

4.7 Public Open Space

Consistent with the approved Concept Plan, the guiding principles that determined the location of the key elements of public and private open space for the proposed modified scheme remain unchanged, namely:

- To provide a significant new urban park for Chippendale and the City of Sydney.
- To provide a series of smaller spaces to articulate key points in the public domain.

Also consistent with the approved Concept Plan, the proposed modified scheme will:

- Transform the southern portion of the site by the establishment of a significant area of public open space to be dedicated to the City of Sydney Council;
- Create a generous hierarchy of public spaces distributed to provide for a variety of passive and active recreational experiences, and that break up the structural grid and urban form.

One of the most significant benefits that will result from the proposed modifications to the approved Concept Plan is the fact that a much larger central public domain area with better environmental qualities will result.

Drawing A-1254, which is reproduced at **Figure 10**, shows the proposed public domain.

Main Park

The main park is retained in the same position as that originally approved and is enlarged through the deletion of Irving Street. The land that will now be under the ownership and control of the Council has an area of 6,328m² compared to 5,381m² as originally approved and 5,000m² required under the VPA.

The park continues to be bounded by Irving, O'Connor and Carlton Streets, which together define the park as public, and ensure accessibility and connectivity. As with the approved scheme, the proposed modified scheme retains active uses at ground floor around the periphery of the park, and will establish residential uses overlooking the park providing security and surveillance from all sides.

Consistent with the approved Concept Plan, the main park continues to meet the following locational design criteria:

- Away from the noise of intrusive roads.
- Along the path of the former watercourse.
- Adjacent to the main grouping of heritage buildings, the Irving Street Brewery Group.
- Adjacent to the residential areas of Chippendale.

Piazza

As a result of the redistribution of the approved floor space away from Block 5, the building which was originally approved in that location has been deleted and a new publicly accessible area is now proposed.

A feature of the new piazza will be the "Green Plates" – landscaped platforms – which will rise from Block 2a up into the podium levels of Block 2 (See **Figure 10**). The green plates will provide a direct link from the public domain, over Tooth lane and up into the building on Block 2. Further detail on the design of the green plates will be provided in the Project Application for Block 2.

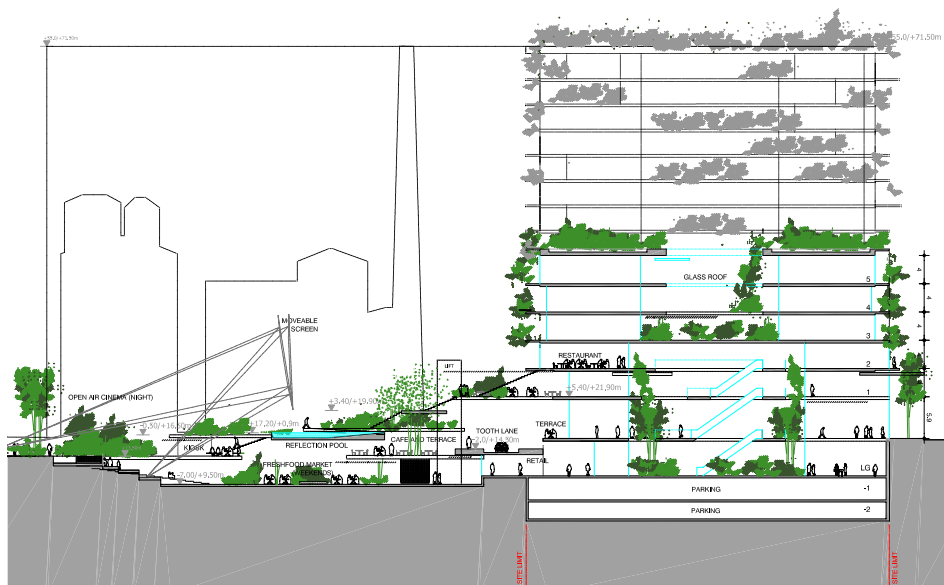


Figure 11 – Green Plates within the new public piazza
Source: Atelier Jean Nouvel

Streets

Except for O'Connor and Kent Streets, all the proposed streets internal to the site are to be shared access zones and will be designed for local area traffic only. Public streets will be constructed in accordance with the City of Sydney's Street Policy and Public Domain Policy.

The proposed street sections are shown on drawing A-1458 and widths are shown on drawing A-1259. All streets will be provided with footpaths on either side, although the widths of these will vary according to the hierarchy of streets proposed.

Ovoid drain

Another feature proposed in the public domain is the span of the southern end of the building on the western portion of Block 5 (See **Figure 11**). The building will span over the heritage ovoid drain and presents to opportunity to make a display of the drain so that the public can appreciate the archaeology of the site.

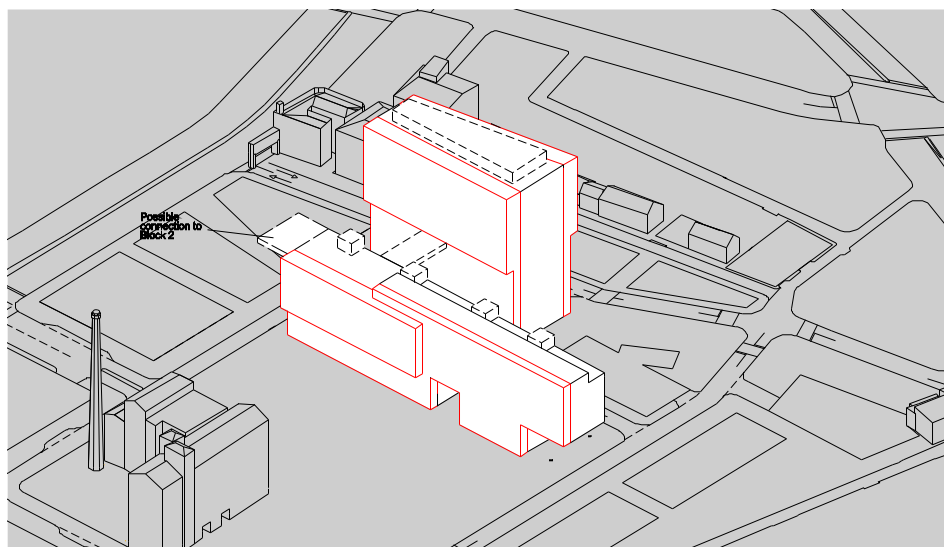


Figure 12 – Isometric view of Block 5
Source: Foster + Partners