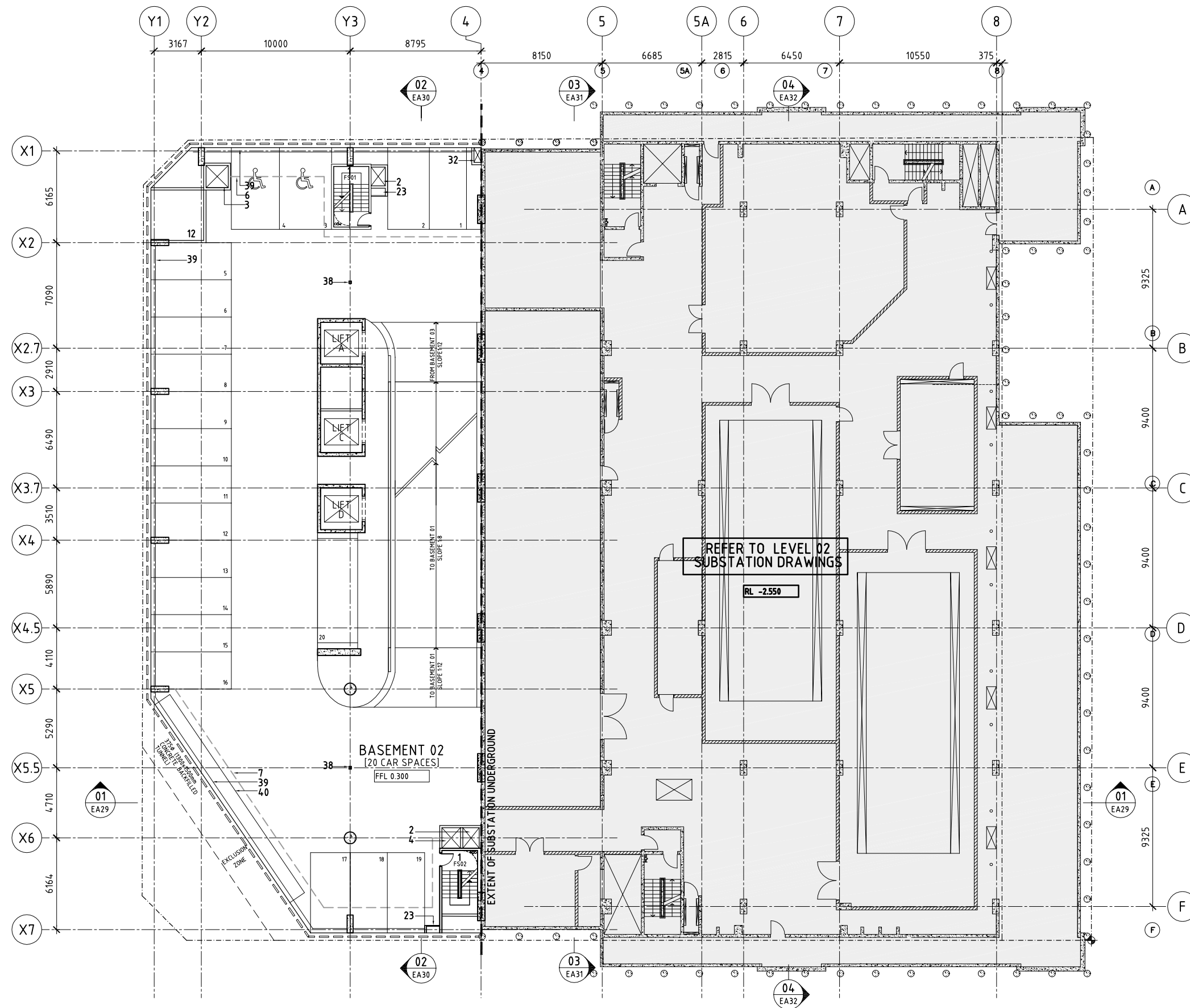


Appendix E

Architectural plans



LEGEND:

- 1 - FIRE STAIR
- 2 - STAIR PRESSURIZATION
- 3 - CARPARK EXHAUST RISER
- 4 - CARPARK SUPPLY RISER
- 5 - STORM WATER HARVEST TANK BELOW DRIVEWAY
- 6 - CARPARK EXHAUST PLENUM
- 7 - CARPARK SUPPLY PLENUM
- 8 - LV BOARD
- 9 - TRANSFORMER AREA
- 10 - SWITCHROOM
- 11 - MDF ROOM
- 12 - GREASE ARRESTOR
- 13 - A - RECYCLABLE WASTE STORAGE
B - GENERAL WASTE STORAGE
- 14 - TRANSFORMER HATCH
- 15 - WATER & GAS METERS / REGULATOR ENCLOSURE
- 16 - STAIR PRESSURIZATION PLANT ROOM
- 17 - CARPARK SUPPLY PLANT ROOM
- 18 - FIRE CONTROL ROOM
- 19 - TEA BENCH
- 20 - DISABLED TOILET
- 21 - FEMALE TOILETS
- 22 - MALE TOILETS
- 23 - FIRE HOSE REEL
- 24 - COLD WATER PUMP ROOM
- 25 - SPRINKLER PUMP ROOM
- 26 - BOOSTER ASSEMBLY
- 27 - FIP/EWIS/FFCP
- 28 - SECURITY BMS ROOM
- 29 - PLANT ROOM TOILET & SHOWER
- 30 - DIESEL FUEL STORAGE TANK, DIRECTLY BURIED UNDER
- 31 - PUMP ROOM FOR FUEL STORAGE TANK
- 32 - PIPE WORK FOR FUEL STORAGE TANK
- 33 - SUB SOIL PUMP PIT IN GROUND
- 34 - WASTE BIN WASHING AREA
- 35 - STORMWATER PIT
- 36 - PROPOSED FUTURE FIXED CRANE LOCATION
- 37 - CARPARK EXHAUST PLANT ROOM
- 38 - FLOOR WASTE GRATE
- 39 - SPOON DRAIN
- 40 - BICYCLE & MOTORCYCLE PARKING [TO FUTURE DETAIL]

