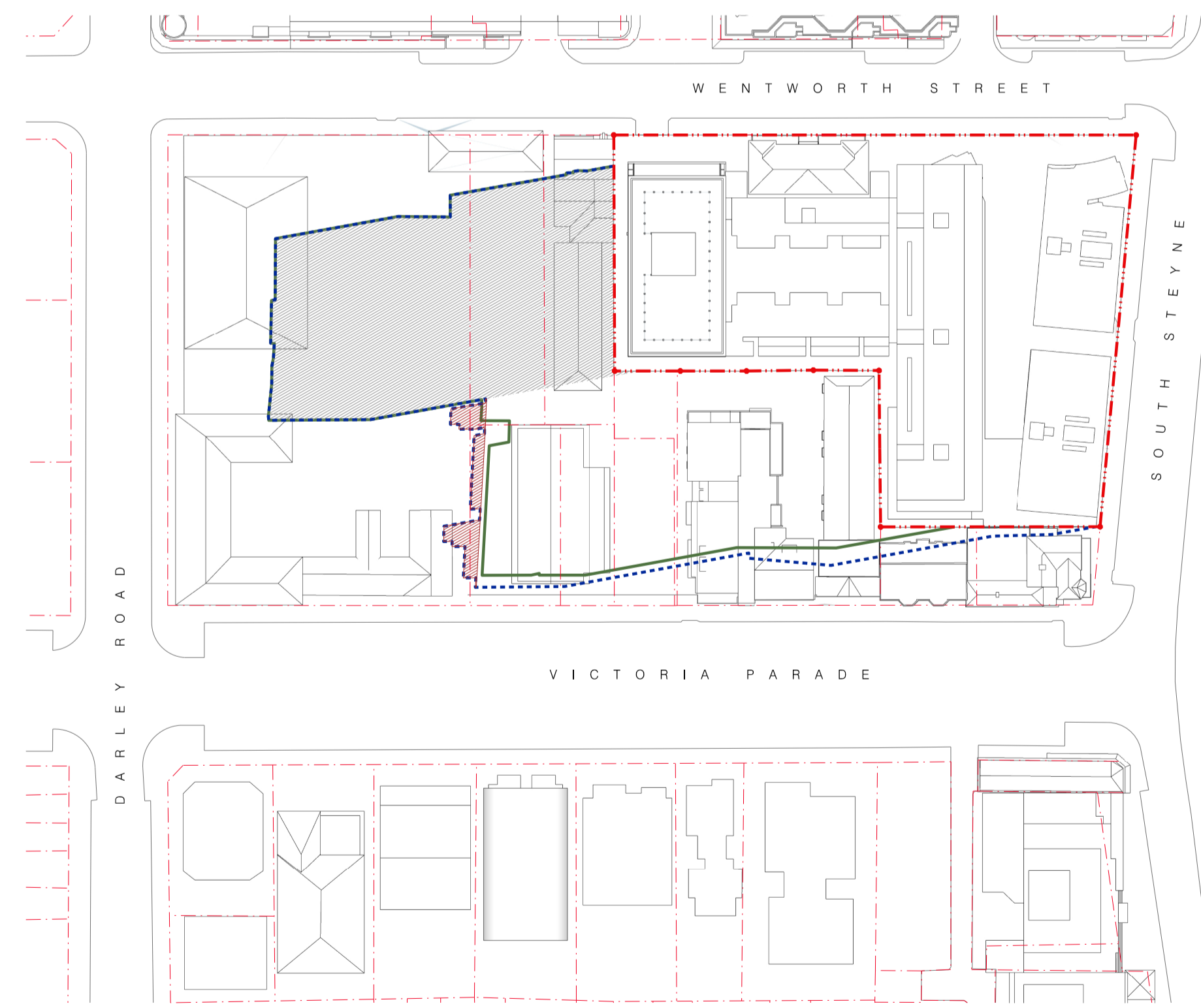
01 SHADOW DIAGRAM - 8am JUNE 21
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02 SHADOW DIAGRAM - 8:15am JUNE 21
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03 SHADOW DIAGRAM - 8:30am JUNE 21
1:10000



04 SHADOW DIAGRAM - 8:45am JUNE 21
1:10000

- LEGEND**
- APPROVED PART 3A ON GROUND SHADOW OUTLINE
 - PROPOSED DEVELOPMENT ON GROUND SHADOW OUTLINE
 - ON GROUND SHADOW CAST BY MASSING ABOVE THE PART 3A HEIGHT PLANE
 - EXISTING SHADOW AS CAST BY COMPLETED 'CCK' BUILDING - DA2532014

Note:
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greg@bfbplanners.com.au
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sydney@northrop.com.au
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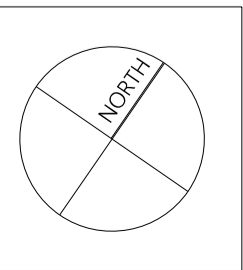
Hydraulic & Mechanical Engineers:
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Level 3, 8 Spring St
Sydney NSW 2000
contact@adpcos.com.au
T: 02 8003 5447

Structural Engineer:
James Taylor & Associates
Suite 1, 115 Military Rd
Neutral Bay NSW 2089
mail@james.taylor.associates.com.au
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Architect:
Murcutt Candalepas
Glenn Murcutt Registration No. NSW 2448
Angie Candalepas Registration No. NSW 5773
309 Sussex Street
Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755
F: 02 9283 7477

Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
As shown @ A1
Drawn By:
LMS748
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

DATE: 14/07/2023
LOG: 2023-07-14
REVISION: 1
DESCRIPTION: 1



Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
As shown @ A1
Drawn By:
LMS748
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

Project:
ROYAL FAR WEST
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14-22 Wentworth Street & 19-21 South Steyne, Manly
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Royal Far West
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As shown @ A1
Drawn By:
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Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

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ROYAL FAR WEST
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14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
As shown @ A1
Drawn By:
LMS748
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

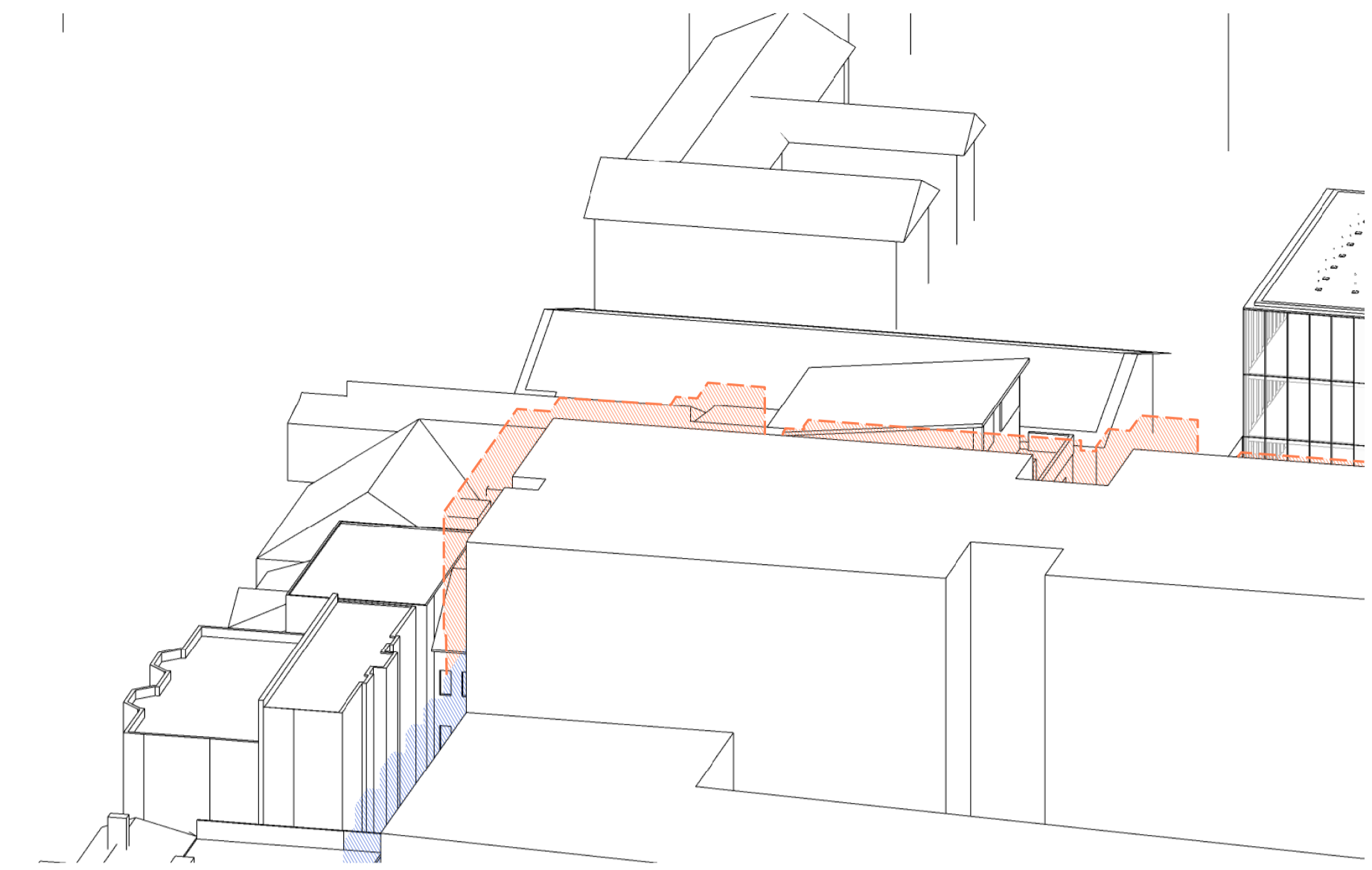
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ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
As shown @ A1
Drawn By:
LMS748
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MB, EP
Checked 2:
EP
Approved:
EP

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ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
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Royal Far West
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As shown @ A1
Drawn By:
LMS748
Checked 1:
MB, EP
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Approved:
EP

