

CARDINAL FREEMAN VILLAGE

Supporting Documentation

Appendix Y

Cardinal Freeman Village Survey

Prepared by **Lockley Land Title Solutions**

No. 67
BRICK RESIDENCE
TILE ROOF
1
DP 406031

SP 42807

DP 304981

No. 98 QUEEN STREET
HOUSES 1-5
ONE & TWO STOREY
BRICK RESIDENCES
TILE ROOFS

No. 13
ONE & TWO STOREY
BRICK RESIDENCE
TILE ROOF

No. 12
BRICK SUBSTATION
1
DP 173167

WILLIAM STREET

15
DP 4272

No. 40
TIMBER COTTAGE
METAL ROOF

1
DP 4272

No. 89
TWO STOREY BRICK COTTAGE
TILE ROOF

SP 57484

No. 114
TWO STOREY
BRICK UNITS
TILE ROOF

CLISSOLD

STREET

MGA

No. 69
BRICK RESIDENCE
SLATE ROOF
1
DP 948531

No's. 71 & 71A
BRICK RESIDENCE
TILE ROOF
1
DP 947994

No's. 73 & 75
BRICK RESIDENCE
TILE ROOF
3
DP 6183

No. 77
TWO STOREY
BRICK APARTMENTS
TILE ROOF
SP 22551

No. 79
RENDERED RESIDENCE
TILE ROOF
5
DP 6183

No. 83
BRICK RESIDENCE
TILE ROOF
1
DP 171875

No. 85
TWO STOREY
RENDERED RESIDENCE
TILE ROOF
SP 58640

No. 89
TWO STOREY
BRICK & TIMBER
RESIDENCE
TILE ROOF
A
DP 315306
No. 91
TWO STOREY
RENDERED RESIDENCE
SLATE ROOF
A
DP 315044

No. 93
TWO STOREY
BRICK BUILDING
SLATE ROOF
9
DP 803

No. 95
TWO STOREY
BRICK UNITS
TILE ROOF
SP 5443

STREET

QUEEN

No. 100
BRICK COTTAGE
TILE ROOF
101

DP 702245

No. 102
BRICK COTTAGE
TILE ROOF

DP 717062

"NURSING HOME"
SINGLE STOREY BRICK BUILDING
TILE ROOF

No. 173-220
"SERVICED APARTMENTS"
2 STOREY BRICK BUILDING
TILE ROOF

BUILDING "F"
2 STOREY BRICK
TILE ROOF

OFFICE
BRICK BUILDING
TILE ROOF

TWO STOREY
BRICK UNITS
TILE ROOF

"ACTIVITIES CENTRE"
2 STOREY BRICK BUILDING
TILE ROOF

BRICK BUILDING
TILE ROOF

7 1 7 6 4 4

CONVENT
TWO STOREY
BRICK BUILDING
TILE ROOF

CHAPEL
TILE ROOF

202
DP 702246

BRICK UNITS

TILE ROOFS

STREET

VICTORIA

No. 116
BRICK COTTAGE
TILE ROOF
1
DP 389776

THREE STOREY
BRICK UNIT BLOCK
TILE ROOF
SP 20456

No. 116B
BRICK COTTAGE
TILE ROOF
3
DP 389776

No. 118
BRICK COTTAGE
TILE ROOF
1
DP 167700

No. 120
BRICK COTTAGE
TILE ROOF
1
DP 167402

No. 122
TWO STOREY
BRICK UNITS
TILE ROOF
42
DP 280

No. 126
BRICK COTTAGE
TILE ROOF
1
DP 392959

No. 128
TWO STOREY
RENDERED COTTAGE
TILE ROOF
2
DP 392959

No. 130
ONE & TWO STOREY
BRICK & CLAD COTTAGE
TILE ROOF
A
DP 387820

DATE : 26/11/08 AMENDMENT : EXTRA DETAIL ADDED - REF :31434
DATE : 4/09/08 AMENDMENT : EXTRA DETAIL ADDED - REF :31427

DATE : 21/08/08 AMENDMENT : EXTRA DETAIL ADDED - REF :31365
DATE : 24/11/06 AMENDMENT : NORTHERN ELEVATION OF CHAPEL ADDED - REF : 29986

THIS IS THE PLAN
REFERRED TO IN MY
LETTER
DATED: -
19-09-06
DATUM:
AHD
SITE AREA:
-
Registered
Surveyor NSW

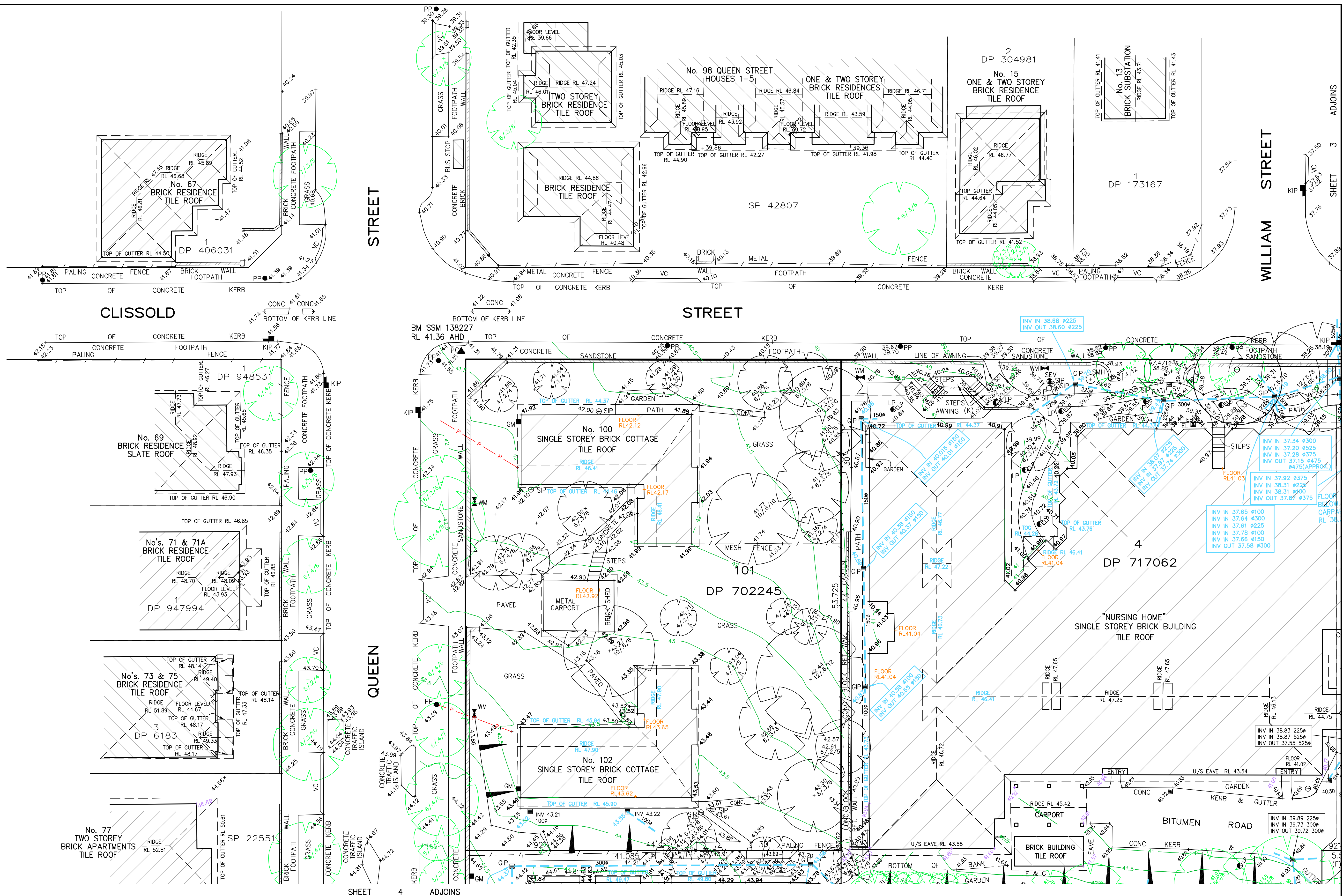
LOCKLEY
LAND TITLE
SOLUTIONS
19 Massey Street
Gladesville NSW 2111
PO BOX 400
Gladesville NSW 1675
ph:(02) 9879 6077
fax:(02) 9879 7143

CLIENT: AEVUM LIMITED
PLAN OF DETAIL AND LEVELS OVER PART OF
"CARDINAL FREEMAN RETIREMENT VILLAGE"
No.137 VICTORIA STREET, ASHFIELD, BEING LOT
202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN
DP 717644 AND LOT 4 IN DP 717062.
LGA: ASHFIELD

ORIGINAL PLAN SIZE:
A1 1:400
PROJECT No:
29838
JOB REFERENCE:
29838DT-D
SHEET
OF 11 SHEETS 1

0 10 20 30 40
1:400

MGA



NOTES

- 1) THE BOUNDARIES HAVE NOT BEEN MARKED
- 2) ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY
- 3) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM SSM 25219 R.L. 44.619 (A.H.D.) CNR OF VICTORIA STREET AND CLISSOLD STREET.
- 4) CONTOUR INTERVAL 0.5m
- 5) CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS TO QUANTITIES WITH CAUTION
- 6) KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
- 7) FLOOR LEVELS SHOWN ARE THRESHOLD LEVELS. NO INVESTIGATION OF INTERNAL FLOOR LEVELS HAS BEEN UNDERTAKEN
- 8) NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
- 9) 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m