FLOOR PLAN - BASEMENT 02

REVISIONS IN PROGRESS

16-09-2008

ENVIRONMENTAL ASSESSMENT REPORT - SEPTEMBER 2008

ARCHITECT:

KannFinch Group

Kann Finch Pty Limited A.C.N. 002 170 747
50 Carrington Street, Sydney NSW Australia

CLIENT:

EnergyAustralia

PROJECT:

BELMORE PARK ZONE SUBSTATION
430-450 PITT STREET, SYDNEY NSW
INTEGRATED COMMERCIAL BUILDING

DRAWING:

FLOOR PLAN - BASEMENT 02

PROJECT NUMBER:

5749

DRAWING NUMBER:

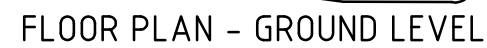
EA07

ISSUE & DATE:

ISSUE 02



- 1 - FIRE STAIR
- 2 - STAIR PRESSURIZATION
- 3 - CARPARK EXHAUST RISER
- 4 - CARPARK SUPPLY RISER
- 5 - STORM WATER HARVEST TANK
BELOW DRIVEWAY
- 6 - CARPARK EXHAUST PLENUM
- 7 - CARPARK SUPPLY PLENUM
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REGULATOR ENCLOSURE
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- 37 - CARPARK EXHAUST PLANT ROOM
- 38 - FLOOR WASTE GRATE
- 39 - SPOON DRAIN
- 40 - BICYCLE & MOTORCYCLE PARKING
[TO FUTURE DETAIL]

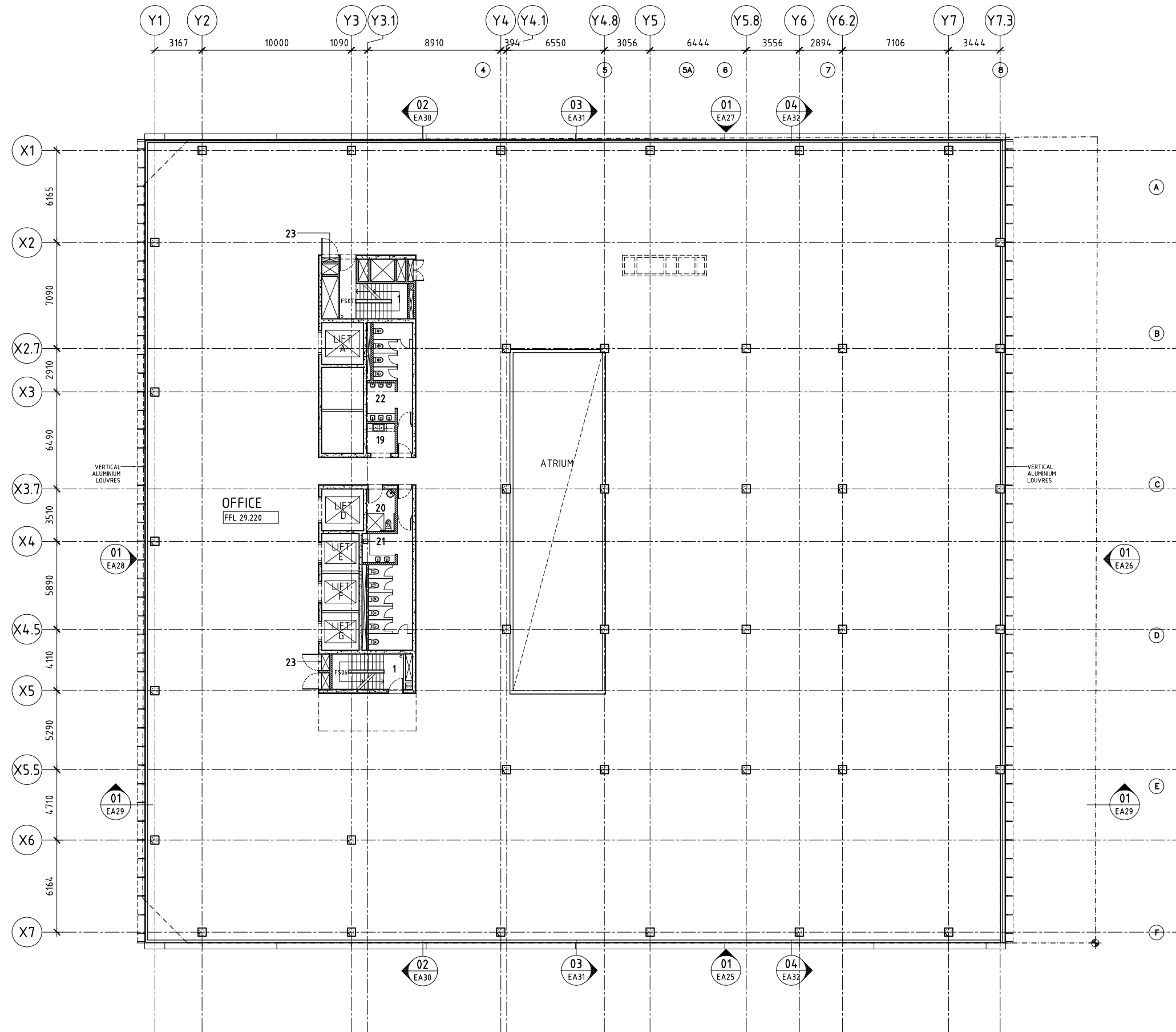


16-09-2008

ISSUE & DATE:
ISSUE 02

EA09

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LEGEND:

- 1 - FIRE STAIR
- 2 - STAIR PRESSURIZATION
- 3 - CARPARK EXHAUST RISER
- 4 - CARPARK SUPPLY RISER
- 5 - STORM WATER HARVEST TANK BELOW DRIVEWAY
- 6 - CARPARK EXHAUST PLENUM
- 7 - CARPARK SUPPLY PLENUM
- 8 - LV BOARD
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- 12 - GREASE ARRESTOR
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- 37 - CARPARK EXHAUST PLANT ROOM
- 38 - FLOOR WASTE GRATE
- 39 - SPOON DRAIN
- 40 - BICYCLE & MOTORCYCLE PARKING [TO FUTURE DETAIL]