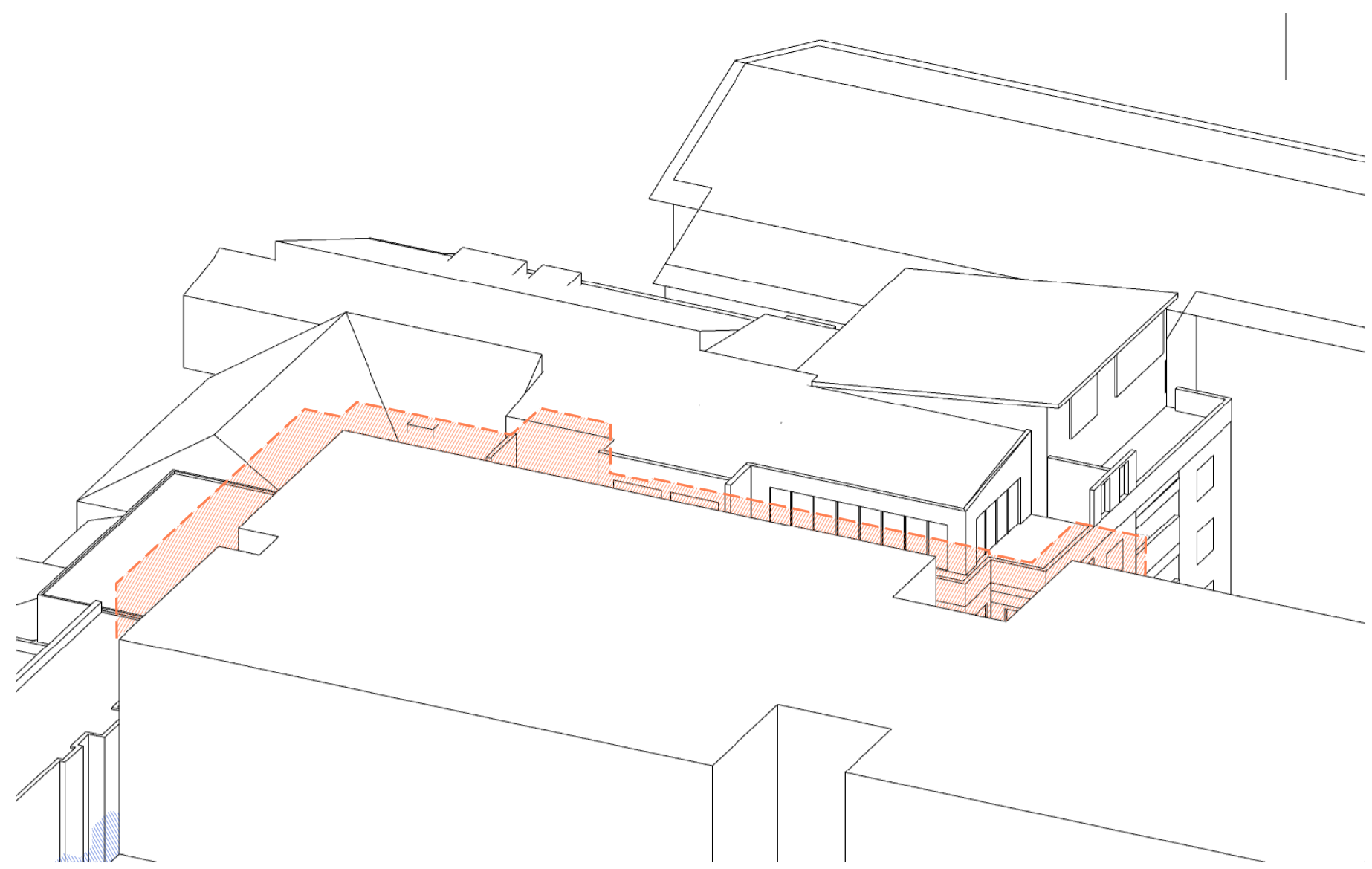
Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
As shown @ A1
Drawn By:
LMS748
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
As shown @ A1
Drawn By:
LMS748
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

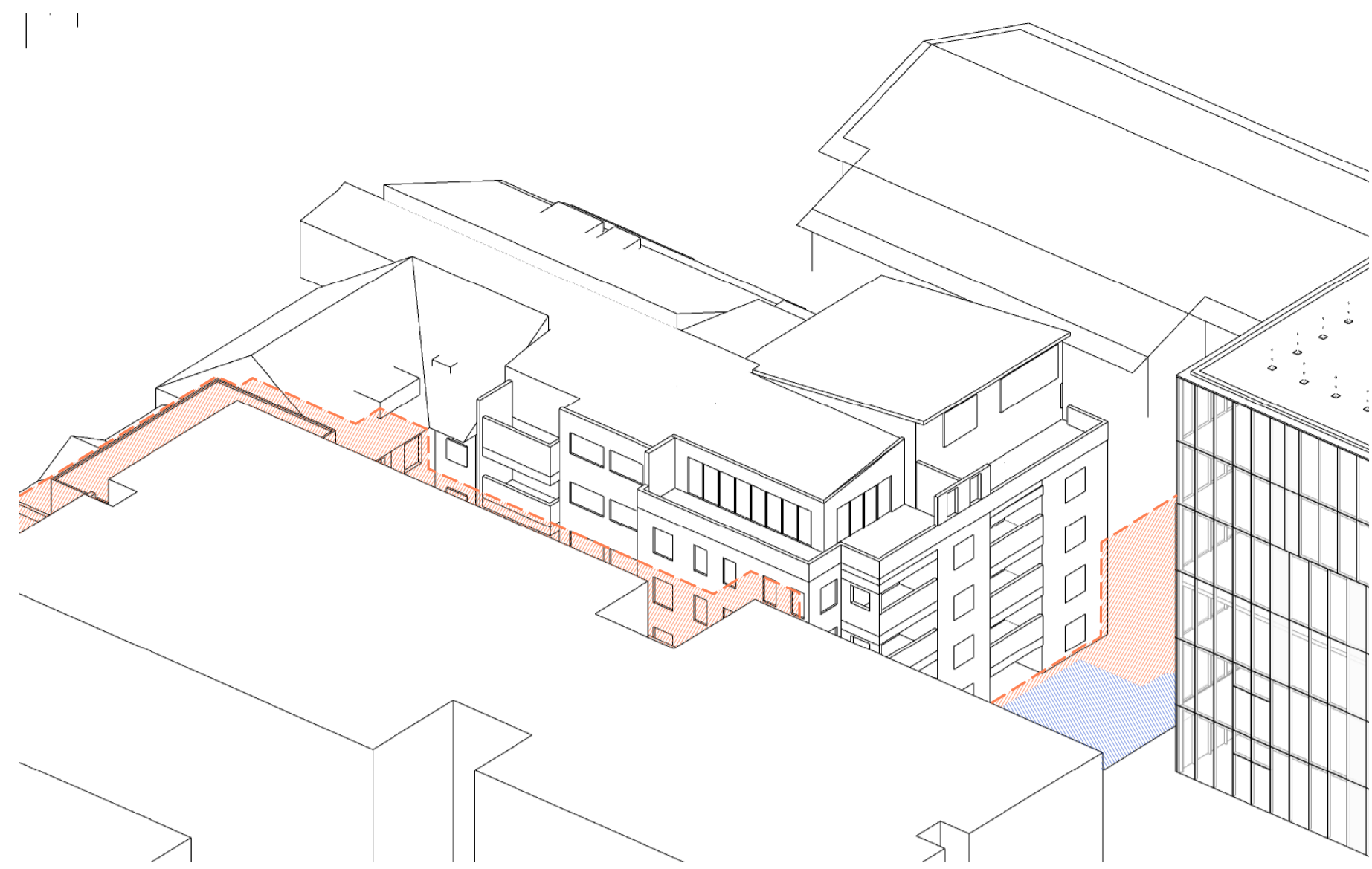
Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly
Client:
Royal Far West
Scale:
As shown @ A1
Drawn By:
LMS748
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP



01 VIEW FROM SUN – WINTER SOLSTICE 9AM
NTS



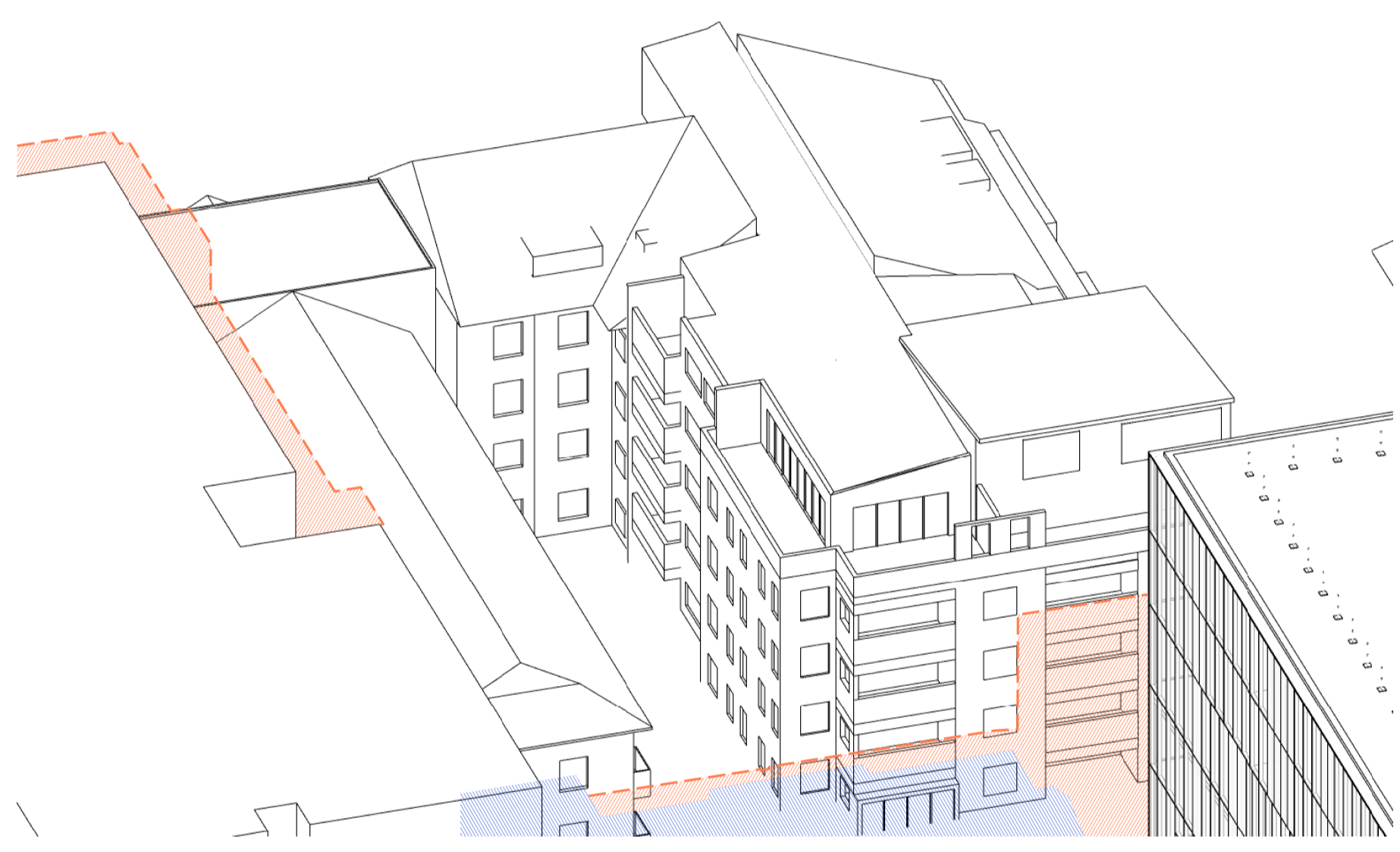
02 VIEW FROM SUN – WINTER SOLSTICE 10AM
NTS



