

June 2009

Volume 4

Sapphire

Design Guidelines

Report



Appendix 8

Design Guidelines



**Cox Richardson Architects
and Planners**

Sapphire

Prepared for
Sapphire Beach Development Pty Ltd

Design Guidelines

June 2009

Design Guidelines

1. **Approval Process**
2. **General**
3. **Precinct Design Guidelines**

The principle aim of Design Guidelines is to create high quality dwellings within a distinctive North Coast beachfront context, setting Sapphire apart as a special place to live. The controls are intended to produce a consistent image while maintaining opportunities for diversity of product and variety in design within each part of the community. This strategy will help guide the council and developer in the approval process, protect the value of property, and provide flexibility in building concepts within the context of an integrated community. While this document sets out a definitive set of guidelines it has been formulated to offer a wide range of choice in form and material, allowing diversity.



1 Approval Process

Approval Process



Legislation

The Design Guidelines are not intended in any way to replace State Government and Local Government Planning Legislation Policies and Controls. All development is required to comply with current legislation, policies and controls, including the Environmental Planning and Assessment Regulations 2000, any State Environmental Planning Policies, the North Coast Regional Environmental Plan Coastal Design Guidelines for NSW, North Coast Urban Design Guidelines 2000 the Coffs Harbour Local Environmental Plan 2000, any relevant Development Control Plans. The requirements of any government building or development legislation are additional to the requirements under the Guidelines.

2.1 General

The following general controls apply to all precincts in the site

2.1.1 Floor Site Ratio

Area	Ratio
Under 600 m ²	0.66 : 1 (2 storeys)
	0.70 : 1 (3 storeys)
>600 m ²	0.56 : 1