FLOOR PLAN - LEVEL 06

REVISIONS IN PROGRESS

16-09-2008



ENVIRONMENTAL ASSESSMENT REPORT - SEPTEMBER 2008

ARCHITECT:



CLIENT:



PROJECT:

BELMORE PARK ZONE SUBSTATION
430-450 PITT STREET, SYDNEY NSW
INTEGRATED COMMERCIAL BUILDING

DRAWING:

FLOOR PLAN - LEVEL 06

PROJECT NUMBER:

5749

DRAWING NUMBER:

EA15

ISSUE & DATE:

ISSUE 02

Kann Finch Pty. Limited A.C.N. 002 170 747
50 Carrington Street, Sydney NSW Australia

Tel 02 9299 4111 Fax 02 9290 1481

Architecture
Facility Planning
Interior Design
Urban Planning

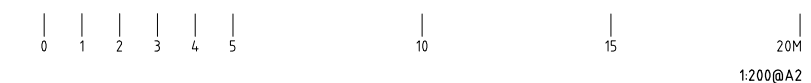
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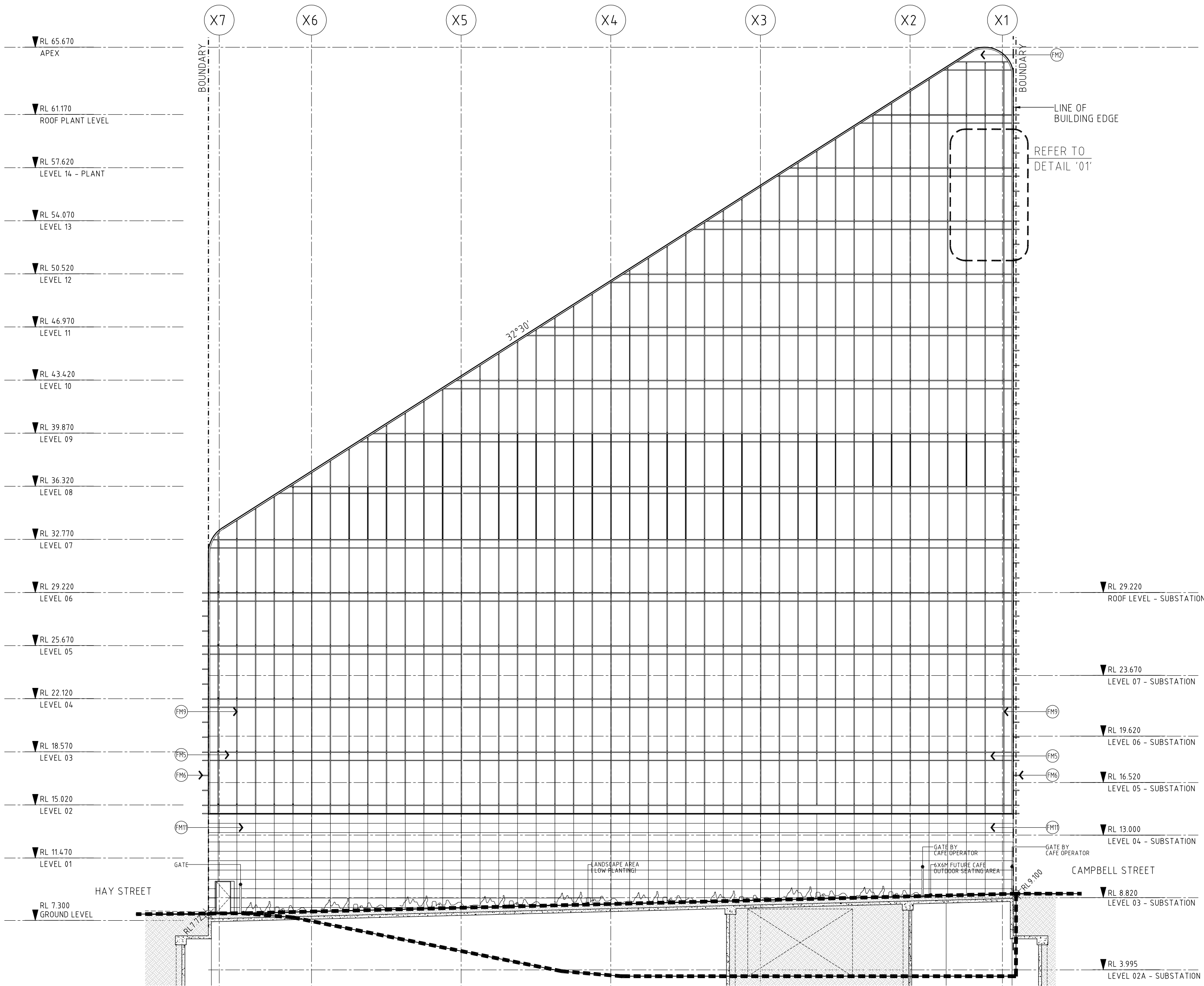
- FM1 - ANODIZED ALUMINIUM PLANT LOUVRES
- FM2 - COVERED ROOF REFLECTIVE CLADDING
- FM3 - GALVANIZED STEEL MAINTENANCE TRACK; COLOUR: BLACK
- FM4 - INSULATED [LOW 'E' PERFORMANCE COATING] DOUBLE GLAZING
- FM5 - SPANDREL PANEL
- FM6 - ANODIZED ALUMINIUM HORIZONTAL SUNSCREEN
- FM7 - STONE TILE CLADDING
- FM8 - CLEAR GLASS WITH ANODIZED ALUMINIUM FRAME [RETAIL FACADE]
- FM9 - POWDER COATED ALUMINIUM LOUVER BLADES
- FM10 - STRUCTURAL STEEL & CLEAR TOUGHENED GLASS ENTRY AWNING TO FUTURE DETAILS
- FM11 - ILLUMINATED CONCRETE FEATURE WALL [REFER TO LANDSCAPE DRAWINGS]