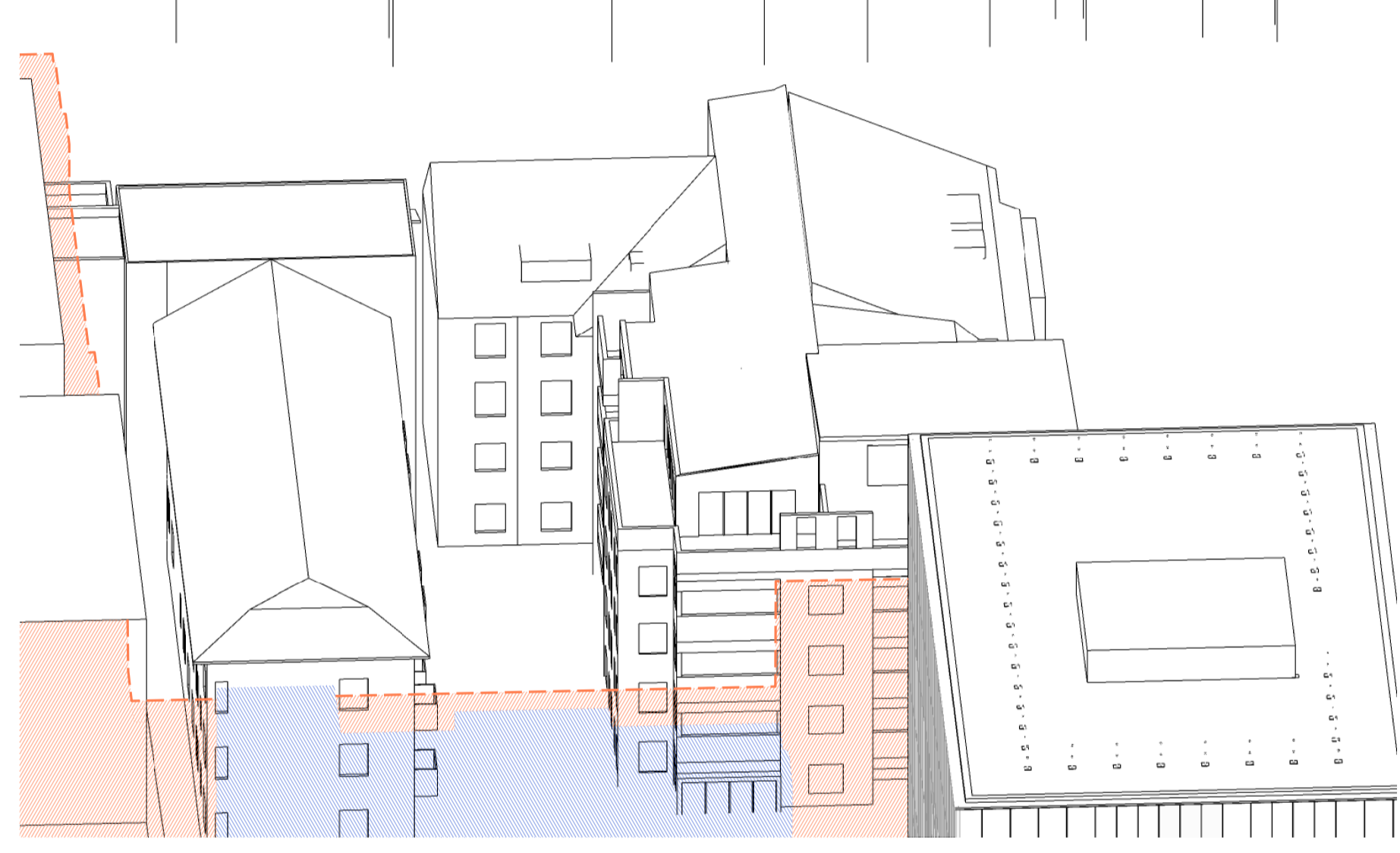
03 VIEW FROM SUN – WINTER SOLSTICE 11AM
NTS



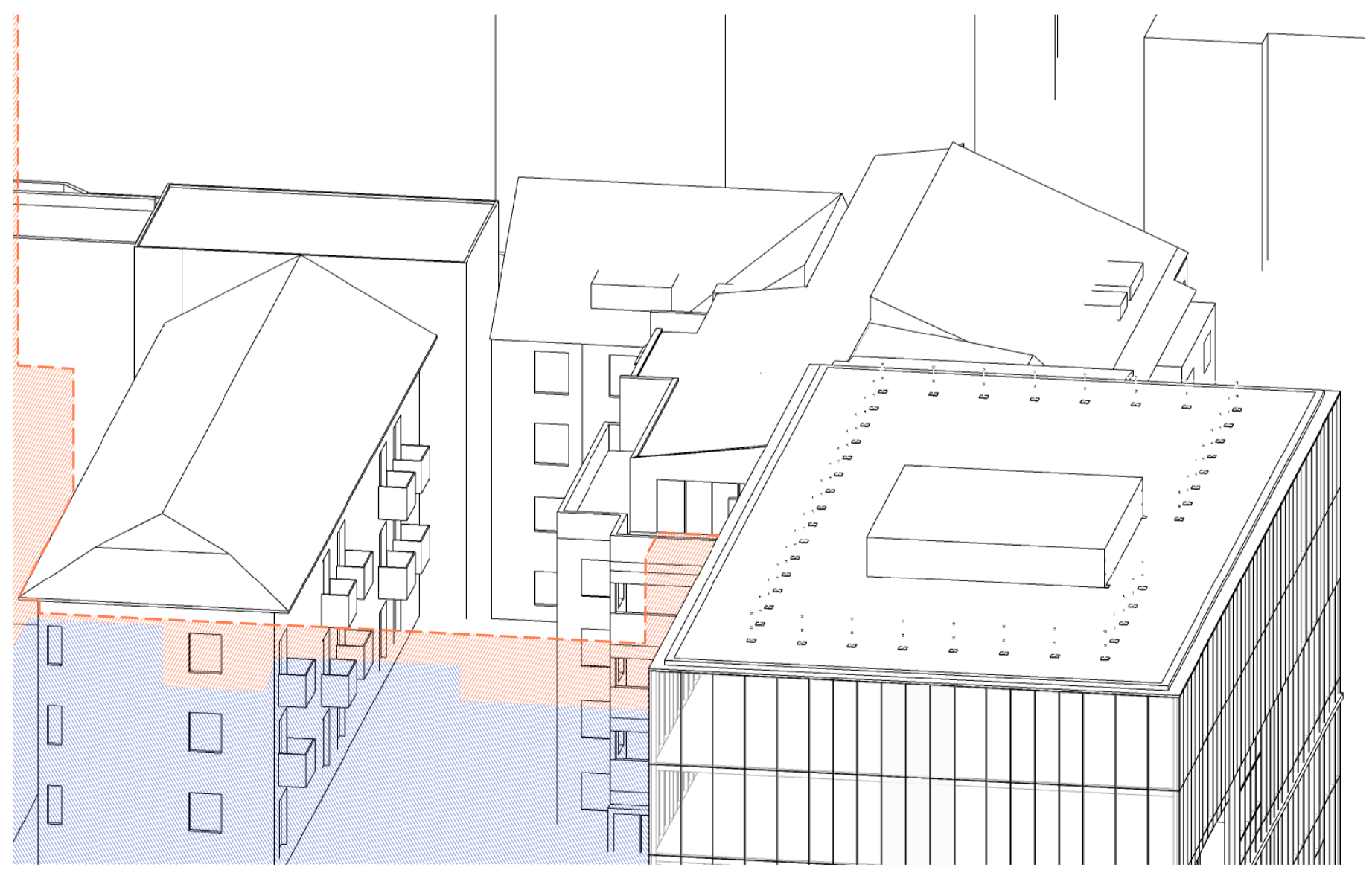
04 VIEW FROM SUN – WINTER SOLSTICE 12PM
NTS





05 VIEW FROM SUN – WINTER SOLSTICE 1PM
NTS



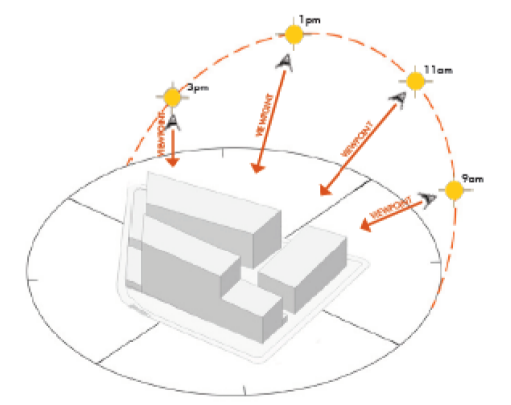
06 VIEW FROM SUN – WINTER SOLSTICE 2PM
NTS



07 VIEW FROM SUN – WINTER SOLSTICE 3PM
NTS

LEGEND
 PROPOSED MASSING ADDITIONAL TO 3A MASSING
 EXISTING MASSING ADDITIONAL TO 3A MASSING

VIEW FROM SUN (EXPLANATORY DIAGRAM)