LEGEND

BENCH MARK	▲	SEWER MANHOLE	○ SMH	VEHICLE CROSSING	VC
TELSTRA PIT	TEL	STOP VALVE	SV	PRAM CROSSING	PC
OPTUS PIT	OPTUS	HYDRANT	HYD	GAS	G
LIGHT POLE	LP & ELP	FIRE HYDRANT	FHYD	TELSTRA	T
ELECTRICITY BOX	EL	WATER METER	WM	ELECTRICITY (OVERHEAD)	P
POWER POLE	PP	WATER VALVE	WV	WATER	W
GRADED INLET PIT	GIP	AIR VALVE	AV	STORMWATER	S
SEWER INSPECTION POINT	SIP	GAS VALVE	GAS	SEWER	S
SEWER VENT	SEV	GAS METER	GM	OPTUS	OP

- (A) - RIGHT OF CARRIAGEWAY 6 WIDE (VIDE DP 615275)
(B) - RIGHT OF WAY 6 WIDE (VIDE DP 716644)
(C) - RIGHT OF CARRIAGEWAY 6 & 5.545 WIDE (VIDE DP 702246)
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(J) - EASEMENT FOR OVERHANG 0.04 WIDE (VIDE DP 596997)
(K) - EASEMENT FOR SEWERAGE PURPOSES OVER EXISTING LINE OF PIPES (VIDE D.P. 702245)
(L) - RESTRICTION ON THE USE OF LAND (VIDE DP 702245)

0 5 10 15 20
1:200

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Registered
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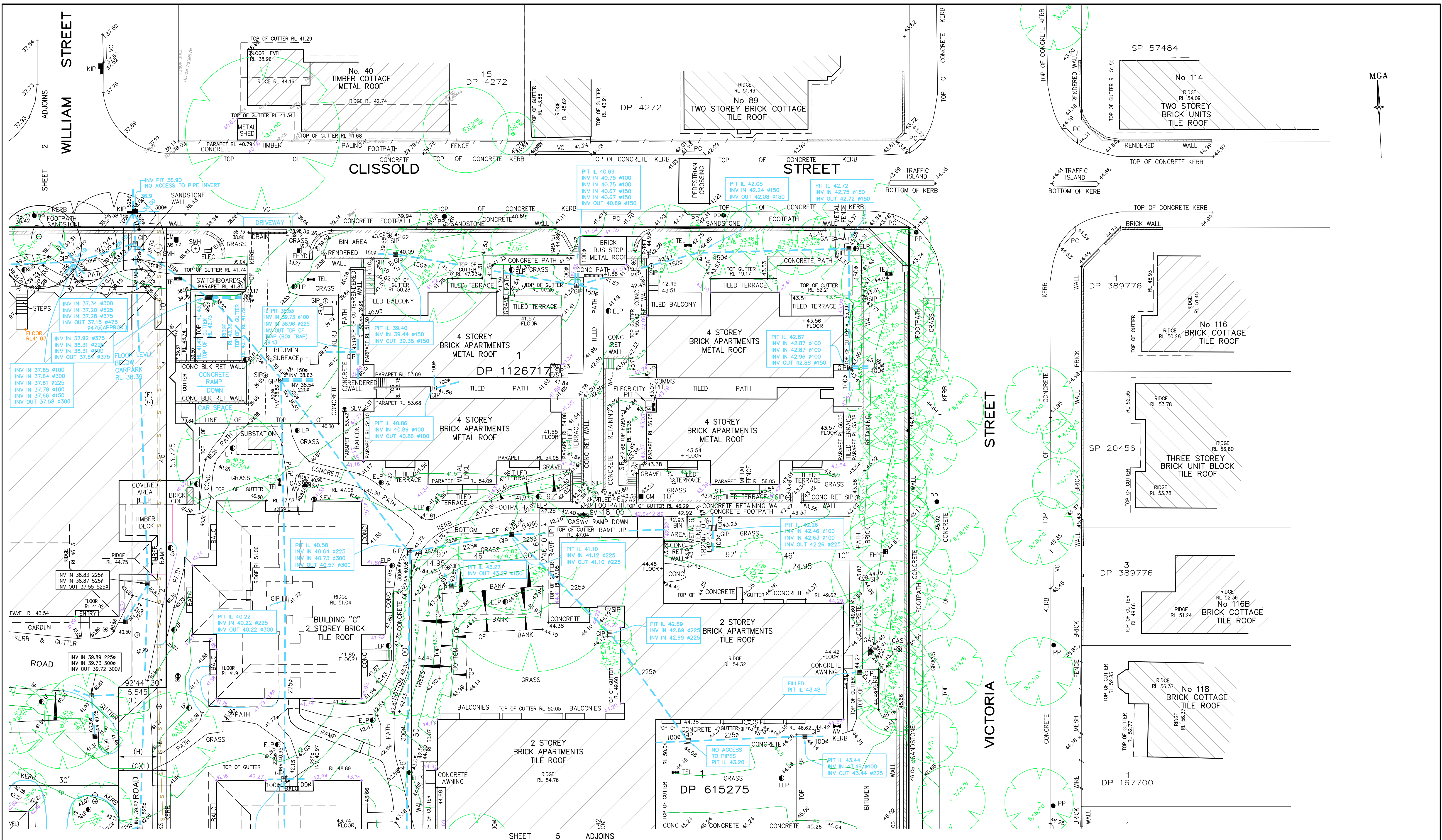
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19-09-06
DATUM:
AHD
SITE AREA:
-

LOCKLEY
LAND TITLE
SOLUTIONS
19 Massey Street
Gladesville NSW 2111
PO BOX 400
Gladesville NSW 1675
ph:(02) 9879 6077
fax:(02) 9879 7143

DATE: 18/05/10	AMENDMENT: EXTRA DETAIL ADDED - REF: 32694
DATE: 23/04/09	AMENDMENT: EXTRA DETAIL ADDED - REF: 31941
DATE: 27/03/09	AMENDMENT: EXTRA DETAIL ADDED - REF: 31897
DATE: 25/11/08	AMENDMENT: EXTRA DETAIL ADDED - REF: 31634
DATE: 4/09/08	AMENDMENT: EXTRA DETAIL ADDED - REF: 31427
DATE: 21/08/08	AMENDMENT: EXTRA DETAIL ADDED - REF: 31365
DATE: 23/08/07	AMENDMENT: EXTRA DETAIL ADDED - REF: 30559
DATE: 24/11/06	AMENDMENT: EXTRA DETAIL ADDED - REF: 29986

CLIENT: AEYUM LIMITED
PLAN OF DETAIL AND LEVELS OVER PART OF
"CARDINAL FREEMAN RETIREMENT VILLAGE"
No.137 VICTORIA STREET, ASHFIELD, BEING LOT
202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN
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LGA: ASHFIELD

ORIGINAL PLAN SIZE:
A1 1:200
PROJECT NO:
29838
JOB REFERENCE:
29838DT-D
SHEET
OF 11 SHEETS

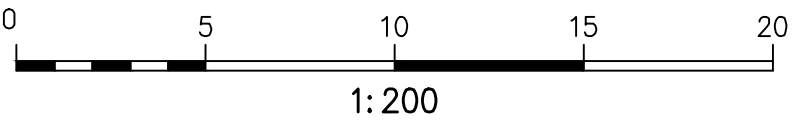


NOTES

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- 3) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM **SSM 25219** R.L. **44.619** (A.H.D.) CNR OF VICTORIA STREET AND CLISSOLD STREET.
- 4) CONTOUR INTERVAL **0.5m**
- 5) CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
- 6) KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
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- 9) 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m

LEGEND					
BENCH MARK	▲	SEWER MANHOLE	○ SMH	VEHICLE CROSSING	VC
TELSTRA PIT	TEL	STOP VALVE	SV	PRAM CROSSING	PC
OPTUS PIT	OPTUS	HYDRANT	HYD	GAS	G
LIGHT POLE	LP & ELP	FIRE HYDRANT	FHYD	TELSTRA	T
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GRAVED INLET PIT	GIP	AIR VALVE	AV	STORMWATER	S
SEWER INSPECTION POINT	SIP	GAS VALVE	GAS	SEWER	S
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(L) - RESTRICTION ON THE USE OF LAND (VIDE DP 702245)



THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: -

Registered Surveyor NSW

DATE OF SURVEY: 19-09-06

DATUM: AHD

SITE AREA: -

LOCKLEY LAND TITLE SOLUTIONS

19 Massey Street
Gladesville NSW 2111

PO BOX 400
Gladesville NSW 1675

ph:(02) 9879 6077
fax:(02) 9879 7143

Client: AEYUM LIMITED

PLAN OF DETAIL AND LEVELS OVER PART OF "CARDINAL FREEMAN RETIREMENT VILLAGE" No.137 VICTORIA STREET, ASHFIELD, BEING LOT 202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN DP 717644 AND LOT 4 IN DP 717062.