2.1.2 Site Cover

Building area	50%
Soft landscaping	40%
Hard paving	10%

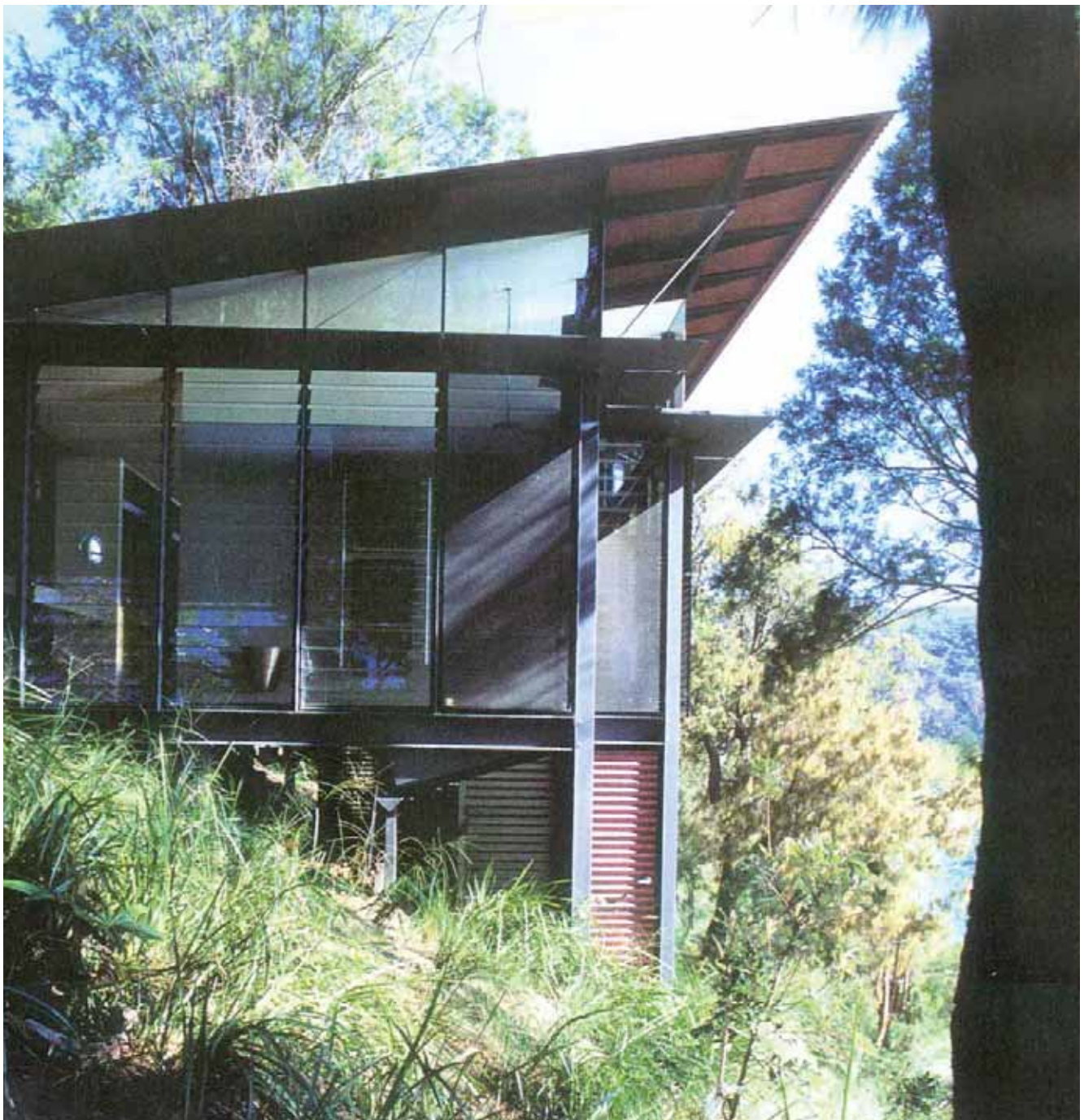
2.1.3 Private Open Space

Lot Size	Open Space Area Min
Under 600 m ²	80 m ²
>600 m ²	100 m ²

Principle private open space dimension: 6 m x 4 m

2.1.4 Roof Forms

- Roof may generally be skillion or flat
- Steps and changes in roof form are encouraged to add interest to the streetscape.
- Flat roofs are required on single storey elements within view corridors.
- Curved roof forms will be considered on merit.
- Building must have a minimum eave width of 600mm except for a “built to boundary wall”.
- Roof materials should comprise of metal sheeting or a waterproof built up flat roof system.
- Tiled roofs are not permitted.



2.1.5

General Building Setbacks

- Building walls are to be setback from the site boundaries as indicated on the Building Footprint and Height Plan.
- Maximum continuous length of 15m for second storey walls in either direction along lot boundaries.