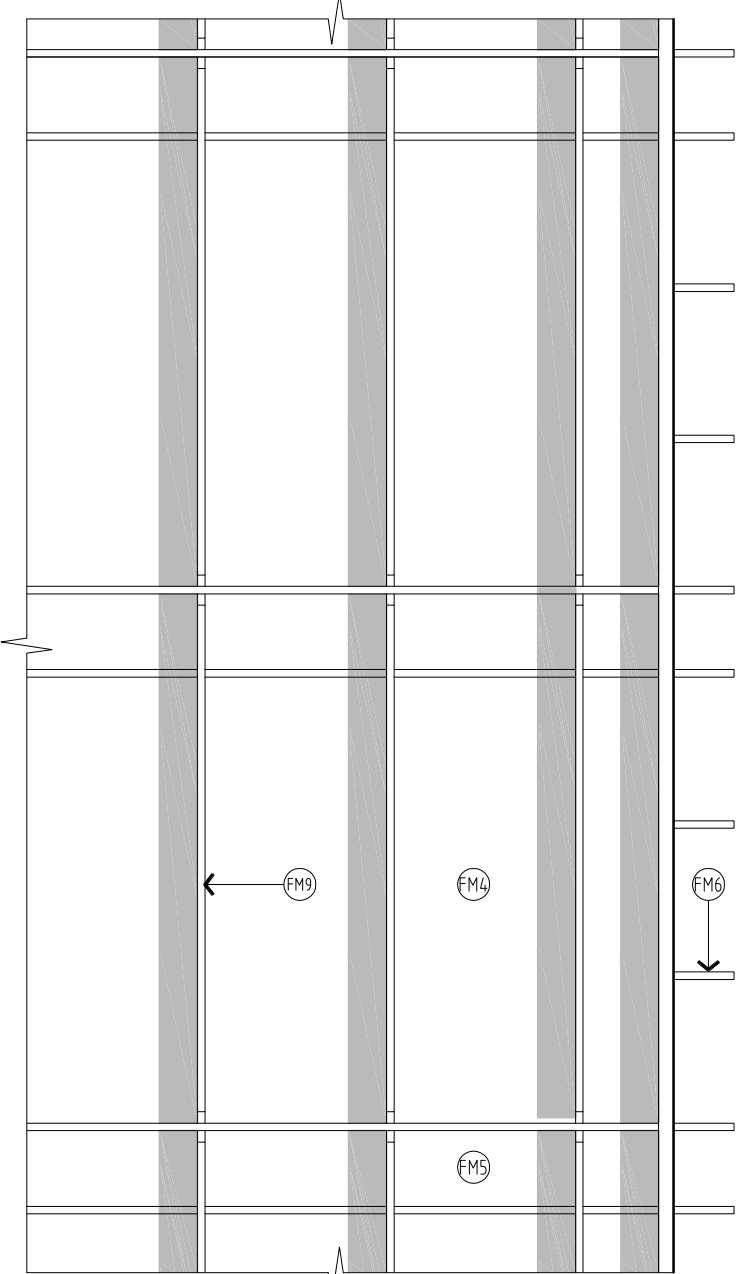
REVISIONS IN PROGRESS



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- LEGEND:
- FM1 - ANODIZED ALUMINIUM PLANT LOUVRES
 - FM2 - COVERED ROOF REFLECTIVE CLADDING
 - FM3 - GALVANIZED STEEL MAINTENANCE TRACK; COLOUR: BLACK
 - FM4 - INSULATED (LOW 'E' PERFORMANCE COATING) DOUBLE GLAZING
 - FM5 - SPANDREL PANEL
 - FM6 - ANODIZED ALUMINIUM HORIZONTAL SUNSCREEN
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 - FM8 - CLEAR GLASS WITH ANODIZED ALUMINIUM FRAME [RETAIL FACADE]
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 - FM11 - ILLUMINATED CONCRETE FEATURE WALL [REFER TO LANDSCAPE DRAWINGS]



DETAIL '01'
SCALE: 1:50M@A2

16-09-2008

REVISIONS IN PROGRESS

EAST ELEVATION

ENVIRONMENTAL ASSESSMENT REPORT - SEPTEMBER 2008

ARCHITECT:

Kann Finch Group

Kann Finch Pty Limited A/CN 002 170 747
5th Cammerdon Street, Sydney NSW Australia

CLIENT:

EnergyAustralia®

PROJECT:

BELMORE PARK ZONE SUBSTATION
430-450 PITT STREET, SYDNEY NSW
INTEGRATED COMMERCIAL BUILDING

DRAWING:

EAST ELEVATION, DETAIL '01'; 5749

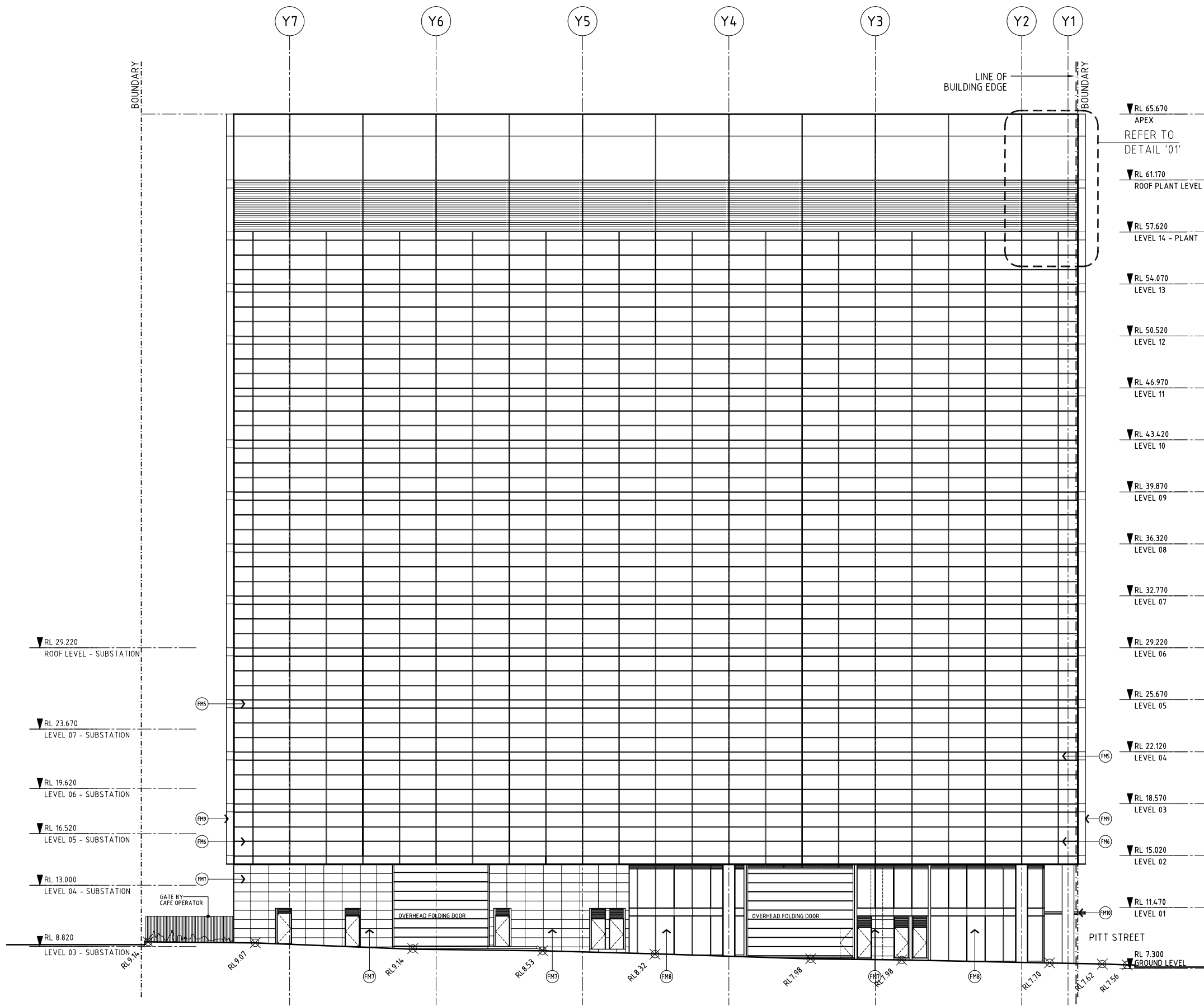
PROJECT NUMBER:

DRAWING NUMBER:

EA26

ISSUE & DATE:

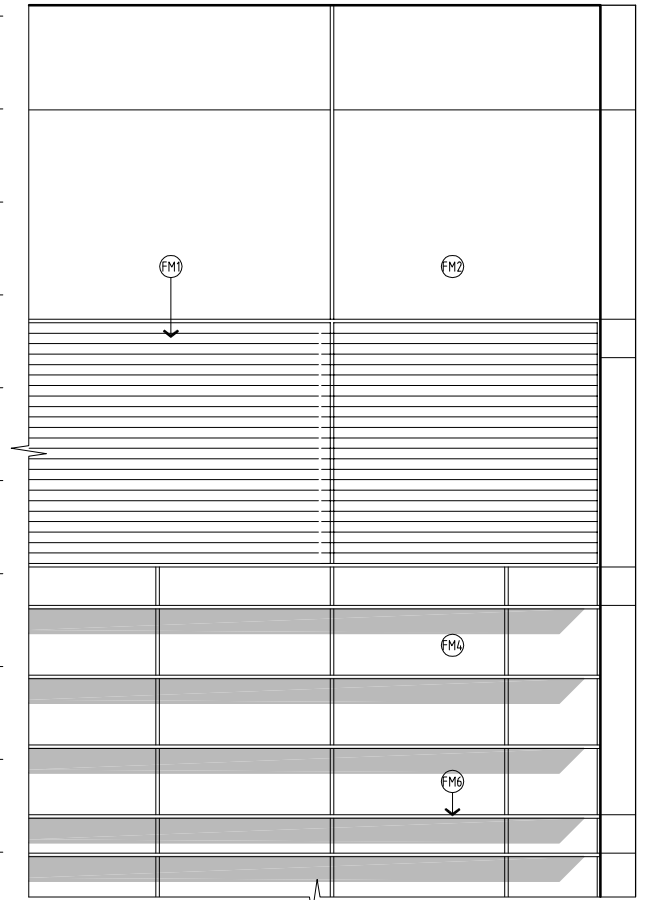
ISSUE 02



NORTH ELEVATION

LEGEND:

- FM1 - ANODIZED ALUMINIUM PLANT LOUVRES
- FM2 - COVERED ROOF REFLECTIVE CLADDING
- FM3 - GALVANIZED STEEL MAINTENANCE TRACK; COLOUR: BLACK
- FM4 - INSULATED (LOW 'E' PERFORMANCE COATING) DOUBLE GLAZING
- FM5 - SPANDREL PANEL
- FM6 - ANODIZED ALUMINIUM HORIZONTAL SUNSCREEN
- FM7 - STONE TILE CLADDING
- FM8 - CLEAR GLASS WITH ANODIZED ALUMINIUM FRAME (RETAIL FACADE)
- FM9 - POWDER COATED ALUMINIUM LOUVER BLADES
- FM10 - STRUCTURAL STEEL & CLEAR TOUGHENED GLASS ENTRY AWNING TO FUTURE DETAILS
- FM11 - ILLUMINATED CONCRETE FEATURE WALL (REFER TO LANDSCAPE DRAWINGS)



DETAIL '01'
SCALE: 1:50M@A2

ENVIRONMENTAL ASSESSMENT REPORT - SEPTEMBER 2008

ARCHITECT:

KannFinch Group

Kann Finch Pty Limited A.C.N. 002 170 747
50 Carrington Street, Sydney NSW Australia

CLIENT:

EnergyAustralia

PROJECT:

BELMORE PARK ZONE SUBSTATION
430-450 PITT STREET, SYDNEY NSW
INTEGRATED COMMERCIAL BUILDING

DRAWING:

NORTH ELEVATION;
DETAIL '01'