LGA: ASHFIELD

ORIGINAL PLAN SIZE: A1 1:200

PROJECT No: 29838

JOB REFERENCE: 29838DT-D

SHEET OF 11 SHEETS

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DATE: 26/11/08	AMENDMENT: EXTRA DETAIL ADDED - REF: 31634
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DATE: 21/08/08	AMENDMENT: EXTRA DETAIL ADDED - REF: 31365
DATE: 23/08/07	AMENDMENT: TREE DETAIL ADDED - REF: 30559
DATE: 24/11/06	AMENDMENT: EXTRA DETAIL ADDED - REF: 29986

MGA

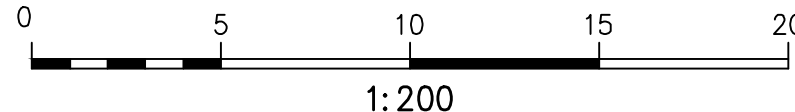
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LEGEND

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TELSTRA PIT	TEL	STOP VALVE	SV	PRAM CROSSING	PC
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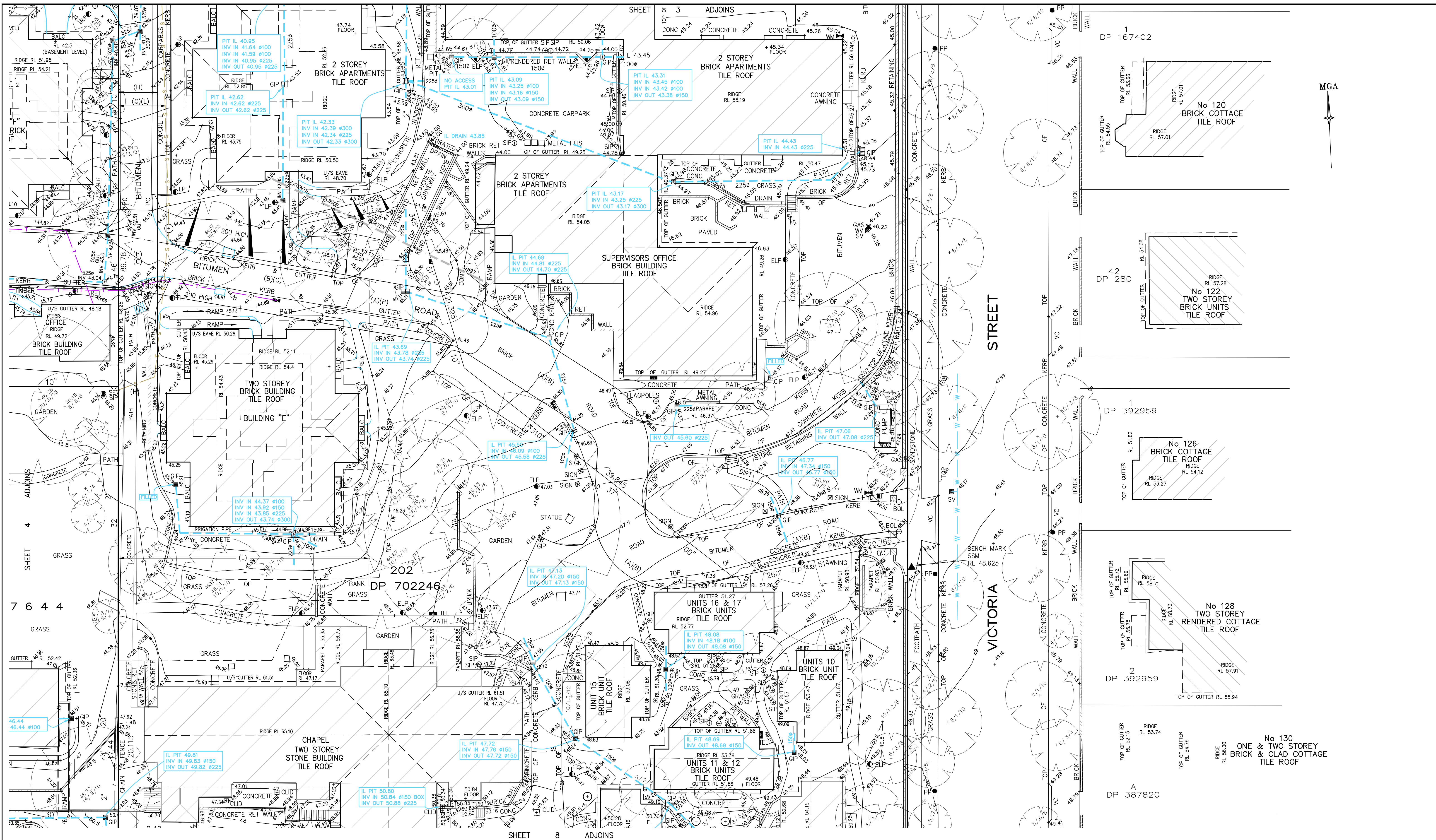


THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: -
Registered Surveyor NSW

DATE OF SURVEY: 19-09-06
DATUM: AHD
SITE AREA: -






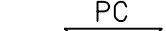





















LOCKLEY LAND TITLE SOLUTIONS
19 Mossey Street
Gladesville NSW 2111
PO BOX 400
Gladesville NSW 1675
ph:(02) 9879 6077
fax:(02) 9879 7143

DATE: 18/02/11	AMENDMENT: EXTRA DETAIL ADDED - REF: 32694	ORIGINAL PLAN SIZE: A1 1:200
DATE: 23/04/09	AMENDMENT: EXTRA DETAIL ADDED - REF: 31941	PROJECT NO: 29838
DATE: 27/03/09	AMENDMENT: EXTRA DETAIL ADDED - REF: 31897	JOB REFERENCE: 29838DT-D
DATE: 26/11/08	AMENDMENT: EXTRA DETAIL ADDED - REF: 31634	SHEET OF 11 SHEETS
DATE: 4/09/08	AMENDMENT: EXTRA DETAIL ADDED - REF: 31427	
DATE: 21/08/08	AMENDMENT: EXTRA DETAIL ADDED - REF: 31365	
DATE: 23/08/07	AMENDMENT: TREE DETAIL ADDED - REF: 30559	
DATE: 24/11/06	AMENDMENT: EXTRA DETAIL ADDED - REF: 29986	
CLIENT: AVEUM LIMITED		
PLAN OF DETAIL AND LEVELS OVER PART OF "CARDINAL FREEMAN RETIREMENT VILLAGE"		
No.137 VICTORIA STREET, ASHFIELD, BEING LOT 202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN DP 717644 AND LOT 4 IN DP 717062.		
LGA: ASHFIELD		



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TELSTRA PIT		STOP VALVE		PRAM CROSSING	
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LIGHT POLE		FIRE HYDRANT		TELSTRA	
ELECTRICITY BOX		WATER METER		ELECTRICITY (OVERHEAD)	
POWER POLE		WATER VALVE		WATER	
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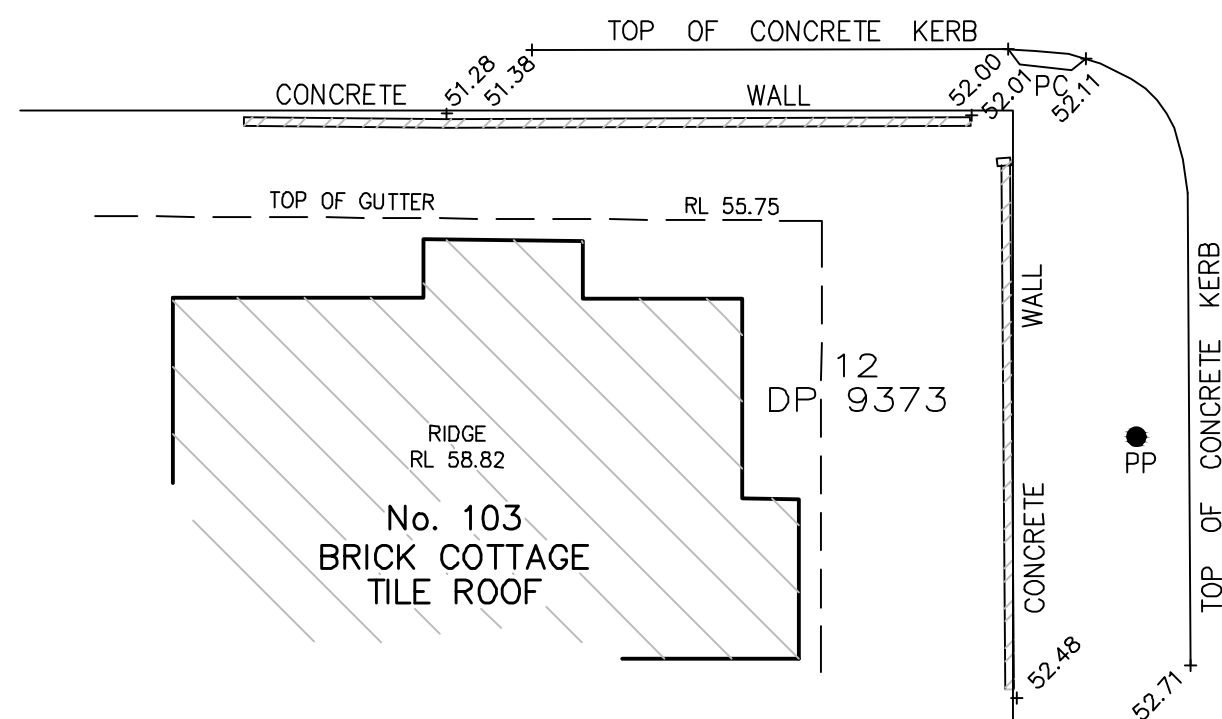
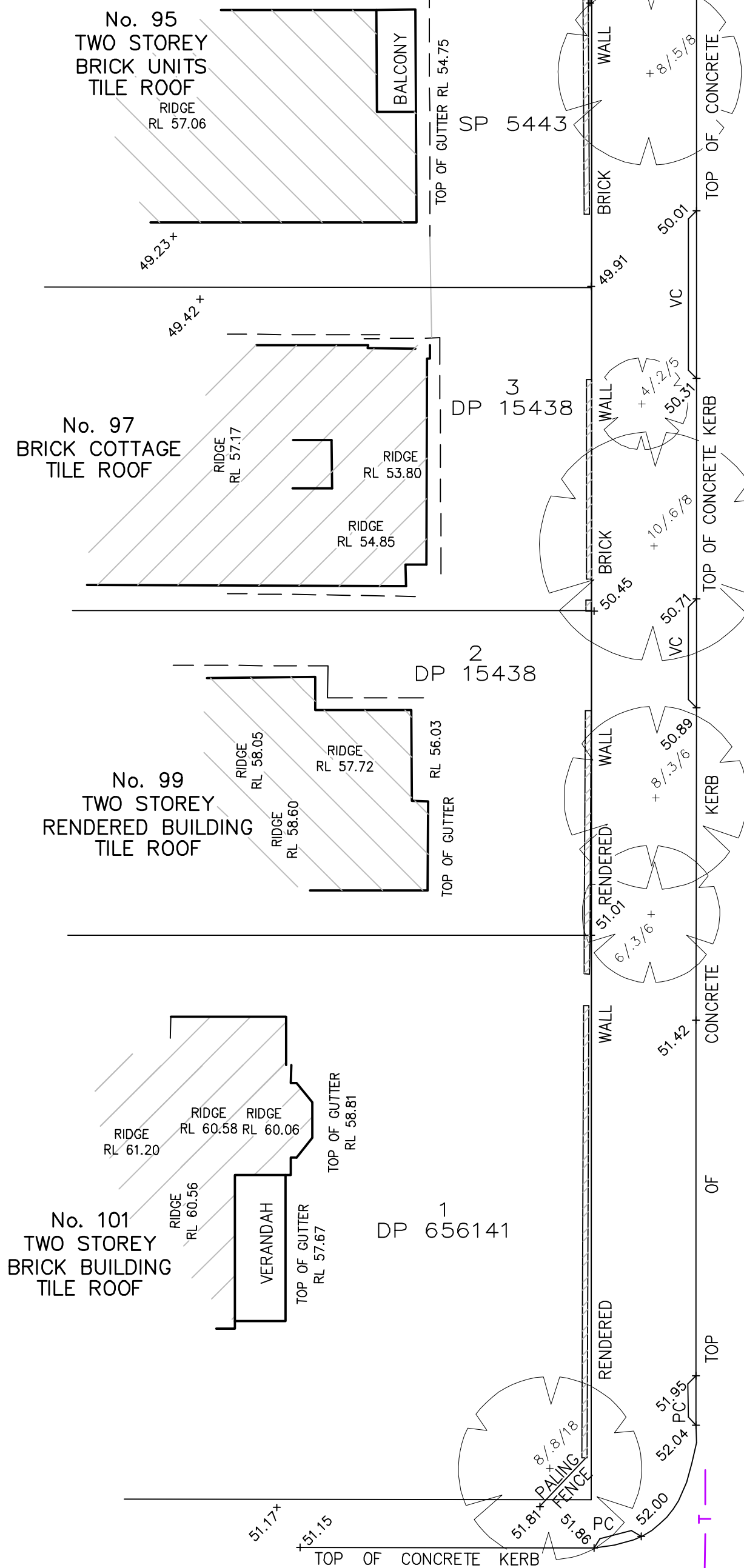
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DATE: 24/11/06	AMENDMENT : EXTRA DETAIL ADDED - REF : 29986