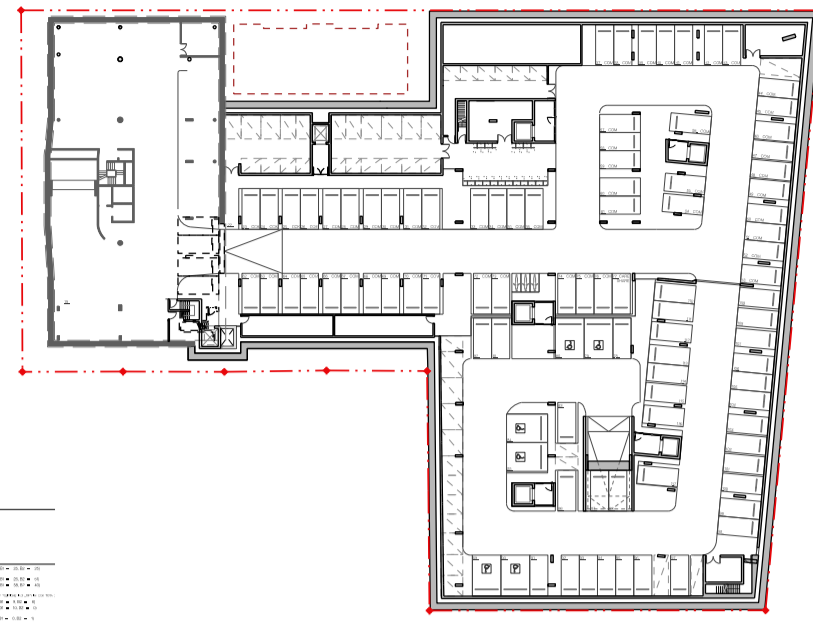
SEPP 65 – SOLAR ACCESS (NO 25-29 VICTORIA PARADE)

	NUMBER UNITS (CURRENTLY)	NUMBER UNITS (SECTION 75W)
APARTMENTS IN 25-27 VICTORIA PARADE	26	26
APARTMENTS IN 29 VICTORIA PARADE	21	21
TOTAL NUMBER OF APARTMENTS	47	47
APARTMENTS RECEIVING 2HRS (PRIVATE OUTDOOR AND LINING ROOMS)	11 (23.4%)	8 (17%)
REDUCTION IN SOLAR ACCESS		3 (6.4%)

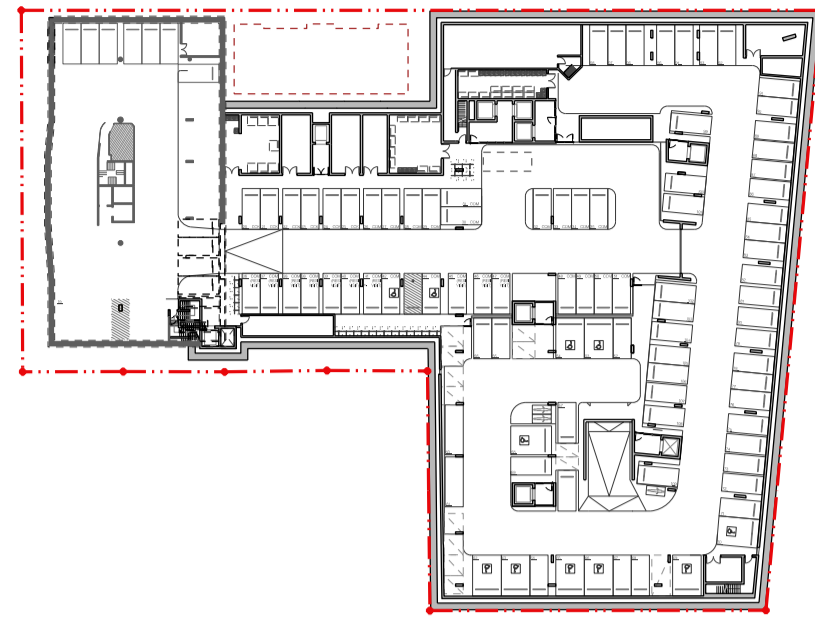
NOTE: APARTMENT DESIGN GUIDE (COLLECTIVE 3B-2) – WHERE AN ADJOINING PROPERTY DOES NOT CURRENTLY RECEIVE 2HRS SOLAR ACCESS, THE PROPOSED BUILDING ENSURES SOLAR ACCESS TO NEIGHBOURING PROPERTIES IS NOT REDUCED BY MORE THAN 20%.

300mm
250mm
200mm
150mm
100mm
50mm
 DRAWING SCALE: A1
 DATE: 14/07/2023
 PROJECT: ROYAL FAR WEST
 SHEET: SHADOW ANALYSIS - SHEET 5

<p>Note: This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation and structural, mechanical, electrical & hydraulic engineering documentation etc. Refer architectural drawing notes page for further information.</p> <p>Do not scale from this drawing. Only signed dimensions shall be used.</p> <p>Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural documents are indicator only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all masonry, joinery etc. and checked by architect & SE prior to fabrication.</p> <p>This document shall only be used for the purpose for which it was commissioned.</p>	<p>Town Planning: Boston Blyth Fleming</p> <p>1/11-13 Narabang Way Belfair NSW 2065 T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group</p> <p>Level 2, 56 Berry St North Sydney NSW 2060 T: 02 9809 0666</p>	<p>Heritage Consultant: URBIS</p> <p>Angell Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: City Plan</p> <p>Level 6, 120 Sussex St Sydney NSW 2000 T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners</p> <p>96 Hermitage Rd West Ryde NSW 2114 T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates</p> <p>Level 1, 416A Elizabeth St Sydney NSW 2010 T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture</p> <p>Suite 203, 12, 61 Marlborough St Sydney NSW 2010 T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD</p> <p>Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop</p> <p>Level 11, 345 George St Sydney NSW 2000 T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting</p> <p>Level 3, 8 Spring St Sydney NSW 2000 T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates</p> <p>Suite 1, 115 Military Rd Neutral Bay NSW 2089 T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST</p> <p>Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly</p> <p>Client: Royal Far West</p> <p>Scale: As shown @ A1</p> <p>Drawn By: LMS7/MJB</p> <p>Checked 1: MB, EP</p> <p>Checked 2: EP</p> <p>Approved: EP</p>	<p>Architect: Murcutt Candalepas</p> <p>Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773</p> <p>309 Sussex Street Sydney NSW 2000 T: 02 9283 7755 F: 02 9283 7477</p>	<p>Drawing: SHADOW ANALYSIS - SHEET 5</p> <p>Drawing Number: S75W_1655</p>	<p>Job Number: 5899</p> <p>Issue: B.</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">FOR A-175W APPLICATION ONLY</p>
	<p>Copyright © This document is the property of Murcutt Candalepas. No reproduction of this document is permitted without written permission of the owner. Unauthorised use of this document is prohibited.</p>														



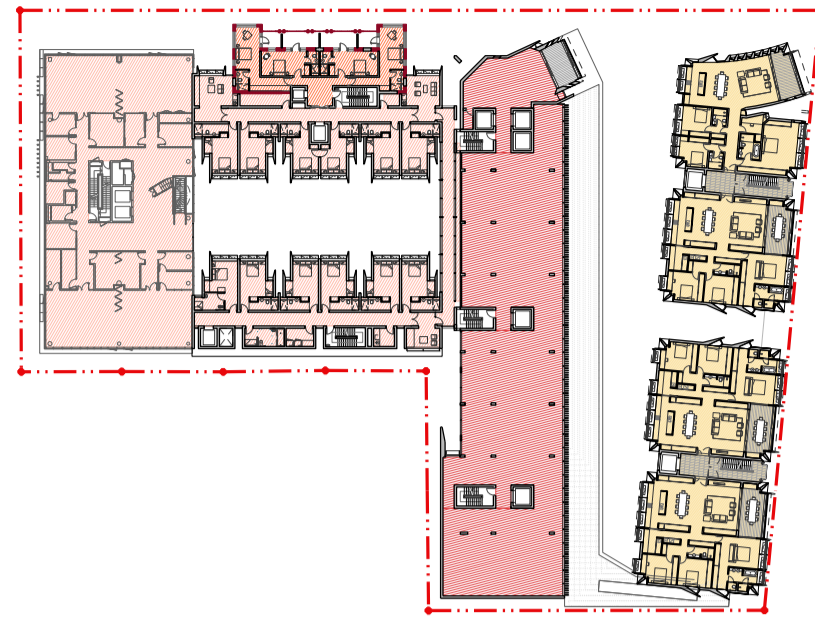
BASEMENT 2		TOTAL GFA
CARPARK & STORAGE		- m ²



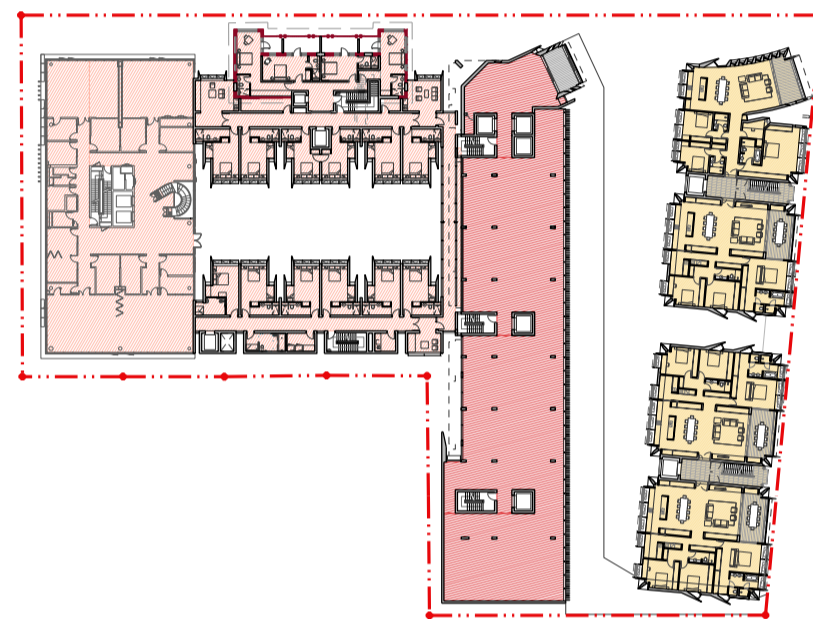
BASEMENT 1		TOTAL GFA
CARPARK & STORAGE		- m ²



GROUND FLOOR		TOTAL GFA
BUILDING A (EXISTING CCK)		447 m ²
BUILDING B (113 + 587)		700 m ²
BUILDING C (976 + 84)		1,295 m ²
BUILDING D (276 + 41)		317 m ²



LEVEL 1		TOTAL GFA
BUILDING A (EXISTING CCK)		686 m ²
BUILDING B (137 + 637)		774 m ²
BUILDING C		895 m ²
BUILDING D		910 m ²



LEVEL 2		TOTAL GFA
BUILDING A (EXISTING CCK)		681 m ²
BUILDING B (135 + 637)		772 m ²
BUILDING C		895 m ²
BUILDING D		910 m ²