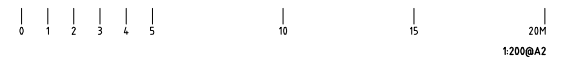
PROJECT NUMBER:

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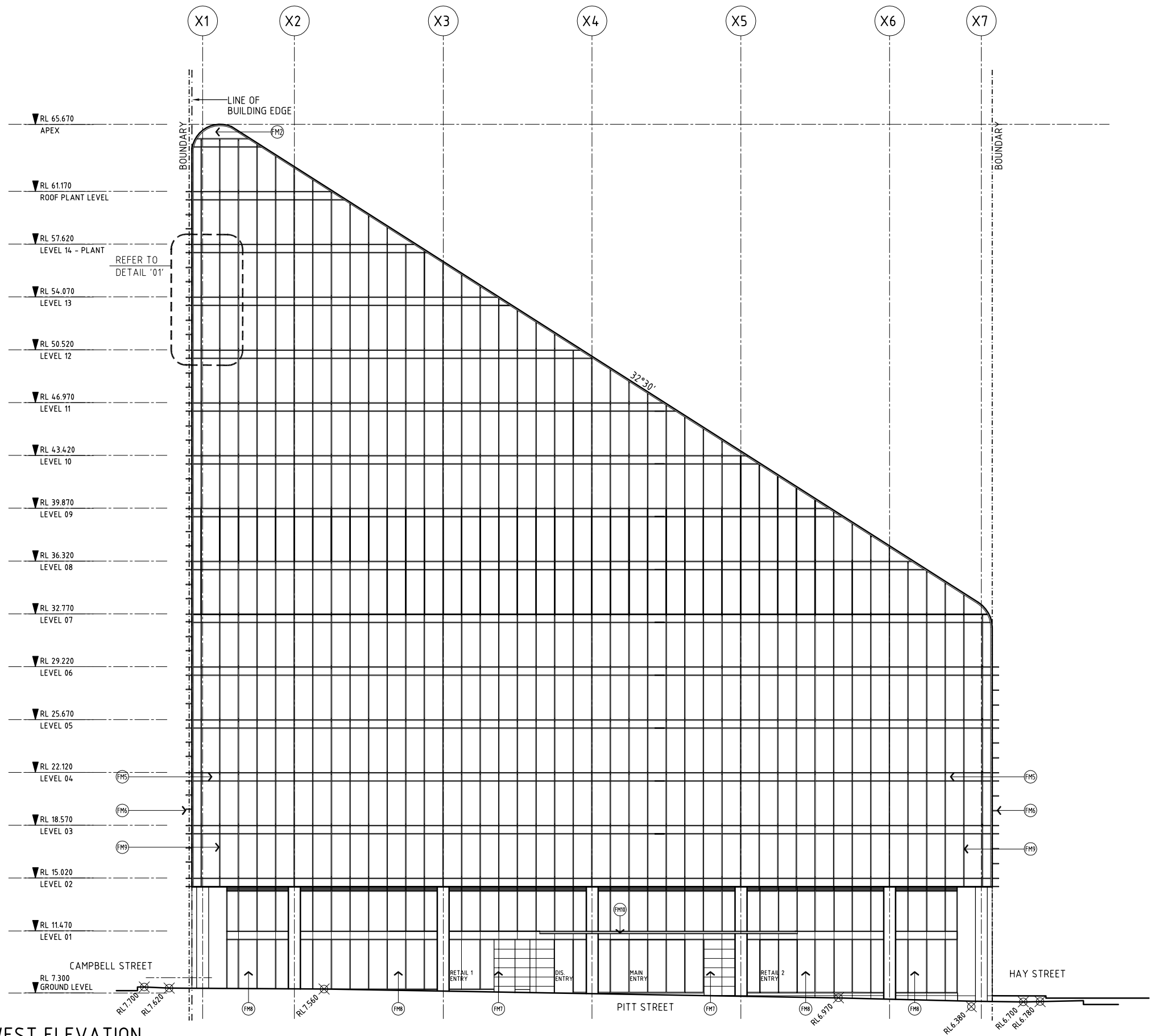
EA27

ISSUE & DATE:
ISSUE 02

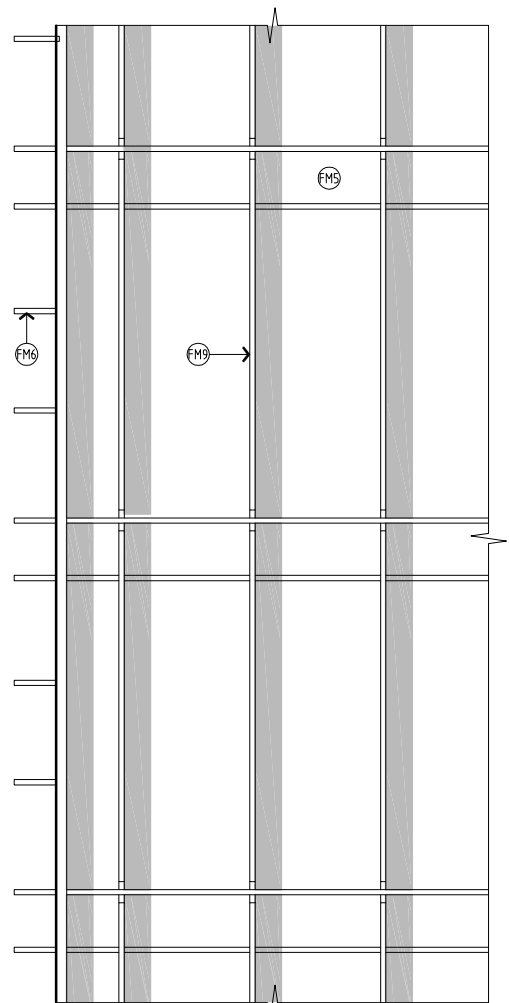


LEGEND:

- FM1 - ANODIZED ALUMINIUM PLANT LOUVRES
- FM2 - COVERED ROOF REFLECTIVE CLADDING
- FM3 - GALVANIZED STEEL MAINTENANCE TRACK; COLOUR: BLACK
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- FM11 - ILLUMINATED CONCRETE FEATURE WALL [REFER TO LANDSCAPE DRAWINGS]