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	DATUM: AHD	PO BOX 400 Gladsville NSW 1675		PLAN OF DETAIL AND LEVELS OVER PART OF "CARDINAL FREEMAN RETIREMENT VILLAGE" No.137 VICTORIA STREET, ASHFIELD, BEING LOT 202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN DP 717644 AND LOT 4 IN DP 717062.	PROJECT No: 29838
	SITE AREA: -	ph:(02) 9879 6077 fax:(02) 9879 7143		LGA: ASHFIELD	JOB REFERENCE: 29838DT-D
Registered Surveyor NSW					SHEET OF 11 SHEETS

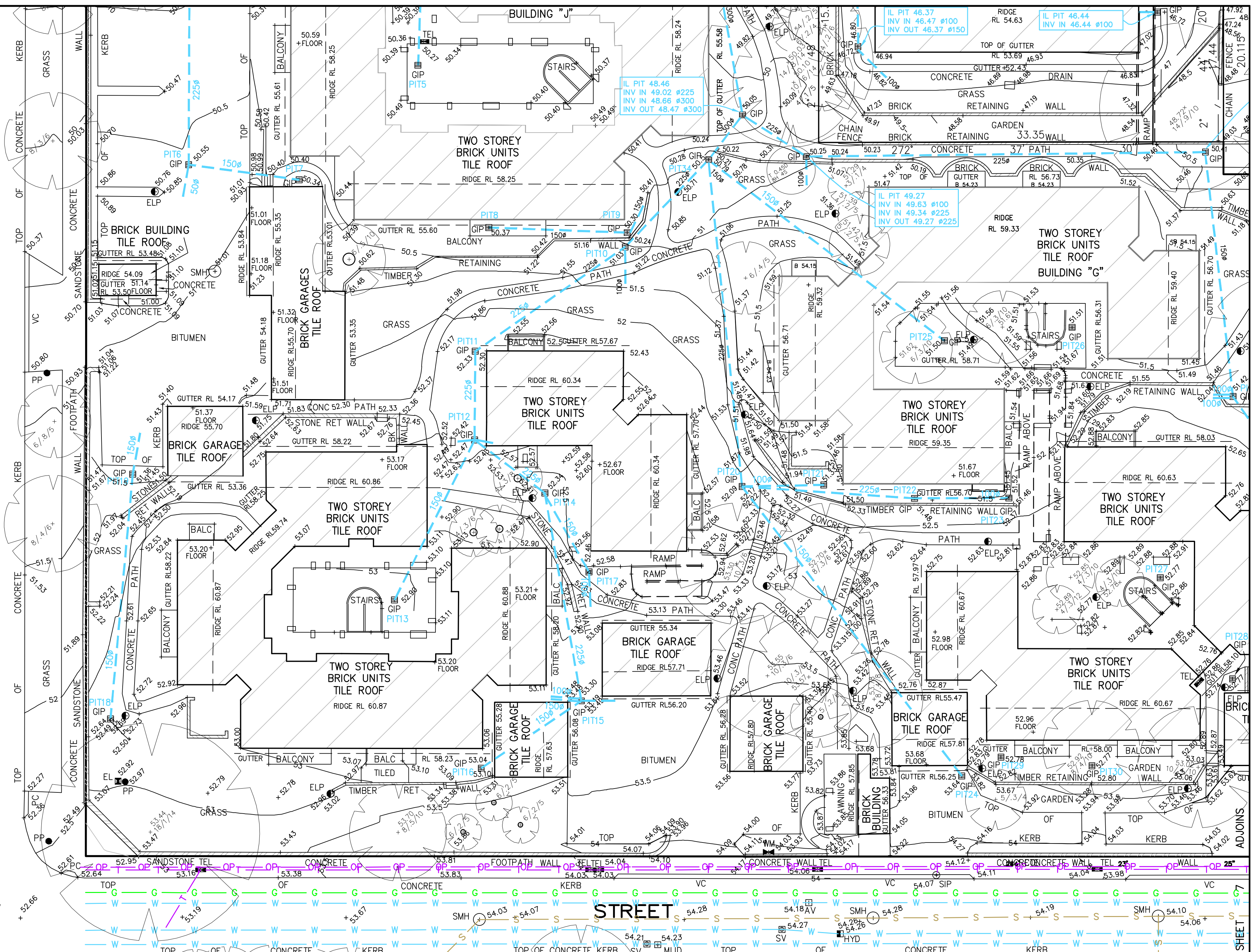
MGA



STREET

QUEEN

SEAVIEW



STREET

ADJOINS SHEET

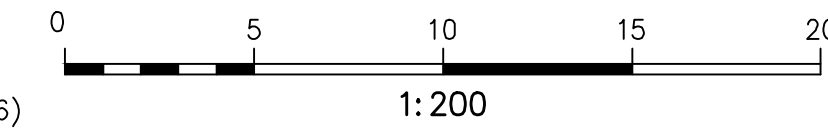
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- 6) KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
- 7) FLOOR LEVELS SHOWN ARE THRESHOLD LEVELS. NO INVESTIGATION OF INTERNAL FLOOR LEVELS HAS BEEN UNDERTAKEN
- 8) NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
- 9) 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m

LEGEND

BENCH MARK	▲	SEWER MANHOLE	○ SMH	VEHICLE CROSSING	VC
TELSTRA PIT	TEL	STOP VALVE	SV	PRAM CROSSING	PC
OPTUS PIT	OPTUS	HYDRANT	HYD	GAS	G
LIGHT POLE	LP & ELP	FIRE HYDRANT	FHYD	TELSTRA	T
ELECTRICITY BOX	EL	WATER METER	WM	ELECTRICITY (OVERHEAD)	P
POWER POLE	PP	WATER VALVE	WV	WATER	W
GRATED INLET PIT	GIP	AIR VALVE	AV	STORMWATER	S
SEWER INSPECTION POINT	SIP	GAS VALVE	GM	SEWER	OP
SEWER VENT	SEV	GAS METER	GM	OPTUS	OP

- (A) - RIGHT OF CARRIAGEWAY 6 WIDE (VIDE DP 615275)
(B) - RIGHT OF WAY 6 WIDE (VIDE DP 716644)
(C) - RIGHT OF CARRIAGEWAY 6 & 5.545 WIDE (VIDE DP 702246)
(D) - RIGHT OF WAY 6 WIDE & VARIABLE (VIDE DP 717644)
(E) - EASEMENT FOR SERVICES 6 WIDE & VARIABLE (VIDE DP 717644)
(F) - EASEMENT TO DRAIN WATER 3 & 5 WIDE (VIDE DP 702245)
(G) - EASEMENT TO DRAIN WATER 3 & 5 WIDE (VIDE DP 702246)
(H) - EASEMENT TO DRAIN WATER 4.545 WIDE (VIDE DP 717644)
(J) - EASEMENT FOR OVERHANG 0.04 WIDE (VIDE DP 596997)
(K) - EASEMENT FOR SEWERAGE PURPOSES OVER EXISTING LINE OF PIPES (VIDE D.P. 702245)
(L) - RESTRICTION ON THE USE OF LAND (VIDE DP 702245)



THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: -
Registered Surveyor NSW

DATE OF SURVEY: 19-09-06
DATUM: AHD
SITE AREA: -

LOCKLEY LAND TITLE SOLUTIONS
19 Massey Street
Gladesville NSW 2111
PO BOX 400
Gladesville NSW 1675
ph:(02) 9879 6077
fax:(02) 9879 7143

Registered Surveyors NSW
CLIENT: AVEUM LIMITED
PLAN OF DETAIL AND LEVELS OVER PART OF "CARDINAL FREEMAN RETIREMENT VILLAGE" No.137 VICTORIA STREET, ASHFIELD, BEING LOT 202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN DP 717644 AND LOT 4 IN DP 717062.
LGA: ASHFIELD