2.1.6

Building Materials and Colours

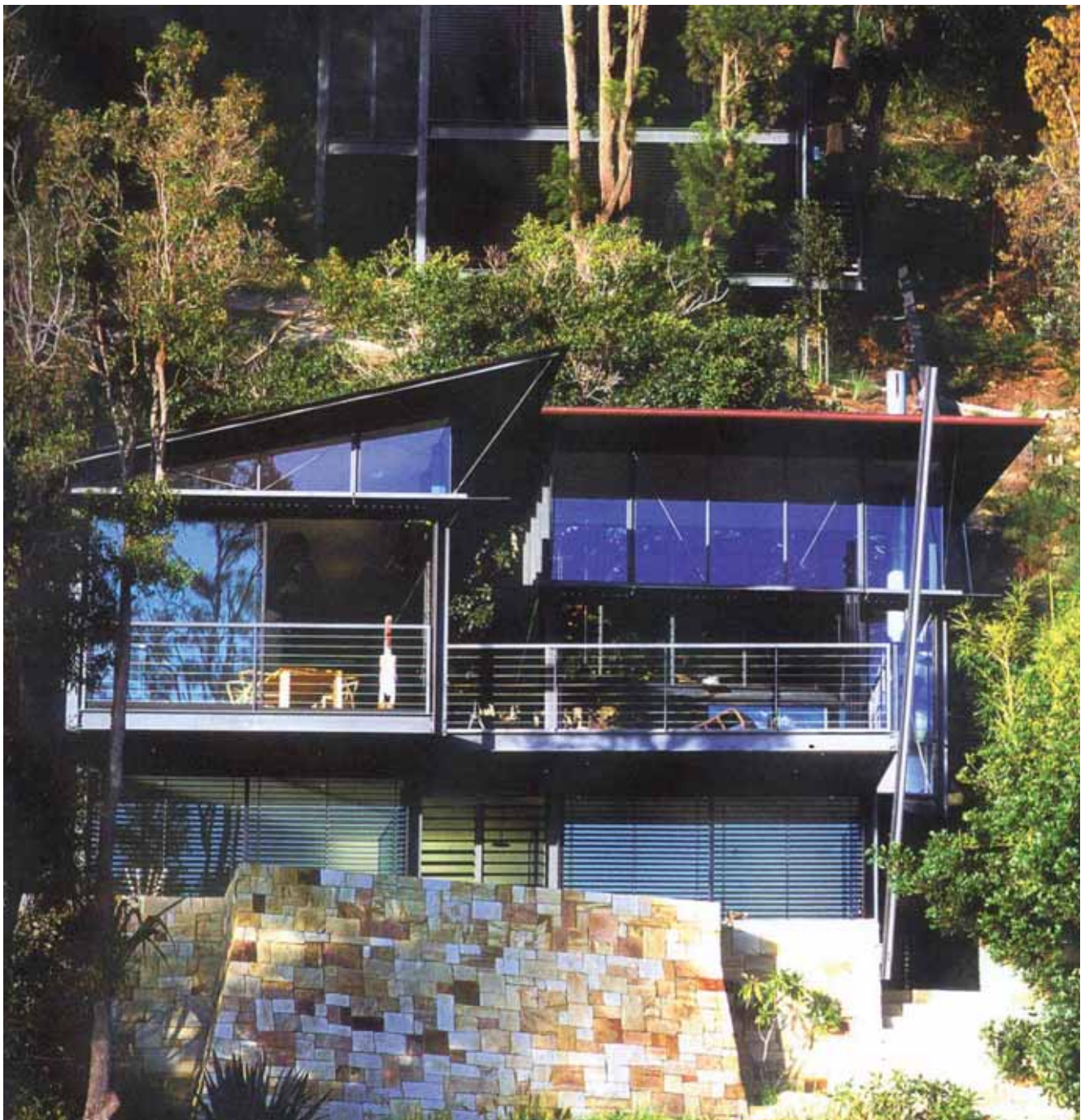
2.1.6.1

External Wall Finishes

External wall finishes to be of a scale, form and material that is reflective of coastal beach architecture consistent with the NSW Department of Planning North Coast Urban Design Guidelines, 2009.

Acceptable materials include:

- Concrete, stone or masonry (render, bagged or texture paint finish).
- Weatherboards (stain or paint finish).
- Plywood (stain or paint finish).
- Fibre cement wall cladding (paint finish).
- Steel frame and glass.
- Colours to be in natural materials and neutral tones.



2.1.6.2

Roof Materials

- Roof materials to comprise of metal sheeting such as zincalume, colorbond, copper and zinc and/or a waterproof built up flat roof system.
- Roof colour to be generally lighter tones with low reflectivity where overlooked by buildings of higher levels.
- Tile roofs are not permitted.