LEVEL 3		TOTAL GFA
BUILDING A (EXISTING CCK)		418 m ²
BUILDING B		89 m ²
BUILDING C		944 m ²
BUILDING D		932 m ²



LEVEL 4		TOTAL GFA
BUILDING A (EXISTING CCK)		646 m ²
BUILDING B		0 m ²
BUILDING C		973 m ²
BUILDING D		932 m ²



LEVEL 5		TOTAL GFA
BUILDING A (EXISTING CCK)		620 m ²
BUILDING B		- m ²
BUILDING C		973 m ²
BUILDING D		- m ²



LEVEL 6		TOTAL GFA
BUILDING A (EXISTING CCK)		0 m ²
BUILDING B		0 m ²
BUILDING C		991 m ²
BUILDING D		0 m ²



LEVEL 7		TOTAL GFA
BUILDING A (EXISTING CCK)		0 m ²
BUILDING B		0 m ²
BUILDING C		989 m ²
BUILDING D		0 m ²



LEVEL 8		TOTAL GFA
ROOF TERRACE		6 m ²

DEVELOPMENT CALCULATIONS

	COMMERCIAL	RESIDENTIAL	DRUMMOND HOUSE	ROYAL FAR WEST
GROUND	1,487 m ²	125 m ²	700 m ²	447 m ²
LEVEL 1	895 m ²	910 m ²	774 m ²	686 m ²
LEVEL 2	895 m ²	910 m ²	772 m ²	681 m ²
LEVEL 3	- m ²	1,876 m ²	89 m m ²	418 m ²
LEVEL 4	- m ²	1,905 m ²	- m ²	546 m ²
LEVEL 5	- m ²	973 m ²	- m ²	620 m ²
LEVEL 6	- m ²	991 m ²	- m ²	- m ²
LEVEL 7	- m ²	989 m ²	- m ²	- m ²
LEVEL 8	- m ²	6 m ²	- m ²	- m ²
TOTAL	3,277 m ²	8,685 m ²	2,335 m ²	3,498 m ²

PROPOSED SITE CONDITIONS

TOTAL SITE AREA	6,398 m ²
PROPOSED TOTAL GFA	17,795 m ²
PROPOSED FSR	2.78 : 1
PROPOSED UNIT NUMBERS	58
PROPOSED RW ACCOMMODATION	36

APPROVED SITE CONDITIONS

TOTAL SITE AREA	6,398 m ²
TOTAL ALLOWABLE GFA	19,194 m ²
APPROVED FSR	3.0
APPROX UNIT NUMBERS	46
APPROX HOTEL NUMBERS	165

NOTE.

DEVELOPMENT CALCULATIONS INCLUDED ON THIS SHEET ARE PREPARED USING A REFERENCE DESIGN THIS ALLOWS FOR A MORE ACCURATE CALCULATION OF THE GROSS FLOOR BUILDING AREA (GFA).

Note:
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Project:
ROYAL FAR WEST
Site:
14-22 Wentworth Street & 19-21 South Steyne, Manly

Client:
Royal Far West

Scale:
As shown @ A1

Drawn By:
LMS748

Checked 1:
MB, EP

Checked 2:
EP

Approved:
EP

Drawing:
DEVELOPMENT CALCS
Drawing Number:
S75W -1801

Job Number:
5899
Issue:
B.



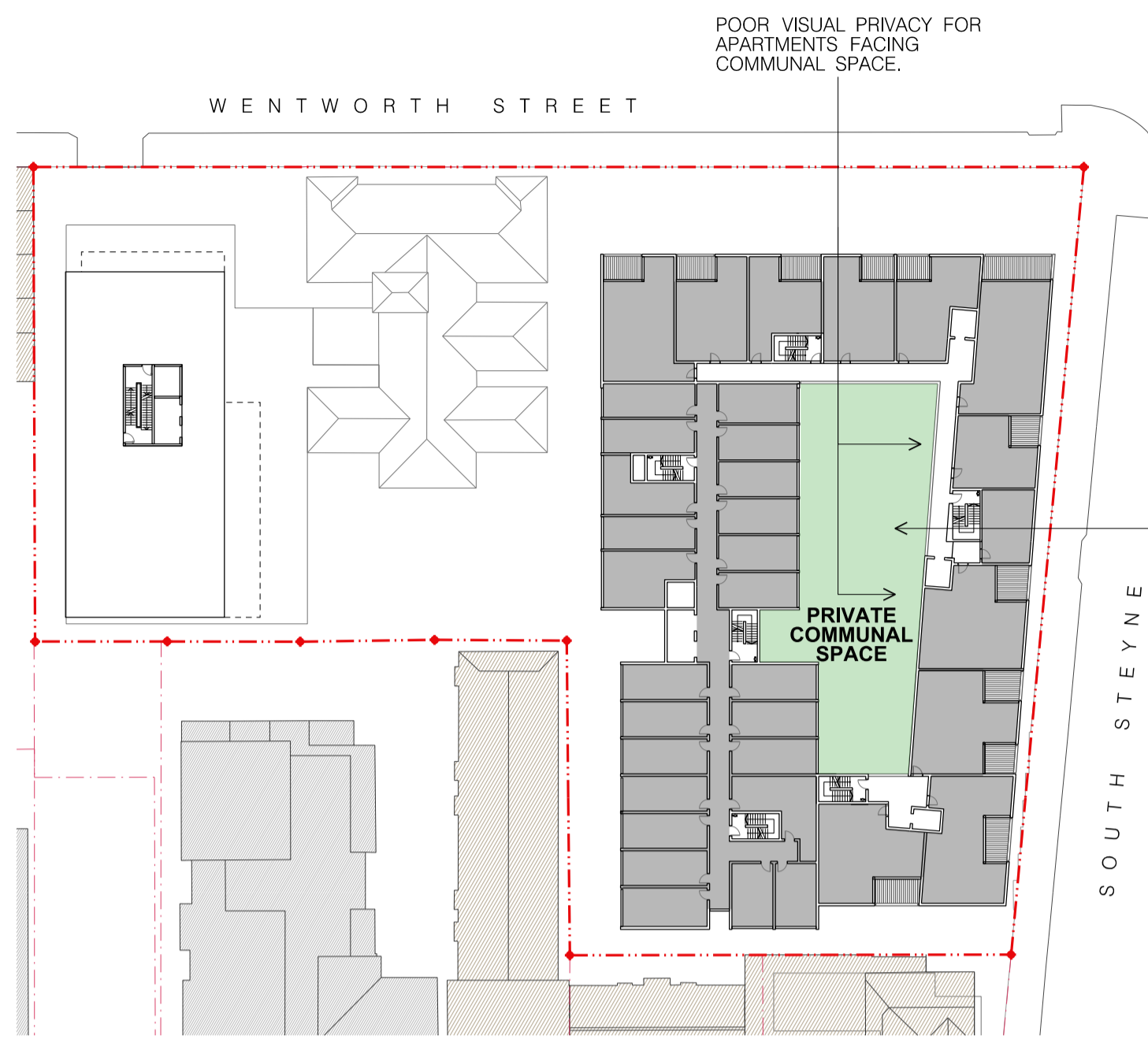
01 TYP RESIDENTIAL FLOOR PLAN – CROSSVENT (PART 3A)
1:500

LEGEND:

- RESIDENTIAL FLOOR PLATE
- HOTEL FLOOR PLATE
- INDICATIVE CROSS VENTILATION

SEPP 65 ANALYSIS: DOES NOT ACHIEVE DESIGN CRITERIA FOR OBJECTIVE 4B-3

CROSS VENTILATION	
TOTAL APARTMENTS:	46
APARTMENTS RECEIVING CROSS VENTILATION:	19 (41.3%)



02 PODIUM PLAN – RESIDENTIAL COMMUNAL OPEN SPACE (PART 3A)
1:500

LEGEND:

- COMMUNAL OPEN SPACE

SEPP 65 COMPLIANCE: DOES NOT ACHIEVE DESIGN CRITERIA FOR OBJECTIVE 3D-1

COMMUNAL OPEN SPACE	
PRIVATE COMMUNAL SPACE (RESIDENTS ACCESS ONLY):	482.4 m ²
PRIVATE COMMUNAL SPACE RECEIVING >2hrs SUNLIGHT MID WINTER:	36.1m ² (7.6%)

ONLY 7.6% OF THE SPACE RECEIVES REQD SUN MID WINTER.



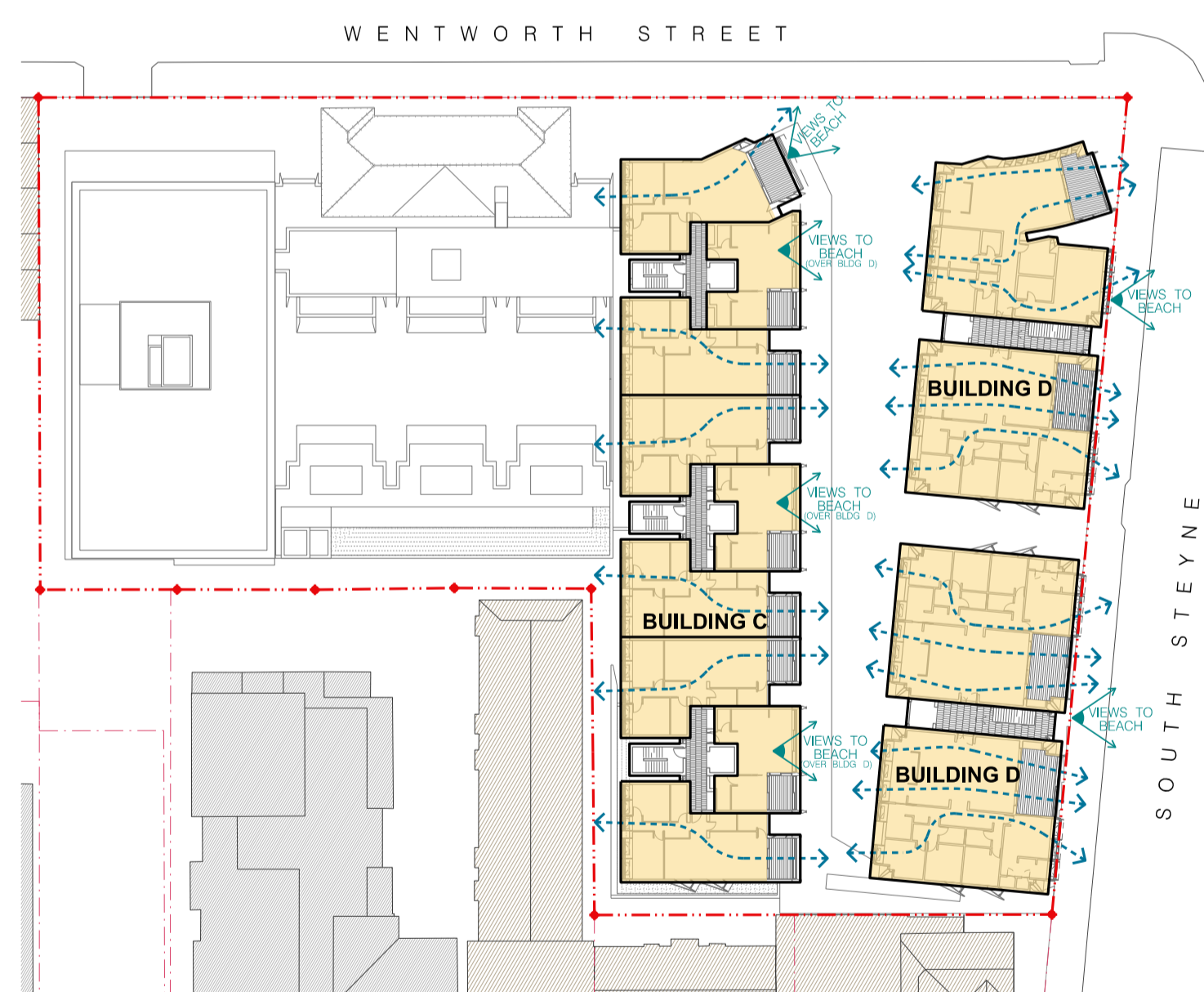
03 TYP RESIDENTIAL FLOOR PLAN – SOLAR ACCESS (PART 3A)
1:500