ORIGINAL PLAN SIZE: A1 1:200
PROJECT NO: 29838
JOB REFERENCE: 29838DT-D
SHEET OF 11 SHEETS



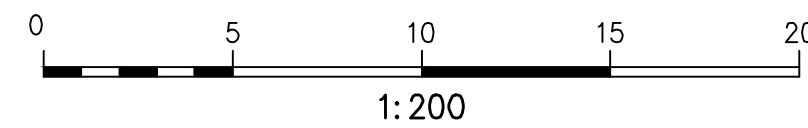
NOTES

- 1) THE BOUNDARIES HAVE NOT BEEN MARKED
- 2) ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY
- 3) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM **SSM 25219 R.L. 44.619** (A.H.D.) CNR OF VICTORIA STREET AND CLISSOLD STREET.
- 4) CONTOUR INTERVAL **0.5m**
- 5) CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
- 6) KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
- 7) FLOOR LEVELS SHOWN ARE THRESHOLD LEVELS. NO INVESTIGATION OF INTERNAL FLOOR LEVELS HAS BEEN UNDERTAKEN
- 8) NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
- 9) 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m

LEGEND

BENCH MARK	▲	SEWER MANHOLE	○	SMH	VC
TELSTRA PIT	TEL	STOP VALVE	SV	PRAM CROSSING	PC
OPTUS PIT	OPTUS	HYDRANT	HYD	GAS	G
LIGHT POLE	LP & ELP	FIRE HYDRANT	FHYD	TELSTRA	T
ELECTRICITY BOX	EL	WATER METER	WM	ELECTRICITY (OVERHEAD)	P
POWER POLE	PP	WATER VALVE	WV	WATER	W
GRADED INLET PIT	GIP	AIR VALVE	AV	STORMWATER	S
SEWER INSPECTION POINT	SIP	GAS VALVE	GV	SEWER	S
SEWER VENT	SEV	GAS METER	GM	OPTUS	OP

- (A) - RIGHT OF CARRIAGEWAY 6 WIDE (VIDE DP 615275)
(B) - RIGHT OF WAY 6 WIDE (VIDE DP 716644)
(C) - RIGHT OF CARRIAGEWAY 6 & 5.545 WIDE (VIDE DP 702246)
(D) - RIGHT OF WAY 6 WIDE & VARIABLE (VIDE DP 717644)
(E) - EASEMENT FOR SERVICES 6 WIDE & VARIABLE (VIDE DP 717644)
(F) - EASEMENT TO DRAIN WATER 3 & 5 WIDE (VIDE DP 702245)
(G) - EASEMENT TO DRAIN WATER 3 & 5 WIDE (VIDE DP 702246)
(H) - EASEMENT TO DRAIN WATER 4.545 WIDE (VIDE DP 717644)
(J) - EASEMENT FOR OVERHANG 0.04 WIDE (VIDE DP 596997)
(K) - EASEMENT FOR SEWERAGE PURPOSES OVER EXISTING LINE OF PIPES (VIDE D.P 702245)
(L) - RESTRICTION ON THE USE OF LAND (VIDE DP 702245)



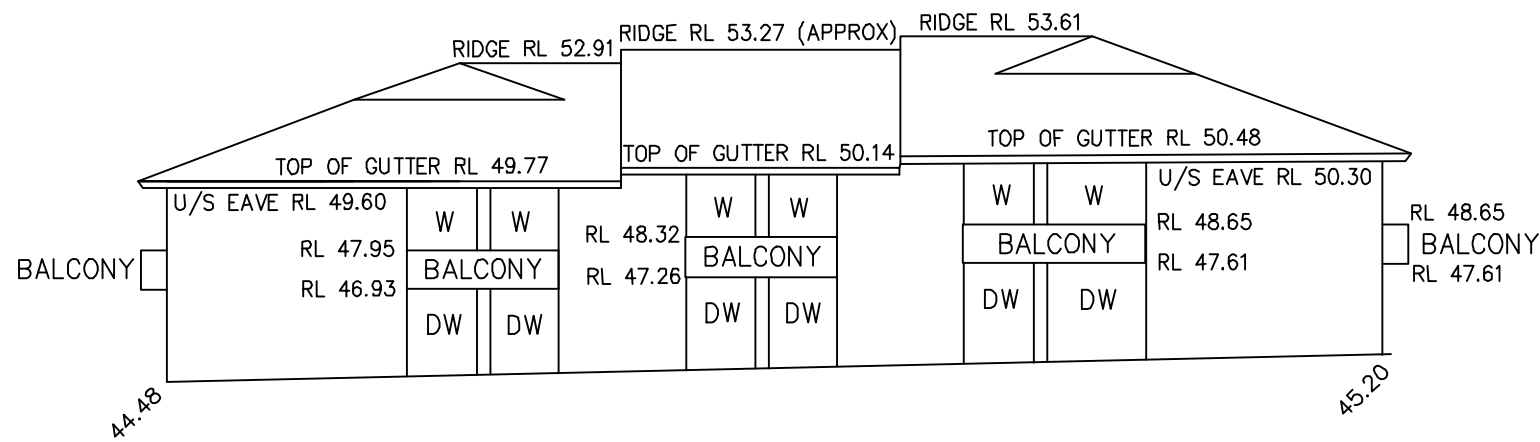
THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: -
Registered Surveyor NSW

DATE OF SURVEY: 19-09-06
DATUM: AHD
SITE AREA: -

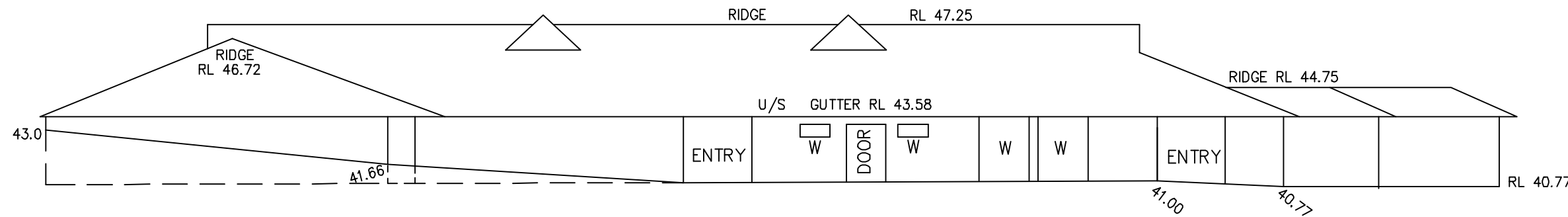
LOCKLEY LAND TITLE SOLUTIONS
19 Massey Street
Gladesville NSW 2111
PO BOX 400
Gladesville NSW 1675
ph:(02) 9879 6077
fax:(02) 9879 7143

Client: AEVUM LIMITED
PLAN OF DETAIL AND LEVELS OVER PART OF "CARDINAL FREEMAN RETIREMENT VILLAGE" No.137 VICTORIA STREET, ASHFIELD, BEING LOT 202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN DP 717644 AND LOT 4 IN DP 717062.
LGA: ASHFIELD

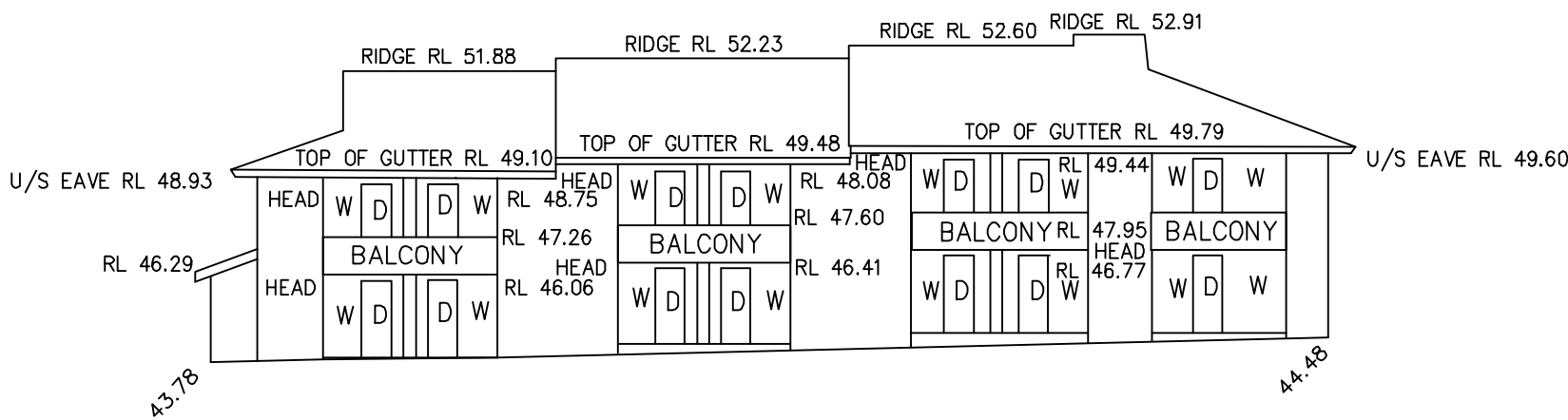
Original Plan Size: A1 1:200
PROJECT NO: 29838
JOB REFERENCE: 29838DT-D
SHEET OF 11 SHEETS