2.1.7

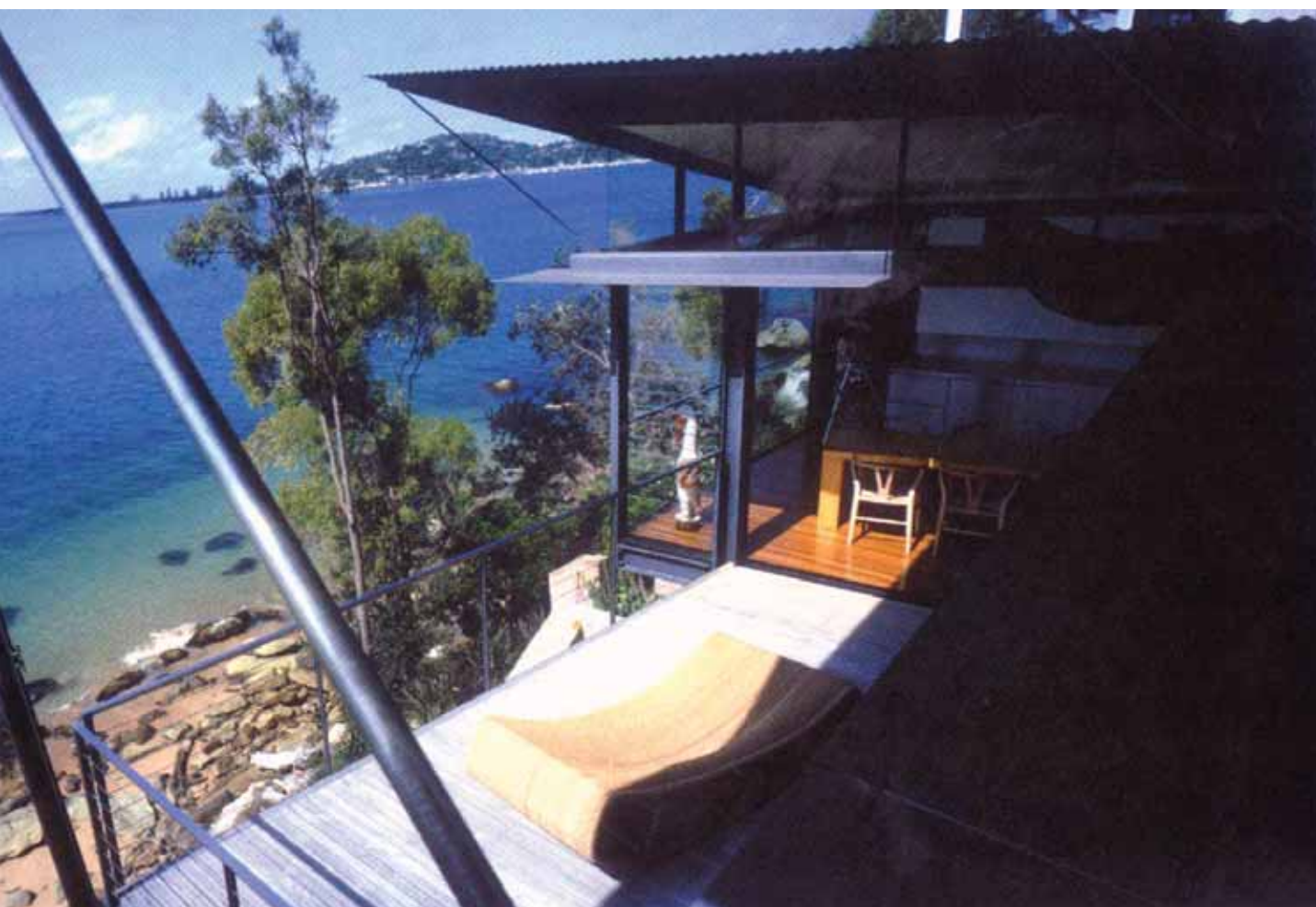
Landscaping

2.1.7.1 Fencing

Fencing is to be of a material and style reflective of coastal beach architecture and should complement the dwelling design.

- Front fences are only permitted to provide privacy to outdoor living spaces located in the front yard or to provide safety if there is a level difference between the front yard and adjacent road reserve.
- Front fencing must be designed to not dominate the streetscape and should consider a stepped design and incorporating planting to soften its visual impact.
- Front fencing should allow for screening of living spaces whilst allow surveillance of the streetscape.
- Side fencing should reflect the character of the dwelling and be of a design appropriate to the coastal setting. Side fencing should provide for privacy and demarcation of lot boundaries.
- Potential fencing materials include timber battening, rendered or bagged block work and aluminium battens.
- Fences are not to be constructed of colorbond, corrugated iron or untreated concrete block work.





2.1.7.2 Retaining Walls

Retaining walls must be terraced with gardens between walls to create a 'softened' landscape approach to retaining. Retaining walls should be of a detail and material that reflect the coastal setting and the character of the dwelling.

- Where possible retaining walls should not exceed 1m in height.
- Retaining walls within a lot should be of a consistent material or design character.
- If fencing is required in conjunction with a retaining wall the design for both fence and wall should be integrated. If fencing and retaining walls are required on front boundaries, the fencing should be stepped back from the top of the wall at least 1m with planting between the two.
- Potential retaining wall materials include boulder retaining (at side boundaries) stone, rendered or faced block work.

2.1.9 Vehicle Accommodation

- Parking to be provided for two (2) vehicles within a garage.
- Visitor parking to be accommodated on the garage driveway (2 spaces).

2.1.10 Noise

Noise alleviation from the highway through the utilisation of insulation, glazing and sound absorbing materials and the location of sensitive noise areas such as the bathroom, laundry and kitchen close to the noise source and protection from Bush Fire.

2.1.11

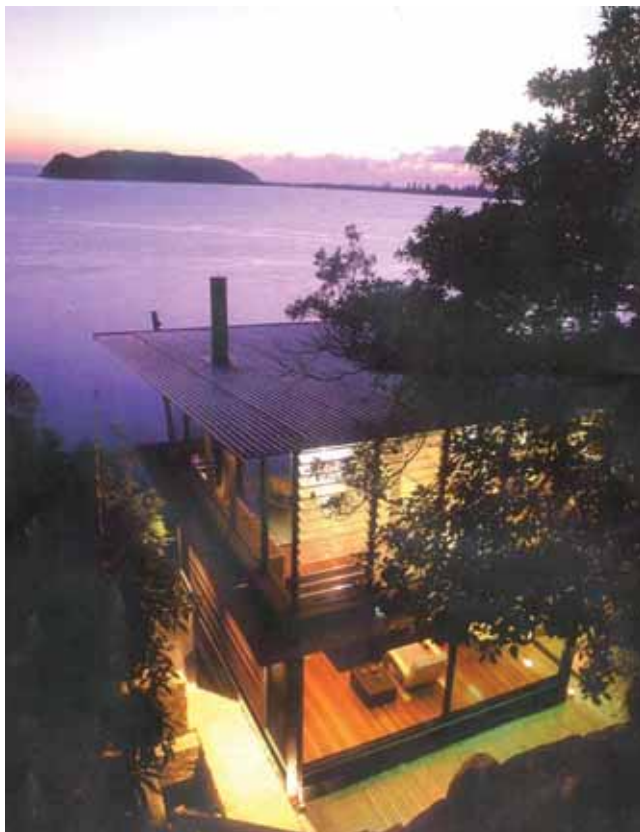
Bushfire (Appendix 5)