LEGEND:

- RESIDENTIAL FLOOR PLATE
- WINTER SUN PATH

SEPP 65 COMPLIANCE: CAN ACHIEVE DESIGN CRITERIA FOR OBJECTIVE 4A-1

SOLAR ACCESS	
TOTAL APARTMENTS:	46
APARTMENTS RECEIVING >2hrs SUNLIGHT MID WINTER:	42 (91.3%)
APARTMENTS RECEIVING NO SUN MID WINTER:	4 (8.7%)



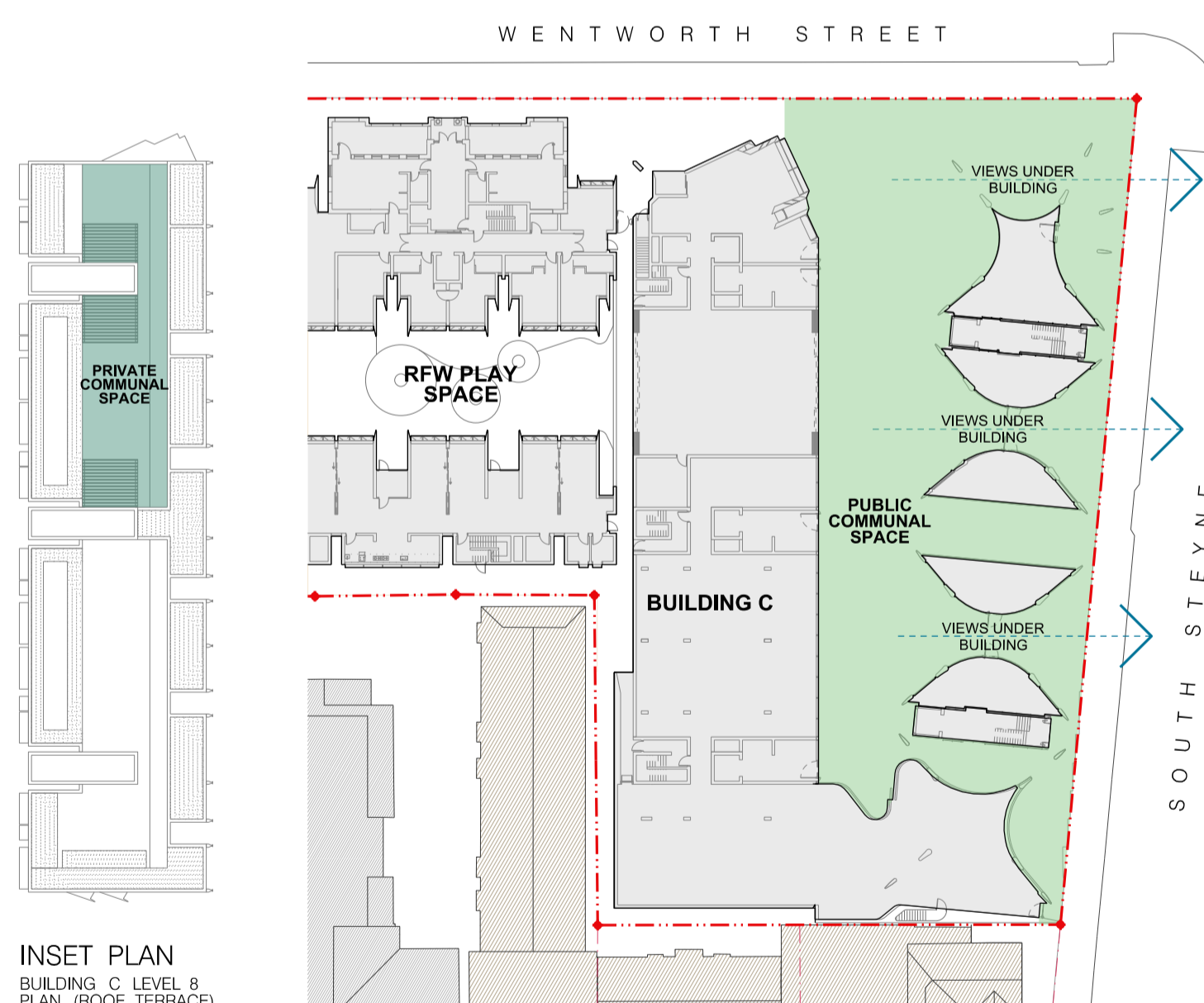
04 CROSS VENTILATION & VIEWS – PROPOSAL
1:600

LEGEND:

- RESIDENTIAL FLOOR PLATE
- INDICATIVE CROSS VENTILATION

SEPP 65 ANALYSIS: CAN ACHIEVE DESIGN CRITERIA FOR OBJECTIVE 4B-3

CROSS VENTILATION	
TOTAL APARTMENTS:	58
APARTMENTS RECEIVING CROSS VENTILATION:	46 (79.3%)



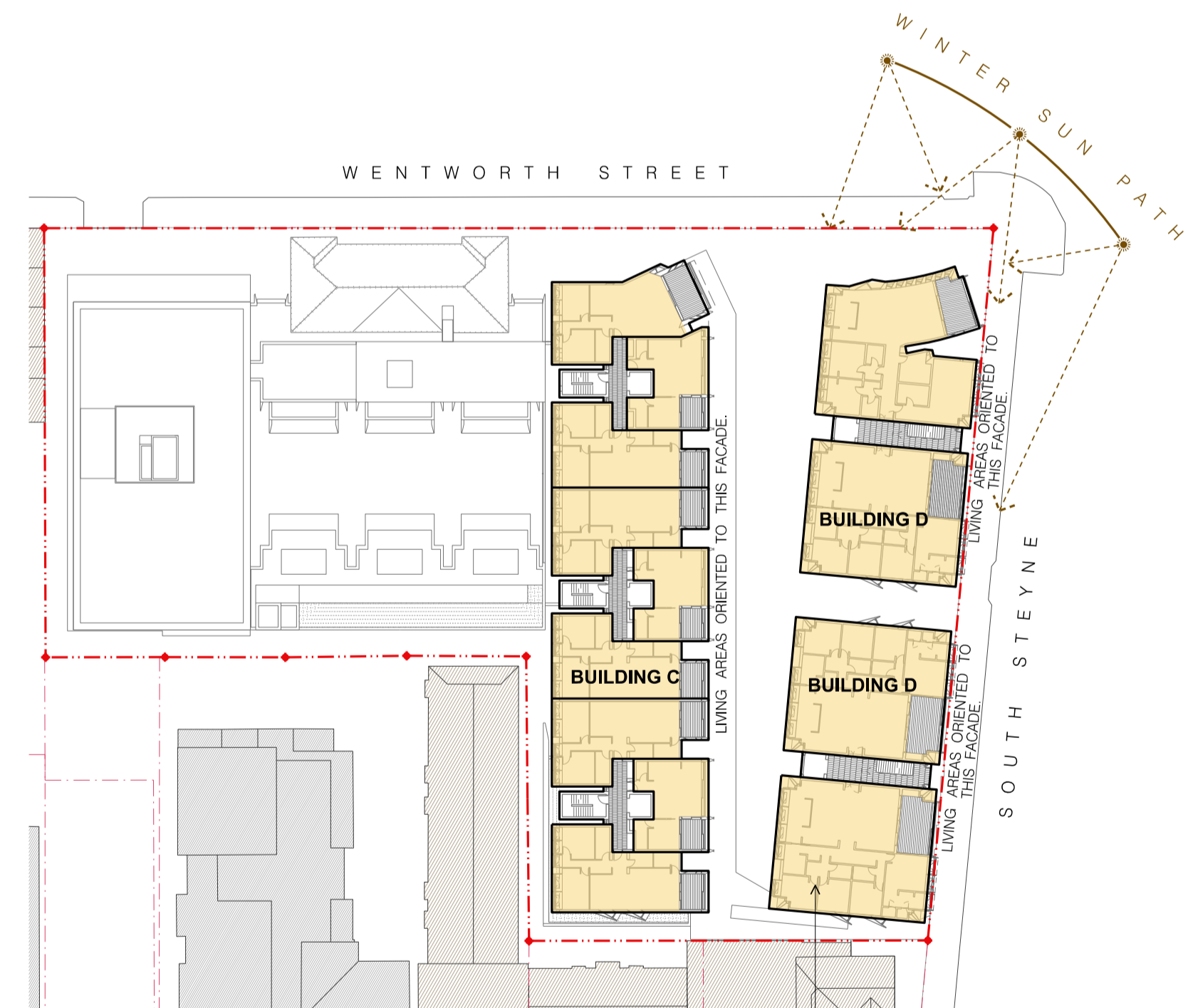
05 RESIDENTIAL COMMUNAL OPEN SPACE – PROPOSAL
1:600

LEGEND:

- COMMUNAL OPEN SPACE

SEPP 65 COMPLIANCE: CAN ACHIEVE DESIGN CRITERIA FOR OBJECTIVE 3D-1

COMMUNAL OPEN SPACE	
TOTAL COMMUNAL SPACE (PUBLIC AND PRIVATE):	1,723 m ²
PRIVATE COMMUNAL SPACE (RESIDENTS ACCESS ONLY):	228 m ²
PRIVATE COMMUNAL SPACE RECEIVING >2hrs SUNLIGHT MID WINTER:	223 m ² (97.8%)