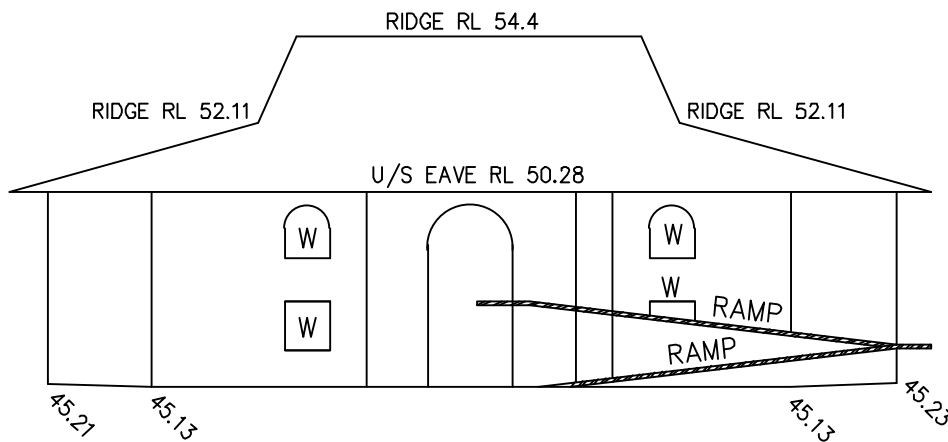
WEST ELEVATION OF SERVICE APARTMENTS



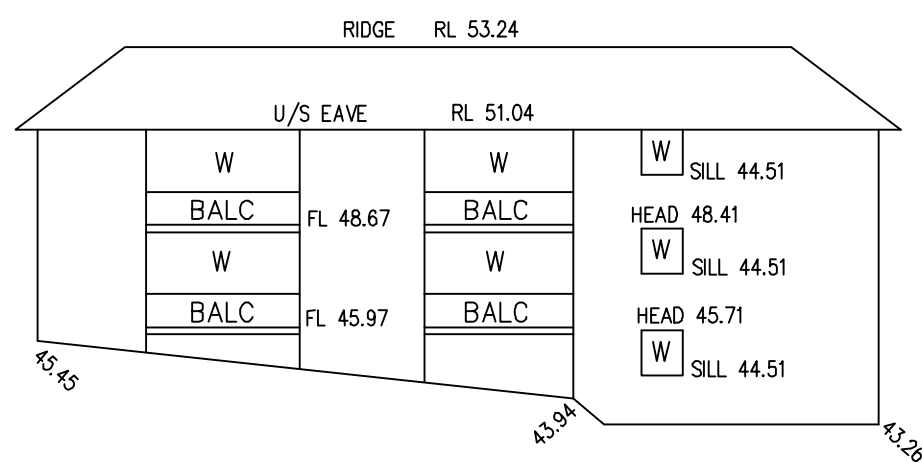
SOUTHERN ELEVATION OF "NURSING HOME"



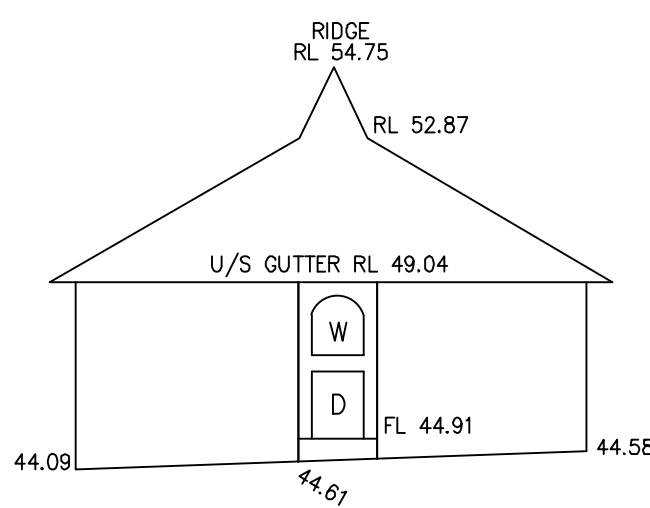
NORTH ELEVATION (WESTERN END) OF SERVICE APARTMENTS



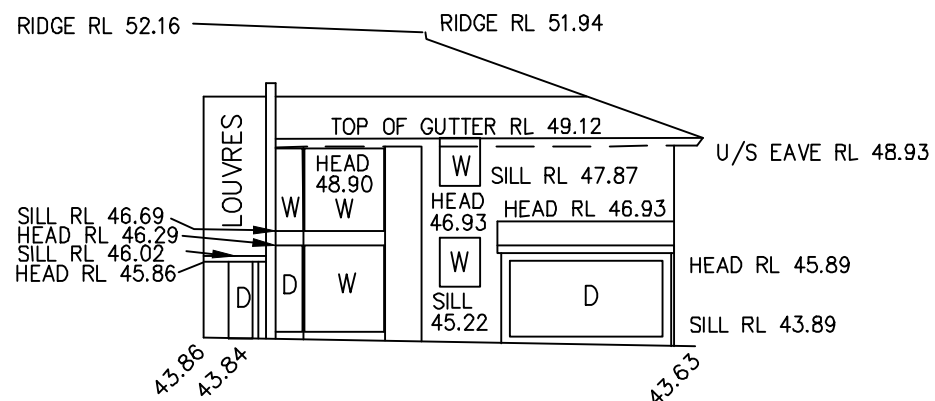
NORTHERN ELEVATION OF BUILDING "E"



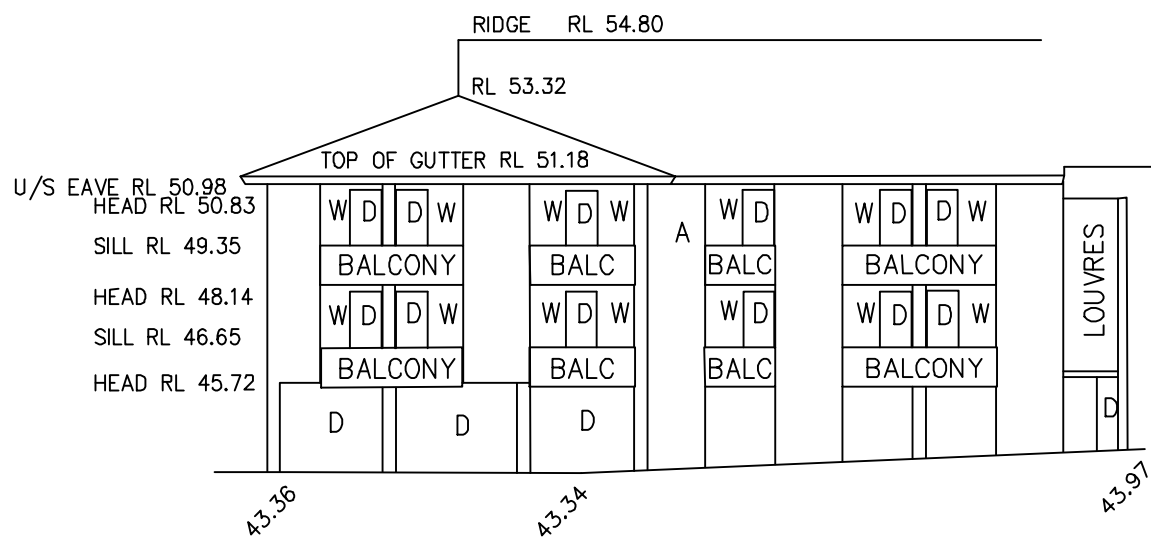
EASTERN ELEVATION OF "SERVICE APARTMENTS"