WEST ELEVATION



DETAIL '01'
SCALE: 1:50M@A2

16-09-2008

REVISIONS IN PROGRESS

ENVIRONMENTAL ASSESSMENT REPORT - SEPTEMBER 2008

ARCHITECT:



Kann Finch Pty Limited A.C.N. 002 170 747
50 Carrington Street, Sydney NSW Australia

CLIENT:



Tel 02 9299 4111 Fax 02 9290 1481

PROJECT:

BELMORE PARK ZONE SUBSTATION
430-450 PITT STREET, SYDNEY NSW
INTEGRATED COMMERCIAL BUILDING

DRAWING:

WEST ELEVATION
DETAIL '01'

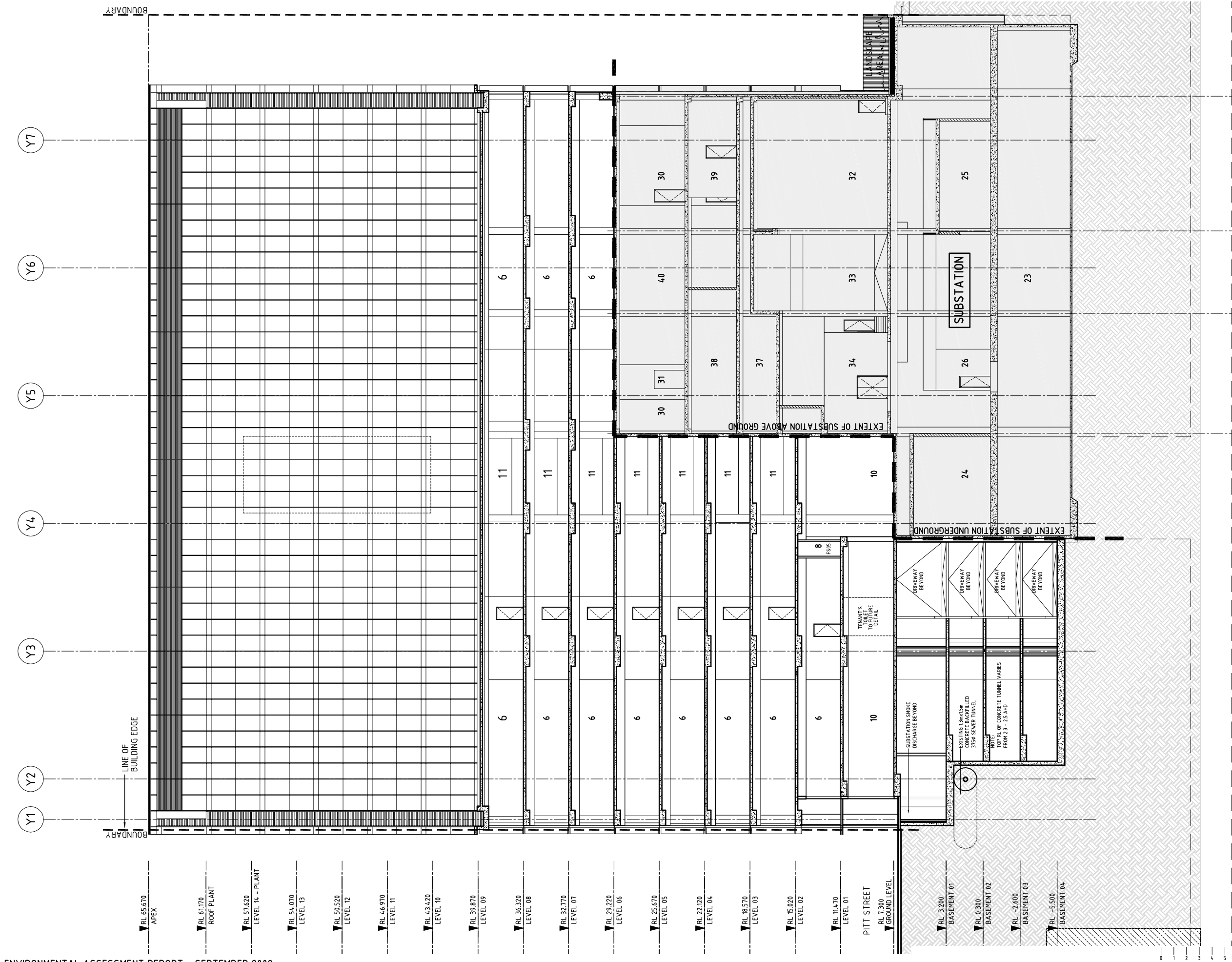
PROJECT NUMBER:

5749

DRAWING NUMBER:

EA28

ISSUE & DATE:
ISSUE 02



LEGEND:

OFFICE COMPONENT

- 1 - PARKING
- 2 - COURIER CARSPACE
- 3 - FIRE HOSE REEL CABINET
- 4 - WATER & GAS METERS/REGULATOR ENCLOSURE
- 5 - CARPARK SUPPLY PLANT ROOM
- 6 - OFFICE
- 7 - FIRE CORRIDOR
- 8 - FIRE STAIRS
- 9 - PLANT ROOM
- 10 - RETAIL
- 11 - ATRIUM
- 12 - MEETING ROOM [TO FUTURE DETAIL]
- 13 - ROOF PLANT
- 14 - TEA BENCH
- 15 - STORM WATER HARVEST TANK

SUBSTATION

- 20 - EXISTING CABLE TUNNEL
- 21 - TUNNEL STUB
- 22 - CABLE SHAFT
- 23 - CABLE MARSHALING AREA
- 24 - 132kV SWITCH ROOM
- 25 - 11kV SWITCH ROOM
- 26 - PILOT ISOLATION ROOM
- 27 - FAN ROOM
- 28 - 11kV CABLE RISER
- 29 - DISTRIBUTION CENTRE
- 30 - FIRE STAIRS
- 31 - LIFT
- 32 - TRANSFORMER BAY
- 33 - TRANSFORMER ROAD
- 34 - EARTHING TRANSFORMER
- 35 - PUMP / FIRE ROOM
- 36 - SBV & FHBV
- 37 - CONTROL CABLE VOID
- 38 - CONTROL ROOM
- 39 - CAPACITORS ROOM
- 40 - SEALED RADIATOR FLOOR