Provide a 5m separation from top of foliage drip line and any proposed structures on all elevations of the 7(a), area, in accordance with the Bushfire Risk Management Plan of 22nd May 2009.



3. Precinct Design Guidelines

1. Hilltop Housing
2. Hillside Housing
3. Beach Garden Housing
4. Beach Front Housing



3.1 Hilltop & Hillside Housing

3.1.1 Architectural Character

Hillside and Hilltop houses to respond to the variations in topography and changes in level along the central spine road from the beachfront to the highway.

Individual houses are to be sited and designed to maximise views of the water to the east through overlooking of building roofs at lower levels and/or view corridors between buildings at lower levels and the along central access road.

The houses are to reflect a distinctive vernacular built form representative of North Coast Australian beachside homestead architecture incorporating elements such as verandahs, raised ground level floors, metal roofs, and painted weatherboard cladding in an open sub-tropical landscape setting.

3.1.2 Building Setbacks and Heights

Building setbacks and heights to top of roof are provided for each lot. No building is to exceed a height of 14m above existing ground level to top of roof.

Precincts

Overall



3. Precinct Design Guidelines

Precincts

Hilltop Housing



Precincts

Hillside Housing



3. Precinct Design Guidelines

LOT 26, SETBACKS

- 3m setback to northern boundary for single storey.
- 4m setback to garage door.
- 6m setback to southern boundary for single storey.
- 1.5m setback to western and eastern boundary.
- 8.5m setback to eastern boundary for southern single storey section.
- 11.00m setback to northern boundary for second (2nd) storey.
- 16m setback to southern boundary for second (2nd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for second storey.

LOT 26, HEIGHTS

- Roof level to be a maximum height of 15.5m AHD.
- First storey terraces/balconies not permitted on roof of single storey section.
- Building is to be one and two (2) storeys to a maximum height of 7.5m to top of roof above ground level and 3.5m to top of roof of single storey area.
- First storey terraces/balconies permitted on roof of single storey section.

LOT 27, SETBACKS

- 3m setback to northern boundary for single storey.
- 4m setback to garage door.
- 4m setback to southern boundary for single storey.
- 8.5m setback to eastern boundary for southern single storey section.
- 4m setback to western boundary.
- 9m setback to northern boundary for second (2nd) storey.
- 9m setback to southern boundary for second (2nd) storey.
- 2.5m setback to eastern boundary.

- Garage may be built to boundary.
- 15m maximum continuous wall length for second storey.

LOT 27, HEIGHTS

- Roof level to be a maximum height of 17.5m AHD
- First storey terraces/balconies not permitted on roof of single storey section.
- Building is to be one and two (2) storeys to a maximum height of 7.5m to top of roof above ground level and 3.5m to top of roof of single storey area.
- First storey terraces/balconies permitted on roof of single storey section.

LOT 28, SETBACKS

- 3m setback to northern boundary for single storey.
- 4m setback to garage door.
- 3.5m setback to southern boundary.
- 3m setback to western boundary.
- 10m setback to northern boundary for second (2nd) storey.
- Garage may be built to boundary.

LOT 28, HEIGHTS

- Roof level to be a maximum height of 22m AHD
- Building to be one and two storeys to a maximum height of 7.5m to top of roof above ground floor level and 3.5m to top of roof at single storey area.
- First storey terraces/balconies permitted on roof of single storey section.
- 15m maximum continuous wall length for second storey.

LOT 29, SETBACKS

- 4.5m setback to northern boundary for single storey.
- 6m setback to southern boundary.
- 1.5m setback to western boundary.
- 10m setback to northern boundary for second (2nd) storeys.
- 6m setback to eastern boundary.
- Garage may be built to boundary

LOT 29, HEIGHTS

- Roof level to be a maximum height of 22m AHD
- Building to be one and two storeys to a maximum height of 7.5m to top of roof above ground floor level and 3.5m to top of roof at single storey area.
- First storey terraces/balconies permitted on roof of single storey section.