06 SOLAR ACCESS – PROPOSAL
1:600

LEGEND:

- RESIDENTIAL FLOOR PLATE
- WINTER SUN PATH

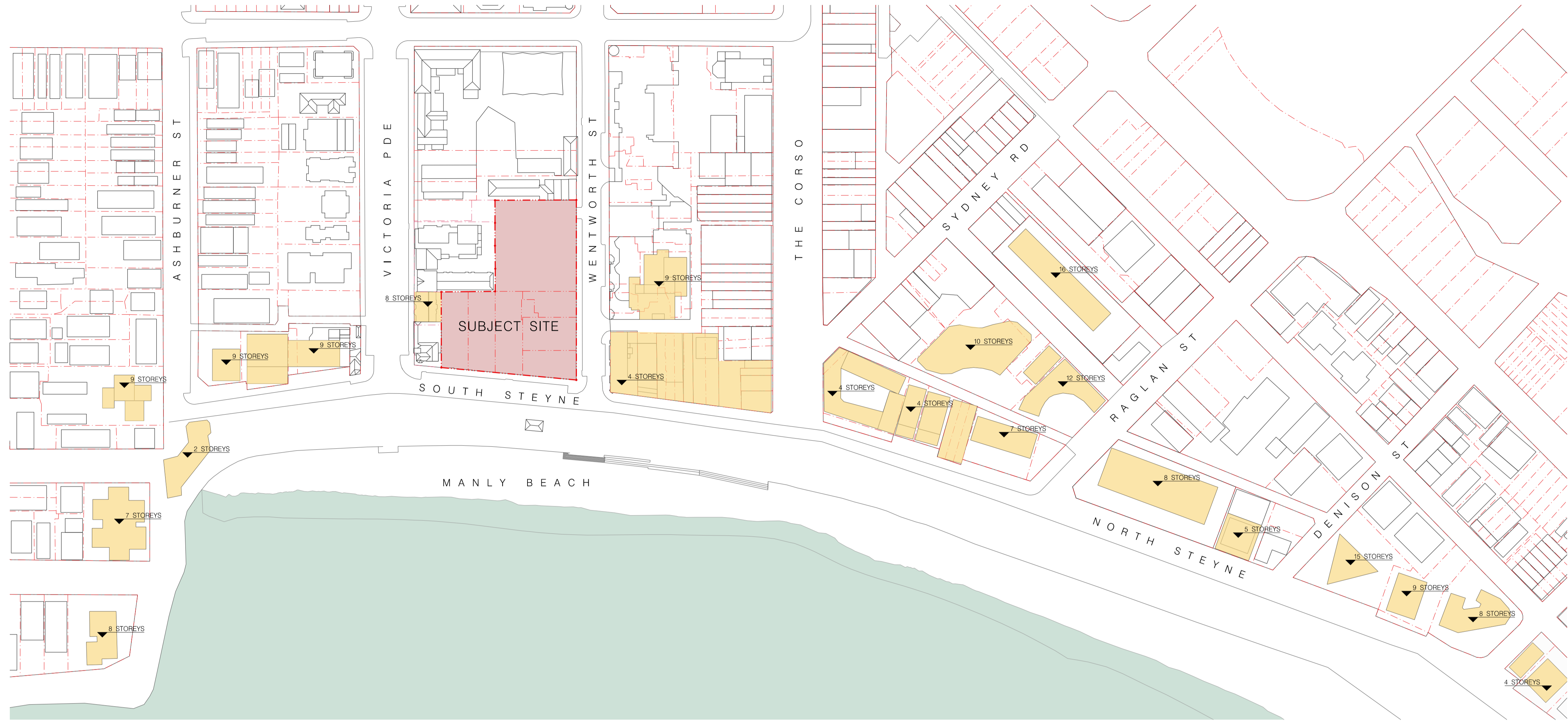
SEPP 65 COMPLIANCE: CAN ACHIEVE DESIGN CRITERIA FOR OBJECTIVE 4A-1

SOLAR ACCESS	
TOTAL APARTMENTS:	58
APARTMENTS RECEIVING >2hrs SUNLIGHT MID WINTER:	41 (70.6%)
APARTMENTS RECEIVING NO SUN MID WINTER:	0

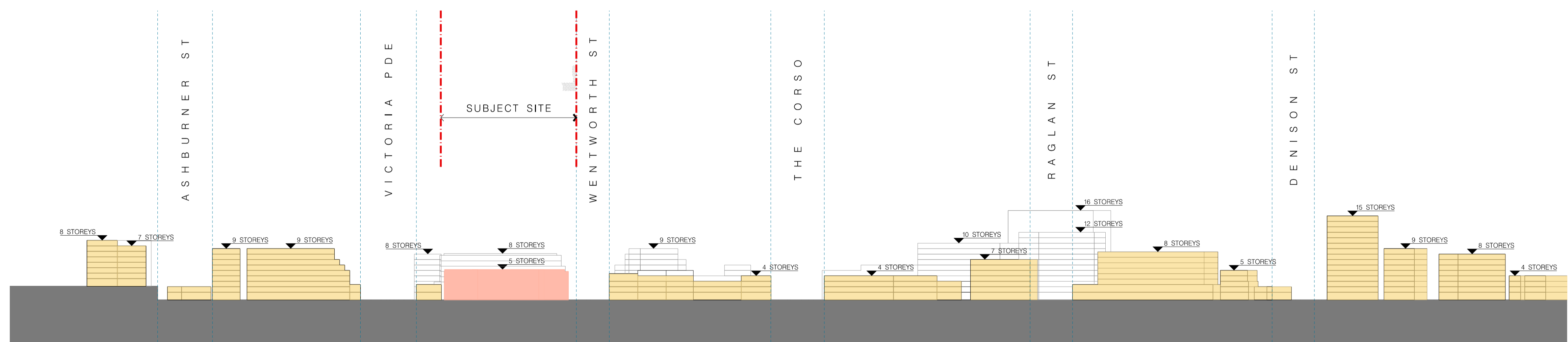
DETAILED DEVELOPMENT APPLICATION PLANS SHOWN IN GREY UNDERNEATH THE ENVELOPE PLANS FOR CLARITY.

300mm
250mm
200mm
150mm
150mm

<p><small>Note:</small> This drawing is to be read in conjunction with all relevant project documentation and written architectural specifications. All specialist consultant documentation (i.e. structural, mechanical, electrical & hydraulic, engineering, documentation etc.) Refer architectural drawing notes page for further information. Do not scale from this drawing. Only signed dimensions shall be used. Report any discrepancy between this drawing & other project documentation immediately to the architect for clarification prior to commencement of works on site. All structural elements (load bearing columns, beams, walls etc) shall be shown on these architectural documents as indicative only. Refer Structural Engineer's documents for all items. Shop drawings to be completed for all steelwork, joinery etc and checked by architect & SE prior to fabrication. This document shall only be used for the purpose for which it was commissioned.</p>	<p>Drawings Consultant: AM1 Town Planning: Boston Blyth Fleming Suite 1, 9 Narabang Way Belfour NSW 2085 greg@bbfplanners.com.au T: 02 9986 2535</p>	<p>Project Manager: Lighthouse Project Group Level 2, 56 Berry St North Sydney NSW 2000 reception@lighthousepm.com.au T: 02 9809 0666</p>	<p>Heritage Consultant: URBIS Anghel Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: City Plan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 info@douglasp.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 1, 416A Elizabeth St Sydney Hills NSW 2010 info@renzot.com.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Marlborough St Sydney Hills NSW 2010 info@jila.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Neutral Bay NSW 2089 contact@adpconsulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 115 Military Rd Neutral Bay NSW 2089 mail@james.taylorassociates.com.au T: 02 9969 1999</p>	<p>Project: ROYAL FAR WEST Site: 14-22 Wentworth Street & 19-21 South Steyne, Manly Client: Royal Far West Scale: As shown @ A1 Drawn By: LM67JAB Checked 1: MB, EP Checked 2: EP Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773 309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7427</p>	<p>Drawing: AMENITY DIAGRAM SHEET Drawing Number: 575W -1851</p>	<p>Job Number: 5899 Issue: B.</p>
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02 BUILDING HEIGHT CONTEXT PLAN
1:1500



01 EAST ELEVATION - SOUTH STEYNE & NORTH STEYNE
1:1500

- LEGEND:
- X STOREYS INDICATIVE BUILDING HEIGHT
 - PROPOSED SITE ENVELOPE
 - BEACHFRONT BUILDING
 - BUILDING BEHIND

Note:
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Client:
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Scale:
As shown @ A1

Drawn By:
LMSJ:MB
Checked 1:
MB, EP
Checked 2:
EP
Approved:
EP

Architect:
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Drawing:
BUILDING HEIGHT ANALYSIS SHEET
Drawing Number:
S75W -1852