BUILDING SECTION 01-01

ENVIRONMENTAL ASSESSMENT REPORT - SEPTEMBER 2008

ARCHITECT:



Kann Finch Pty Limited A.C.N. 002 170 747
50 Carrington Street, Sydney NSW Australia

CLIENT:



Architecture
Facility Planning
Interior Design
Urban Planning

PROJECT:

BELMORE PARK ZONE SUBSTATION
430-450 PITT STREET, SYDNEY NSW
INTEGRATED COMMERCIAL BUILDING

DRAWING:

BUILDING SECTION 01-01

PROJECT NUMBER:

5749

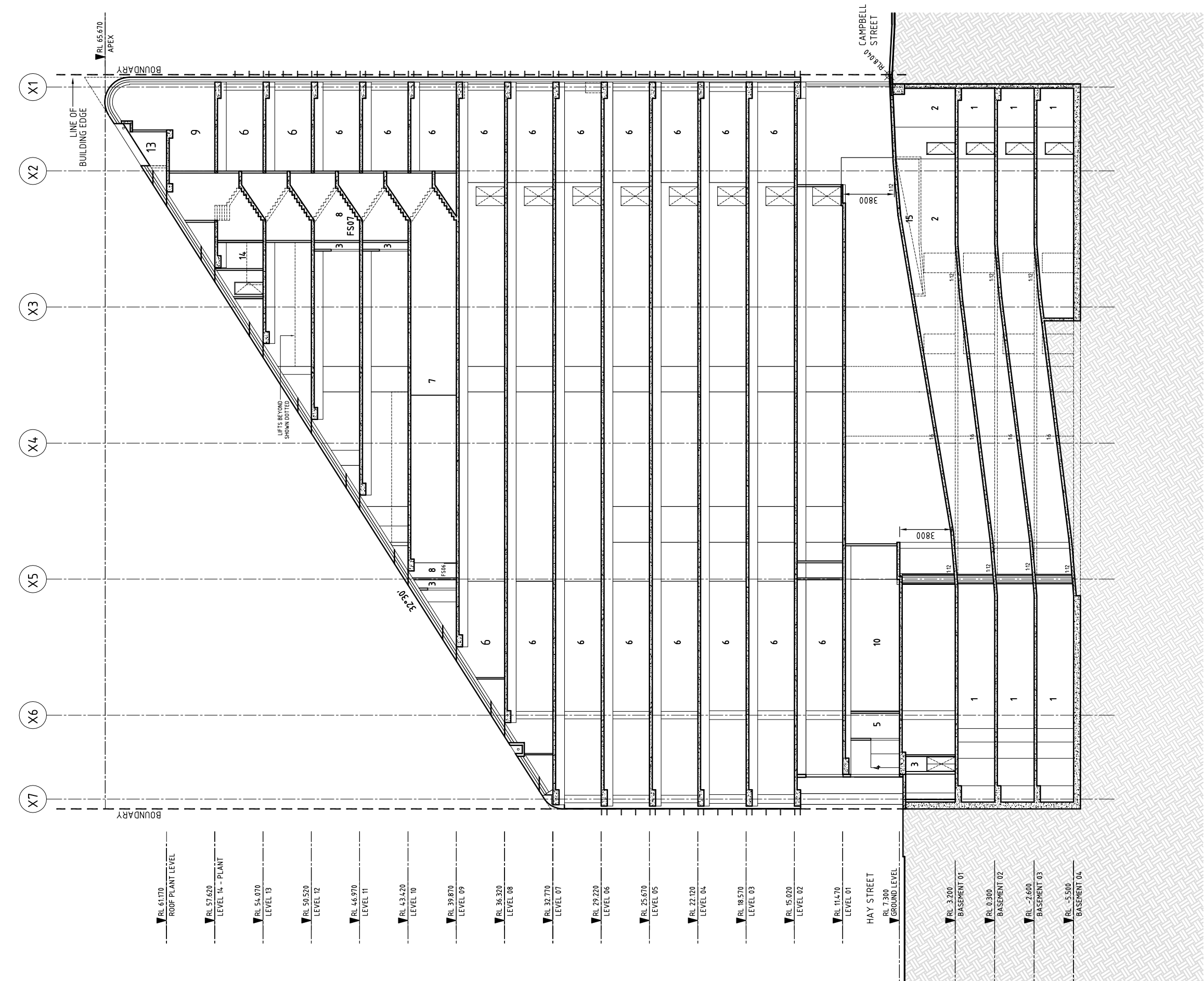
DRAWING NUMBER:

EA29

ISSUE & DATE:

ISSUE 02

REVISIONS IN PROGRESS 16-09-2008



- LEGEND:
- OFFICE COMPONENT
- 1 - PARKING
 - 2 - COURIER CARSPACE
 - 3 - FIRE HOSE REEL CABINET
 - 4 - WATER & GAS METERS/REGULATOR ENCLOSURE
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 - 38 - CONTROL ROOM
 - 39 - CAPACITORS ROOM
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ENVIRONMENTAL ASSESSMENT REPORT - SEPTEMBER 2008

ARCHITECT:



Kann Finch Pty Limited A.C.N. 002 170 747
50 Carrington Street, Sydney NSW Australia

CLIENT:



Tel 02 9299 4111 Fax 02 9290 1481

PROJECT:

BELMORE PARK ZONE SUBSTATION
430-450 PITT STREET, SYDNEY NSW
INTEGRATED COMMERCIAL BUILDING

DRAWING:

BUILDING SECTION 02 - 02

PROJECT NUMBER:

5749

DRAWING NUMBER:

EA30

ISSUE & DATE:

ISSUE 02

REVISIONS IN PROGRESS 16-09-2008

BUILDING SECTION 02 - 02