LOT 30, SETBACKS

- 3m setback to northern boundary for single storey.
- 3m setback from western boundary for single storey section.
- 5m setback to garage door.
- 3.5m setback to southern boundary.
- 3m setback to western and eastern boundaries.
- 10m setback to northern boundary for second (2nd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for second storey.

LOT 30, HEIGHTS

- Roof level to be a maximum height of 25.5m AHD
- Building to be one and two storeys to a maximum height of 7.5m to top of roof above ground floor level.
- First storey terraces/balconies permitted on roof of single storey section.

LOT 31, SETBACKS

- 3.5m setback to northern boundary for single storey.
- 4m setback to eastern boundary.
- 3m setback to southern boundary.
- 1.5-5m setback to western boundary.
- 10m setback to northern boundary for second (2nd) storey.
- 10m setback to garage from western boundary.
- Garage may be built to boundary.
- 15m maximum continuous wall length for second storey.

LOT 31, HEIGHTS

- Roof level to be a maximum height of 29.5m AHD
- Building to be one and two storeys to a maximum height of 7.5m to top of roof above ground floor level.
- First storey terraces/balconies permitted on roof of single storey section.

LOT 32, SETBACKS

- 3m setback to northern boundary for single storey.
- 4m setback to garage door.
- 6m setback to southern boundary for single storey.
- 1.5m setback to eastern and western boundaries.
- 6m setback to northern boundary for second (2nd) storey.
- 9m setback to southern boundary for second (2nd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for second storey.

3. Precinct Design Guidelines

LOT 32, HEIGHTS

- Roof level to be a maximum height of 30m AHD
- Building to be one and two storeys to a maximum height of 7.5m to top of roof above ground floor level.
- First storey terraces/balconies permitted on roof of single storey section.

LOT 33, SETBACKS

- 20m building line from western boundary of site.
- 3m setback to northern boundary for single storey.
- 6m setback to northern boundary for second (2nd) storey.
- 6m setback to southern boundary for single and two storeys.
- 1.5m setback to eastern boundary for single and two storeys.
- 5.5m setback to eastern boundary for third (3rd) storey.
- 9m min. setback to northern boundary for third (3rd) storey.
- 15m maximum continuous wall length for second and third storey.

LOT 33, HEIGHTS

- Roof level to be a maximum height of 34m AHD
- Building may be up to three storeys to a maximum height of 10.5m to top of roof above ground floor level.
- First and second storey terraces/balconies permitted on roof of single and two storey sections.

LOT 34, SETBACKS

- 20m building line from western boundary of site.
- 3m setback to northern boundary.
- 2m setback to southern lot boundary.
- 4.5m setback to eastern boundary.
- 5m setback to garage door from eastern boundary.
- 5m setback to western building line for third (3rd) storey.
- 10.5m setback to eastern boundary for third (3rd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for second and third storey.

LOT 34, HEIGHTS

- Roof level to be a maximum height of 31m AHD for two storeys (34m AHD for three storeys).
- Building may be up to three storeys to a maximum height of 10.5m to top of roof above ground floor level.
- First and second storey terraces/balconies permitted on roof of single and two storey sections.

LOT 35, SETBACKS

- 20m building line from western boundary of site.
- 3m setback to northern and southern boundaries.
- 4.5m setback to eastern boundary for two storeys.
- 5m setback to garage door from eastern boundary.
- 5m setback to western building line for third (3rd) storey.
- 10.5m setback to eastern boundary for third (3rd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for second and third storey.

LOT 35, HEIGHTS

- Roof level to be a maximum height of 33m AHD for two storeys, 37.5m AHD for three storeys.
- Building may be up to three storeys to a maximum height of 10.5m to top of roof above ground floor level.
- First and second storey terraces/balconies permitted on roof of single and two storey sections.

LOT 36, SETBACKS

- 20m building line from western boundary of site.
- 3m setback to southern boundary.
- 2m setback to northern boundary.
- 4.5m setback to eastern boundary for two storeys.
- 5m setback to garage door from eastern boundary.
- 5m setback to western building line for third (3rd) storey.
- 10.5m setback to eastern boundary for third (3rd) storey.
- 15m maximum continuous wall length for second and third storey.

LOT 36, HEIGHTS

- Roof level to be a maximum height of 33m AHD for two storeys, 36m AHD for three storeys.
- Building may be up to three storeys to a maximum height of 10.5m to top of roof above ground floor level.
- First and second storey terraces/balconies permitted on roof of single and two storey sections.