WESTERN ELEVATION OF
UNITS 111-120



EAST ELEVATION OF SERVICE APARTMENTS



NORTH ELEVATION (EASTERN END) OF SERVICE APARTMENTS

No.173-220
"SERVICED APARTMENTS"
2 STOREY BRICK BUILDING
TILE ROOF

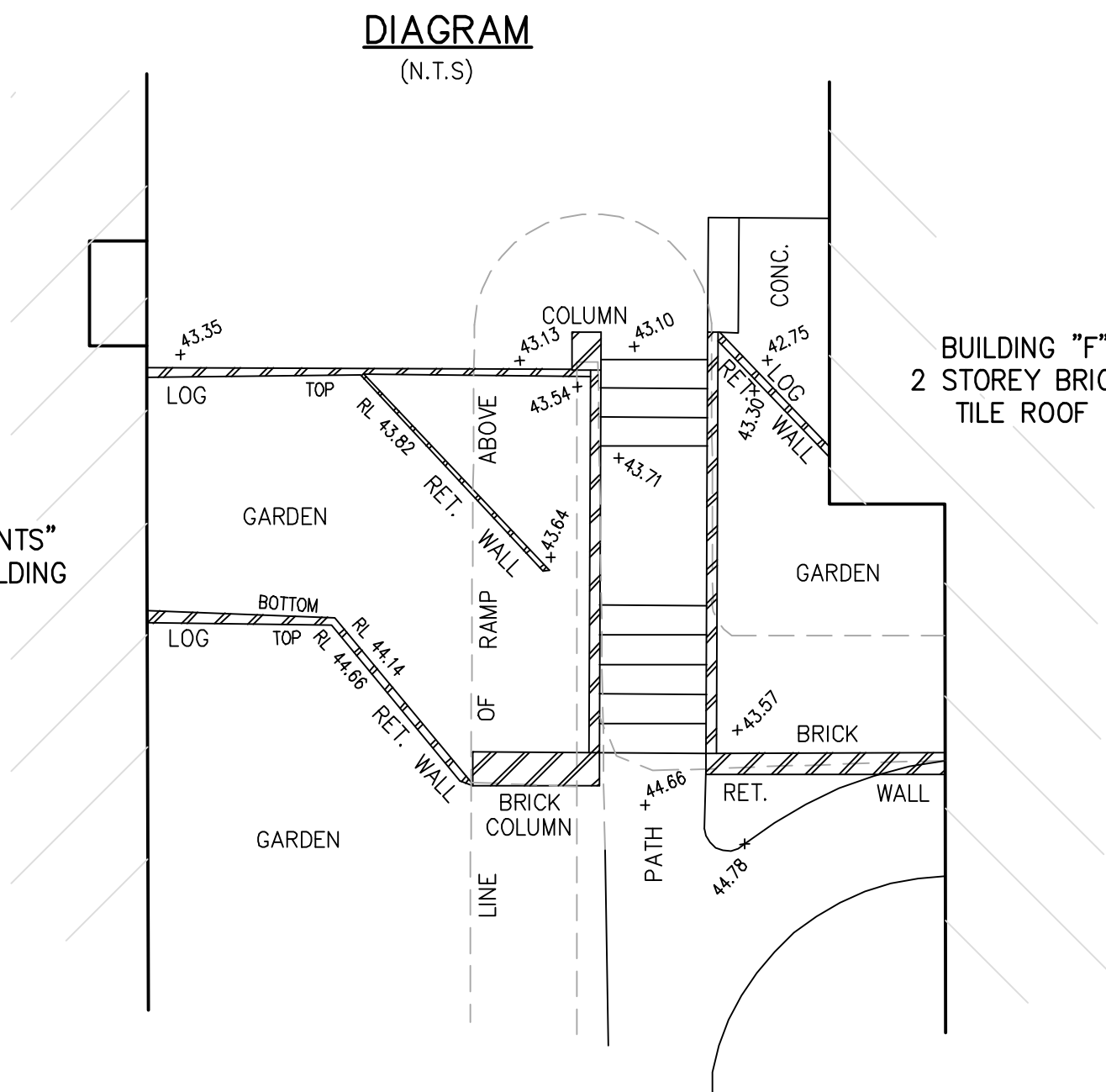
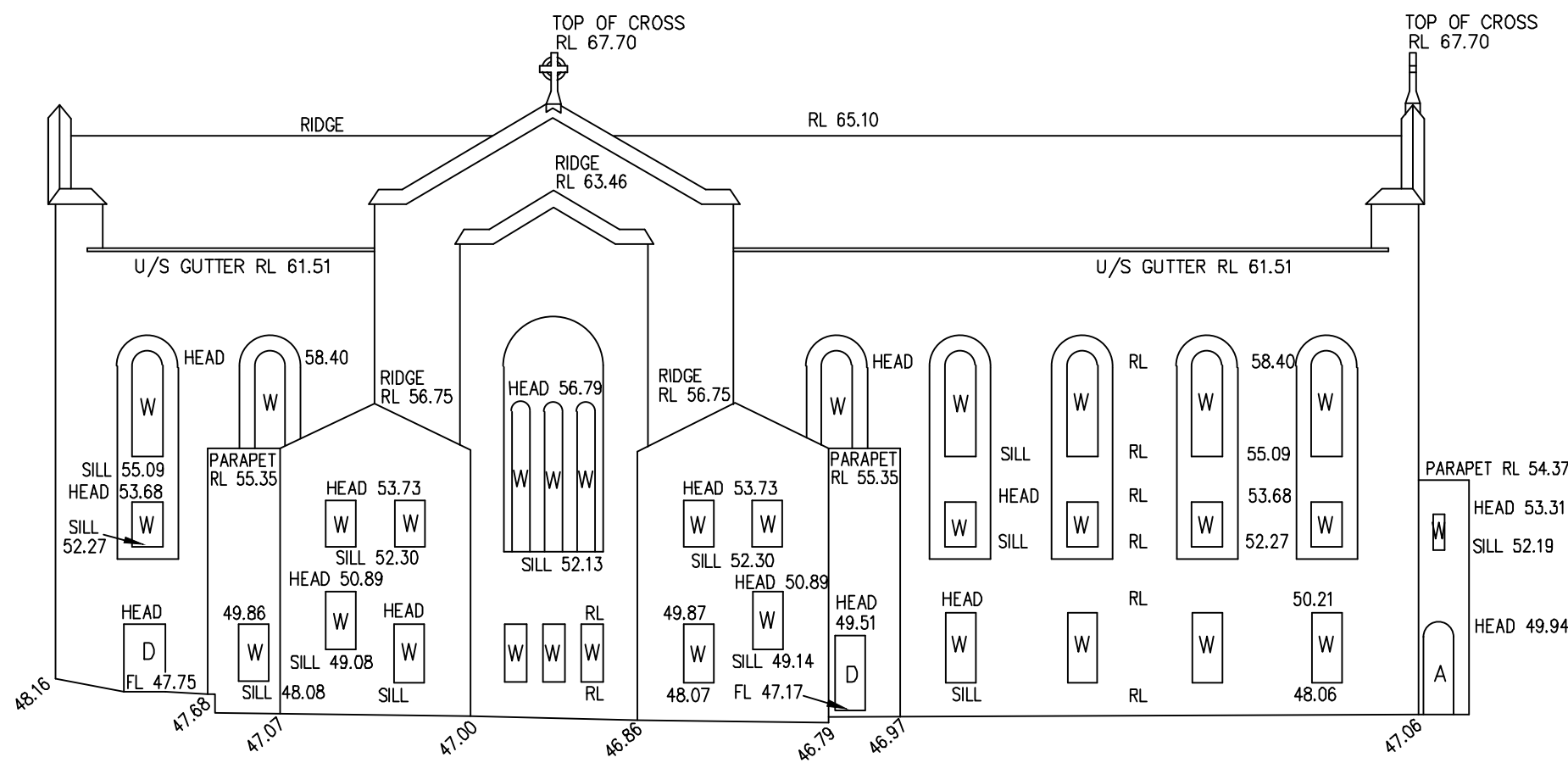
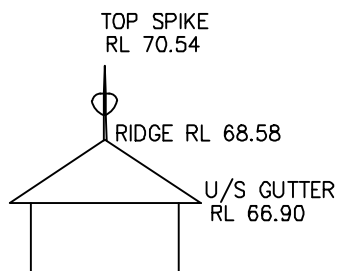
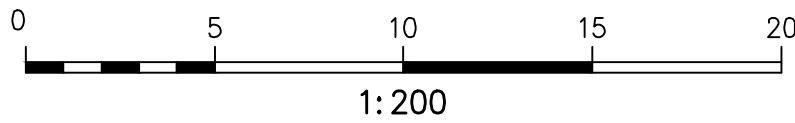


DIAGRAM OF DETAIL BETWEEN BUILDING F & SERVICED APARTMENT



NORTHERN ELEVATION OF CHAPEL

DW - DENOTES SLIDING DOOR/WINDOW
W - DENOTES WINDOW
D - DENOTES DOOR
BALC - DENOTES BALCONY
A - DENOTES ARCHWAY



THIS IS THE PLAN
REFERRED TO IN MY
LETTER
DATED: -
Registered
Surveyor NSW

DATE OF SURVEY:
19-09-06
DATUM:
AHD
SITE AREA:
-

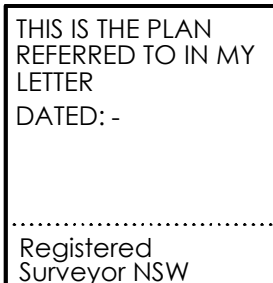
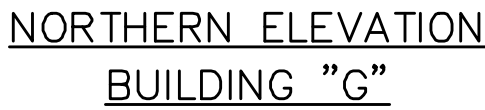
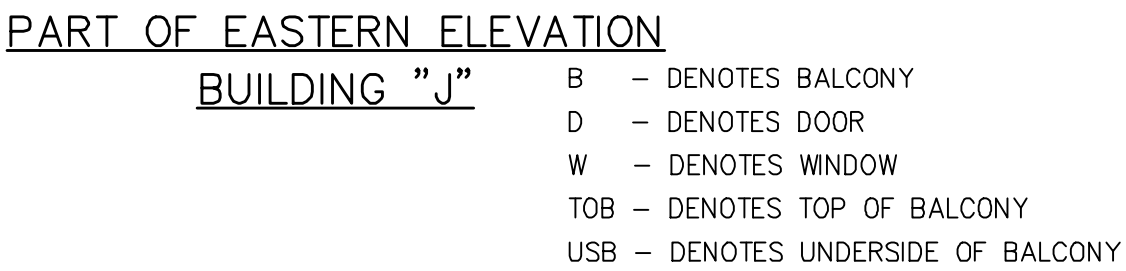
LOCKLEY
LAND TITLE
SOLUTIONS

19 Mossey Street
Gladesville NSW 2111
PO BOX 400
Gladesville NSW 1675
ph:(02) 9879 6077
fax:(02) 9879 7143

CLIENT: AEVUM LIMITED
PLAN OF DETAIL AND LEVELS OVER PART OF
"CARDINAL FREEMAN RETIREMENT VILLAGE"
No.137 VICTORIA STREET, ASHFIELD, BEING LOT
202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN
DP 717644 AND LOT 4 IN DP 717062.
LGA: ASHFIELD

ORIGINAL PLAN SIZE:
A1 1:200
PROJECT No:
29838
JOB REFERENCE:
29838DT-D
SHEET
OF 11 SHEETS 8

DATE: 4/09/08 AMENDMENT : DIAGRAM ADDED - REF :31427
DATE: 21/08/08 AMENDMENT : EXTRA DETAIL ADDED - REF :31365
DATE: 24/11/06 AMENDMENT : NORTHERN ELEVATION OF CHAPEL ADDED - REF : 29986