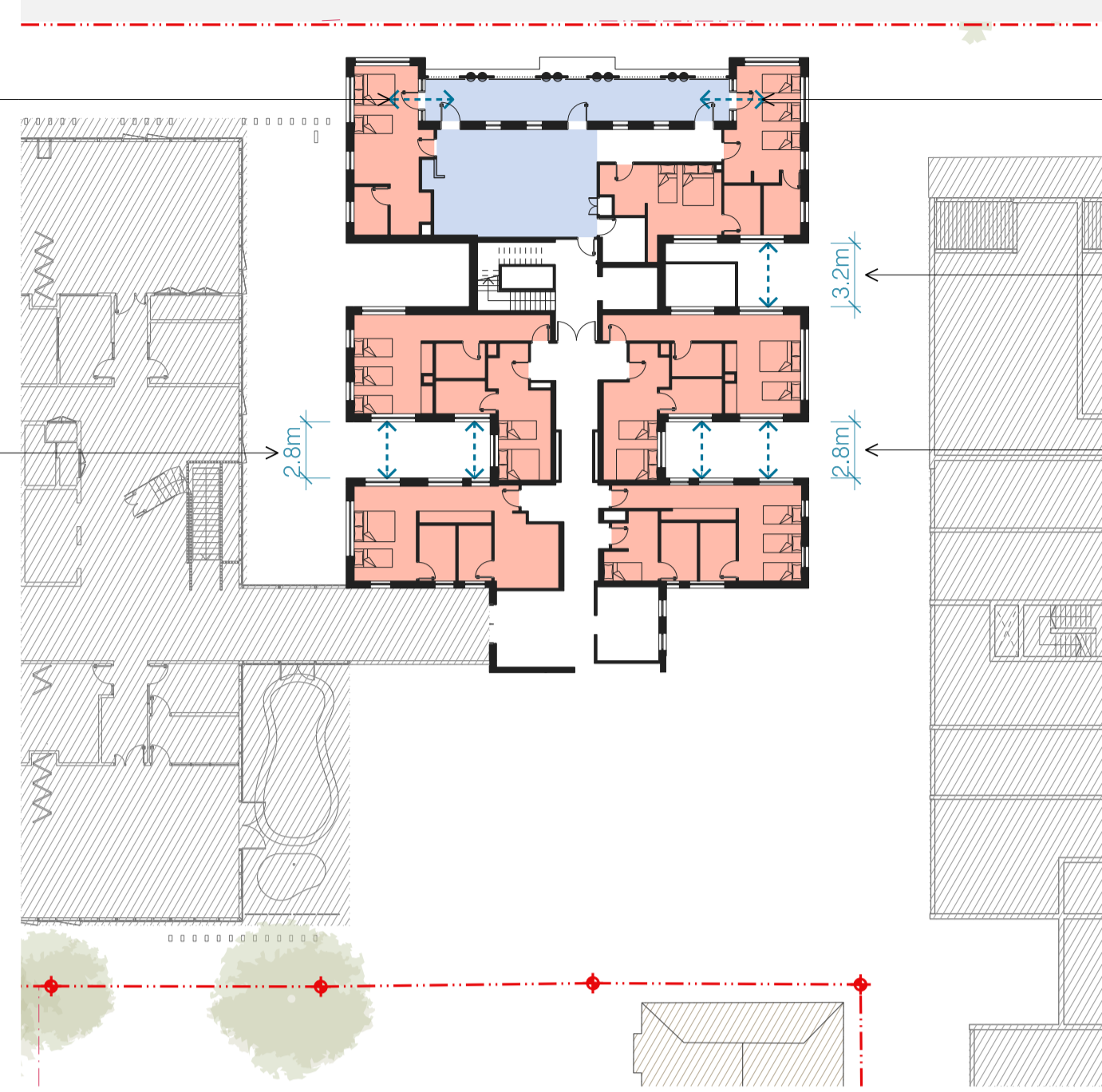
Job Number:
5899
Issue:
B.

FOR A-175W APPLICATION ONLY



01 PART 3A – GROUND FLOOR PLAN
1:300
PLAYSPACE LOCATION

- LEGEND:
- RESIDENCES
 - CHILDRENS PLAY SPACE
 - COMMUNAL SPACE/RECEPTION
 - <- - - -> VISUAL & ACOUSTIC PRIVACY



02 PART 3A – LEVEL 1 PLAN
1:300
VISUAL + ACOUSTIC PRIVACY

- LEGEND:
- RESIDENCES
 - <- - - -> VISUAL SEPERATION
 - COMMUNAL SPACE



03 PART 3A – LEVEL 1 PLAN
1:200
FLEXIBILITY AND ADAPTABILITY

- LEGEND:
- RESIDENCES
 - COMMUNAL SPACE
- NOTE:
ROOMS RETAINED IN PART 3A: 28



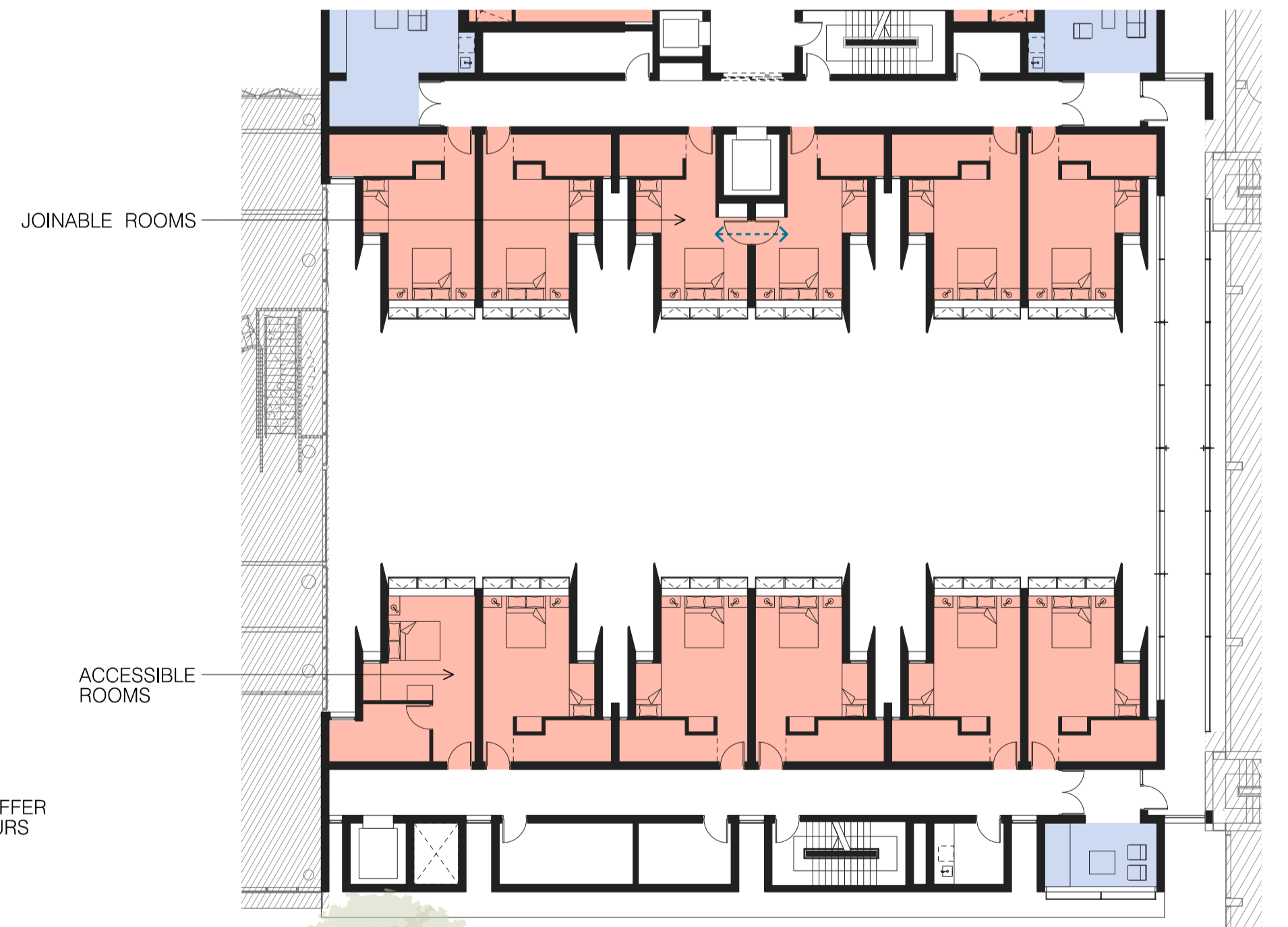
04 PROPOSAL – GROUND FLOOR PLAN
1:300
PLAYSPACE LOCATION

- LEGEND:
- RESIDENCES
 - CHILDRENS PLAY SPACE
 - COMMUNAL SPACE
 - <- - - -> VISUAL & ACOUSTIC PRIVACY



05 PROPOSAL – LEVEL 1 PLAN
1:300
VISUAL + ACOUSTIC PRIVACY

- LEGEND:
- RESIDENCES
 - <- - - -> VISUAL SEPERATION
 - COMMUNAL SPACE



06 PROPOSAL – LEVEL 1 PLAN
1:200
FLEXIBILITY AND ADAPTABILITY

- LEGEND:
- RESIDENCES
 - COMMUNAL SPACE
- NOTE:
ROOMS PROPOSED IN NEW BUILDING: 28
ROOMS RETAINED IN EXISTING BUILDING: 8
TOTAL AVAILABLE ROOMS: 36

<p>Project: ROYAL FAR WEST 14-22 Wentworth Street & 19-21 South Steyne, Manly</p> <p>Client: Royal Far West</p> <p>Scale: As shown @ A1</p> <p>Drawn By: LMS748</p> <p>Checked 1: MB, EP</p> <p>Checked 2: EP</p> <p>Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773</p> <p>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773</p> <p>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Project Manager: Boston Blyth Fleming Lighthouse Project Group</p> <p>Level 2, 56 Berry St North Sydney NSW 2000 greg@blythfleming.com.au T: 02 9986 2535</p>	<p>Heritage Consultant: URBIS Angeal Place, 18, 123 Pitt St Sydney NSW 2000 T: 02 8233 9900</p>	<p>BCA Consultant: City Plan Level 6, 120 Sussex St Sydney NSW 2000 reception@cityplan.com.au T: 02 8270 3100</p>	<p>Geotech & Contamination: Douglas & Partners 96 Hermitage Rd West Ryde NSW 2114 sydney@douglasp.com.au T: 02 9809 0666</p>	<p>Acoustic Engineer: Renzo Tonin & Associates Level 2, 418A Elizabeth St Sydney Hills NSW 2010 info@renzot.com.au T: 02 8218 0500</p>	<p>Landscape Architect: Jane Irwin Landscape Architecture Suite 203, 12, 61 Mordborough St Sydney Hills NSW 2010 info@jila.net.au T: 02 9212 6957</p>	<p>Fire & Fire Services Engineers: GHD Level 15, 133 Castlereagh St Sydney NSW 2000 T: 02 9239 7100</p>	<p>Civil & Stormwater Engineers: Northrop Level 11, 345 George St Sydney NSW 2000 sydney@northrop.com.au T: 02 9241 4188</p>	<p>Hydraulic & Mechanical Engineers: ADP Consulting Level 3, 8 Spring St Sydney NSW 2000 contact@adpconsulting.com.au T: 02 8203 5447</p>	<p>Structural Engineer: James Taylor & Associates Suite 1, 115 Military Rd Neutral Bay NSW 2089 mail@james.taylorassociates.com.au T: 02 9969 1999</p>	<p>Scale: As shown @ A1</p> <p>North Arrow: (North arrow pointing up)</p>	<p>Project: ROYAL FAR WEST 14-22 Wentworth Street & 19-21 South Steyne, Manly</p> <p>Client: Royal Far West</p> <p>Scale: As shown @ A1</p> <p>Drawn By: LMS748</p> <p>Checked 1: MB, EP</p> <p>Checked 2: EP</p> <p>Approved: EP</p>	<p>Architect: Murcutt Candalepas Glenn Murcutt Registration No. NSW 2448 Angela Candalepas Registration No. NSW 5773</p> <p>309 Sussex Street Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477</p>	<p>Project: DRUMMOND HOUSE AMENITY DIAGRAM</p> <p>Drawing Number: S75W -1852</p> <p>Job Number: 5899</p> <p>Issue: B.</p>
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