LOT 37, SETBACKS

- 3m setback to northern boundary.
- 2m setback to southern boundary.
- 10m setback to eastern boundary.
- 4.5m setback to western boundary for two storeys.
- 5m setback to garage door from western boundary.
- 14.5m setback to eastern boundary for second (2nd) storey.
- 15m max. continuous wall length for third and second storey.

LOT 37, HEIGHTS

- Roof level to be a maximum height of 30.5m AHD.
- Building may be one or two storeys to a maximum height of 7.5m to top of roof above ground floor level.
- First storey terraces/balconies permitted on roof of single storey section.

LOT 38, SETBACKS

- 3m setback to northern and southern boundaries.
- 4.5m setback to western boundary.
- 5m setback to garage door from western boundary.
- 4.5m setback to eastern boundary for single storey.
- 9m setback to eastern boundary for second (2nd) storey.
- 15m max. continuous wall length for second (2nd) storey.
- Garage may be built to boundary.

LOT 38, HEIGHTS

- Roof level to be a maximum height of 33.5m AHD.
- Building may be one or two storeys to a maximum height of 7.5m to top of roof above ground floor level.
- First storey terraces/balconies permitted on roof of single storey section.

3. Precinct Design

Guidelines

LOT 39, SETBACKS

- 3m setback to southern boundary.
- 4.5m min. setback to northern boundary.
- 4.5m setback to western boundary.
- 5m setback to garage door from western boundary.
- 4.5m min. setback to eastern boundary for single storey.
- 4.5m setback to second storey from single storey on eastern facade.
- 15m max. continuous wall length for second (2nd) storey.
- Garage may be built to boundary.

LOT 39, HEIGHTS

- Roof level to be a maximum height of 31.5m AHD.
- Building may be one or two storeys to a maximum height of 7.5m to top of roof above ground floor level.
- First storey terraces/balconies permitted on roof of single storey section.

3.2 Beach Garden Housing

3.2.1 Architectural Character

Garden houses to complement the architectural style and character of beachfront houses with a distinctive form representative of Australian vernacular styles of beach architecture consistent with the NSW Department of Planning North Coast Urban Design Guidelines 2009 and the Coastal Design Guidelines for NSW.

Individual building to be designed to take advantage of the view corridor provided by the beachfront houses and may be up to three storeys in height on nominated lots.

3.2.2 Building Setbacks and Heights

Building setbacks and heights to top of roof are provided for each lot. No building is to exceed a height of 14m above existing ground level to top of roof.

Precincts

Beach Garden Housing



3. Precinct Design

Guidelines

LOT 15, SETBACKS

- 0.9m setback to southern boundary for single storey.
- 6.5m setback to western boundary for single storey.
- 4.5m setback to front eastern boundary for single and two storeys.
- 5.5m setback to garage door from eastern boundary.
- 3m setback to northern boundary.
- 1.5m setback to southern boundary for second (2nd) storey.
- 20m setback to western boundary for second (2nd) and third (3rd) storey.
- 8.5m setback to eastern boundary for third (3rd) storey.
- 3m setback to southern boundary for third (3rd) storey.
- Garage may be built to boundary.
- 15m max. continuous wall length for second and third storey.

LOT 15, HEIGHTS

- Ground floor level to be 7.5m AHD.
- Buildings on lots 15-19 may be up to three storeys to a maximum height of 10.5m above the ground floor level.
- Where ground floor level is required to be raised above the finished ground level of 7 AHD the area between the ground floor level and 7 AHD to be infilled with masonry and or timber frame with weatherboard cladding.
- First and second storey terraces/balconies permitted on roof of single and two storey sections.

LOT 16-19, SETBACKS

- 0.9m setback to southern boundary for single storey.
- 6m setback to northern boundary for single storey section.
- 4m-6.5m setback to western boundary for single storey.
- 15m setback to western boundary for second (2nd) and third (3rd) storey
- 4.5m setback to eastern boundary.

- 5.5m setback to garage door from eastern boundary.
- 1.5m setback to northern and southern boundary for second (2nd) storey.
- 8.5m setback to eastern boundary for third (3rd) storey.
- 3m setback to northern and southern boundary for third (3rd) storey.
- Garage may be built to boundary.
- 15m max. continuous wall length for second and third storey.

LOT 16-19, HEIGHTS

- Ground floor level to be 7.5m AHD.
- Buildings on lots 15-19 may be up to three storeys to a maximum height of 9.5m above the ground floor level.
- Where ground floor level is required to be raised above the finished ground level of 7m AHD the area between the ground floor level and 7.5m AHD to be infilled with masonry and or timber frame with weatherboard cladding.
- First and second storey terraces/balconies permitted on roof of single and two storey sections.

LOT 20, SETBACKS

- 0.9m setback to southern boundary for single storey.
- 6m setback to northern boundary for single storey section.
- 4m setback to western boundary for single storey.
- 15m setback to western boundary for second (2nd) storey.
- 4.5m setback to eastern boundary for single and two storeys.
- 5.5m setback to garage door from eastern boundary.
- 1.5m setback to northern and southern boundary for second (2nd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for second storey.

LOT 20, HEIGHTS

- Ground floor level to be 7.5m AHD.
- Buildings on lots 20 may be up to two storeys to a maximum height of 6.5m above the ground floor level.
- Where ground floor level is required to be raised above the finished ground level of 7m AHD the area between the ground floor level and 7.5m AHD to be infilled with masonry and or timber frame with weatherboard cladding.
- First storey terrace/balcony permitted on roof of single storey section.

LOT 21, SETBACKS

- 3m setback to southern boundary.
- 5m setback to northern boundary for single storey section.
- 4m setback to rear boundary for single storey.
- 14.5m setback to rear boundary for second (2nd) storey.
- 4.5m setback to eastern boundary for single and two storeys.
- 5.5m setback to garage door from eastern boundary.
- 1.5m setback to northern boundary for second (2nd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for two storey section.

LOT 21, HEIGHTS

- Ground floor level to be 7.5m AHD.
- Buildings on lots 21 may be up to two storeys to a maximum height of 6.5m above the ground floor level.
- Where ground floor level is required to be raised above the finished ground level of 7m AHD the area between the ground floor level and 7.5m AHD to be infilled with masonry and or timber frame with weatherboard cladding.
- First storey terraces/balcony permitted on roof of single storey section.

LOT 22, SETBACKS

- 4m setback to northern boundary for single storey section.
- 6m setback to western boundary for single storey.
- 13m setback to western boundary for second (2nd) storey.
- 0.9m setback to southern boundary for single storey.
- 4.5m setback to front boundary for single and two storeys.
- 5.5m setback to garage door from eastern boundary.
- 3m setback to northern boundary for second (2nd) storey.
- 4.5m setback to southern boundary for second (2nd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for two storey section.

3. Precinct Design

Guidelines

LOT 22, HEIGHTS

- Ground floor level to be 7.5m AHD.
- Buildings on lots 20 may be up to two storeys to a maximum height of 6.5m above the ground floor level.
- Where ground floor level is required to be raised above the finished ground level of 7m AHD the area between the ground floor level and 7.5m AHD to be infilled with masonry and or timber frame with weatherboard cladding.
- Second storey terraces/balcony not permitted on roof of single storey section.

LOT 23-24, SETBACKS

- 6m setback to northern boundary for single storey section.
- 6m setback to western boundary for single storey.
- 13m setback to western boundary for second (2nd) storey.
- 0.9m setback to southern boundary for single storey.
- 4.5m setback to eastern boundary for single and two storeys.
- 5.5m setback to garage door from eastern boundary.
- 1.5m setback to northern boundary for second (2nd) storey.
- 5.5m setback to southern boundary for second (2nd) storey.
- Garage may be built to boundary.
- 15m maximum continuous wall length for two storey.

LOT 23-24, HEIGHTS

- Ground floor level to be 7.5m AHD.
- Buildings on lots 20 may be up to two storeys to a maximum height of 6.5m above the ground floor level.
- Where ground floor level is required to be raised above the finished ground level of 7m AHD the area between the ground floor level and 7.5m AHD to be infilled with masonry and or timber frame with weatherboard cladding.
- Second storey terraces/balcony not permitted on roof of single storey section.

LOT 25, SETBACKS

- 0.9m setback to northern boundary for single storey.
- 6m setback to western boundary for single storey.
- 13m setback to western boundary for second (2nd) storey.
- 4m setback to southern boundary.
- 4.5m setback to eastern boundary for single and two storeys.
- 5.5m setback to garage door from eastern boundary.
- 1.5m setback to northern boundary for second (2nd) storey.
- 3.5m setback to western boundary of hammerhead.
- 1.5m setback to northern boundary of hammerhead.
- Garage may be built to boundary.

LOT 25, HEIGHTS

- Ground floor level to be 7.5m AHD.
- Buildings on lots 20 may be up to two storeys to a maximum height of 6.5m above the ground floor level.
- Where ground floor level is required to be raised above the finished ground level of 7m AHD the area between the ground floor level and 7.5m AHD to be infilled with masonry and or timber frame with weatherboard cladding.
- Second storey terraces/balcony not permitted on roof of single storey section.