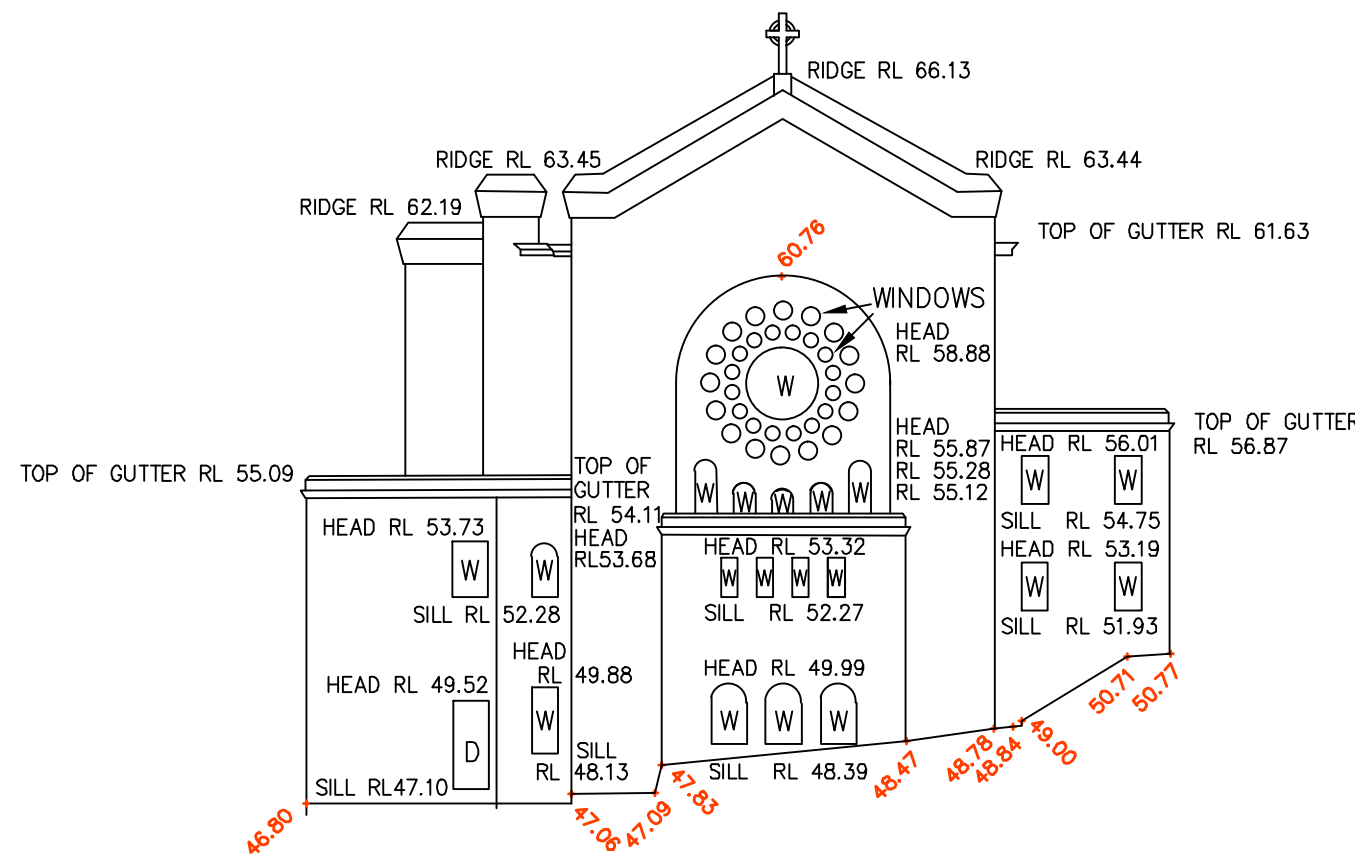
LOCKLEY
LAND TITLE
SOLUTIONS

CLIENT: AEVUM LIMITED

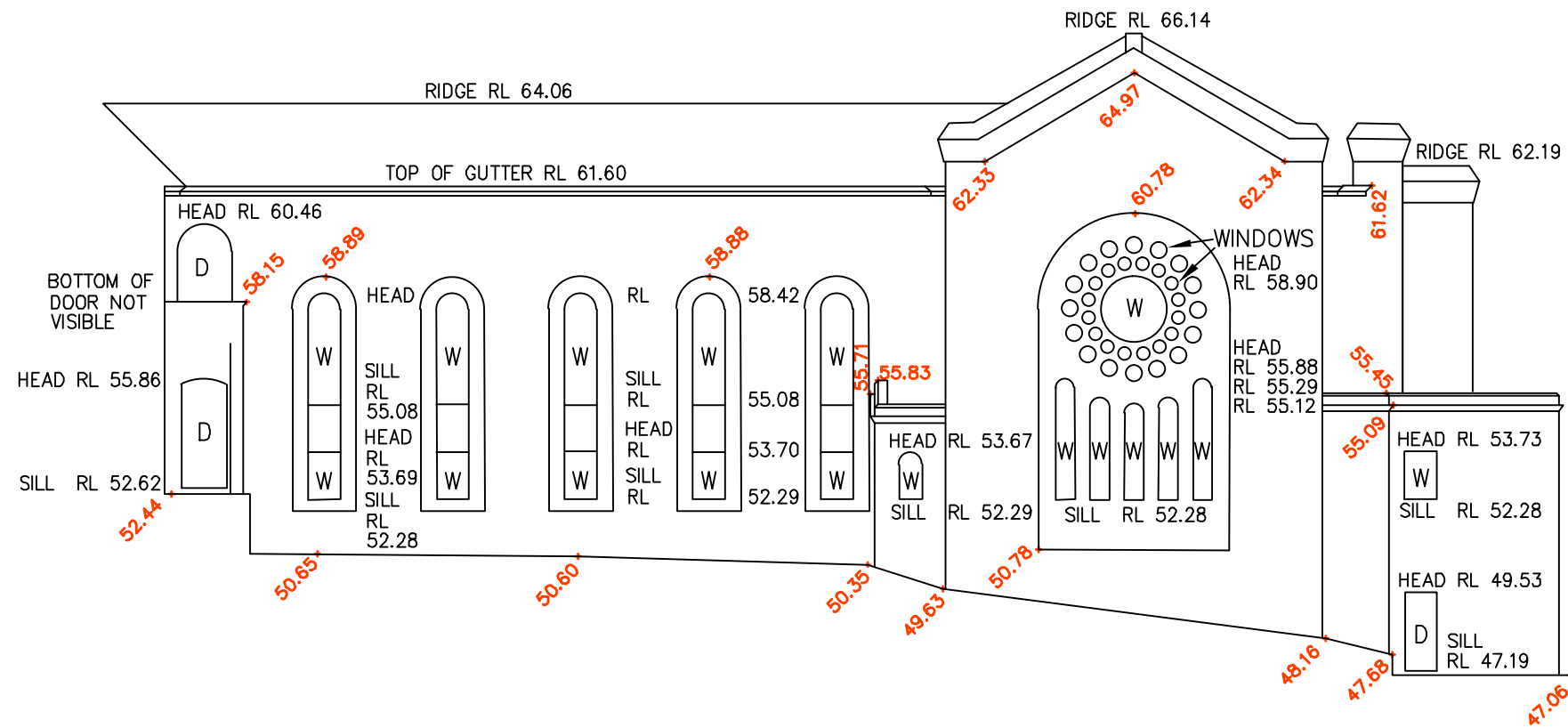
PLAN OF DETAIL AND LEVELS OVER PART OF
"CARDINAL FREEMAN RETIREMENT VILLAGE"
No. 137 VICTORIA STREET, ASHFIELD, BEING LOT
202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN
DP 717644 AND LOT 4 IN DP 717062.

LGA: ASHFIELD

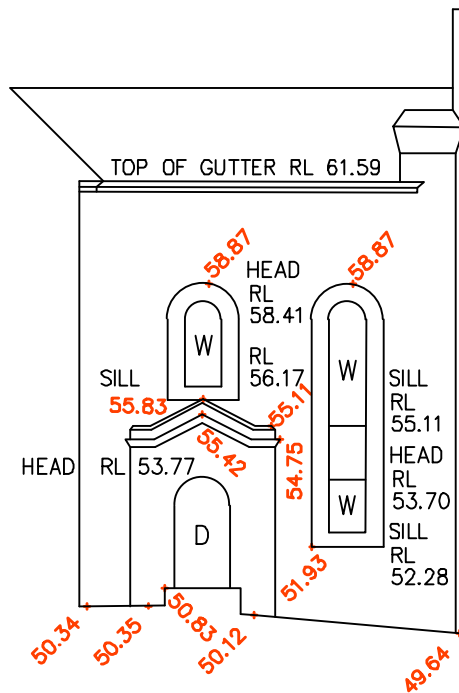
ORIGINAL PLAN SIZE: A1 1:200	
PROJECT No: 29838	
JOB REFERENCE: 29838DT-D	
SHEET OF 11 SHEETS	9



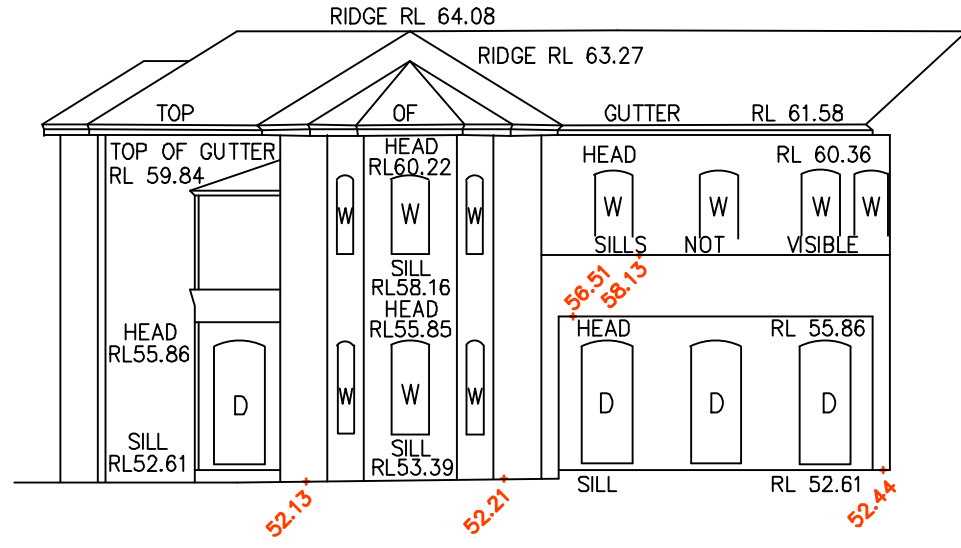
PART OF WESTERN ELEVATION OF CHAPEL



PART OF EASTERN ELEVATION OF CHAPEL/GLENTWORTH HOUSE

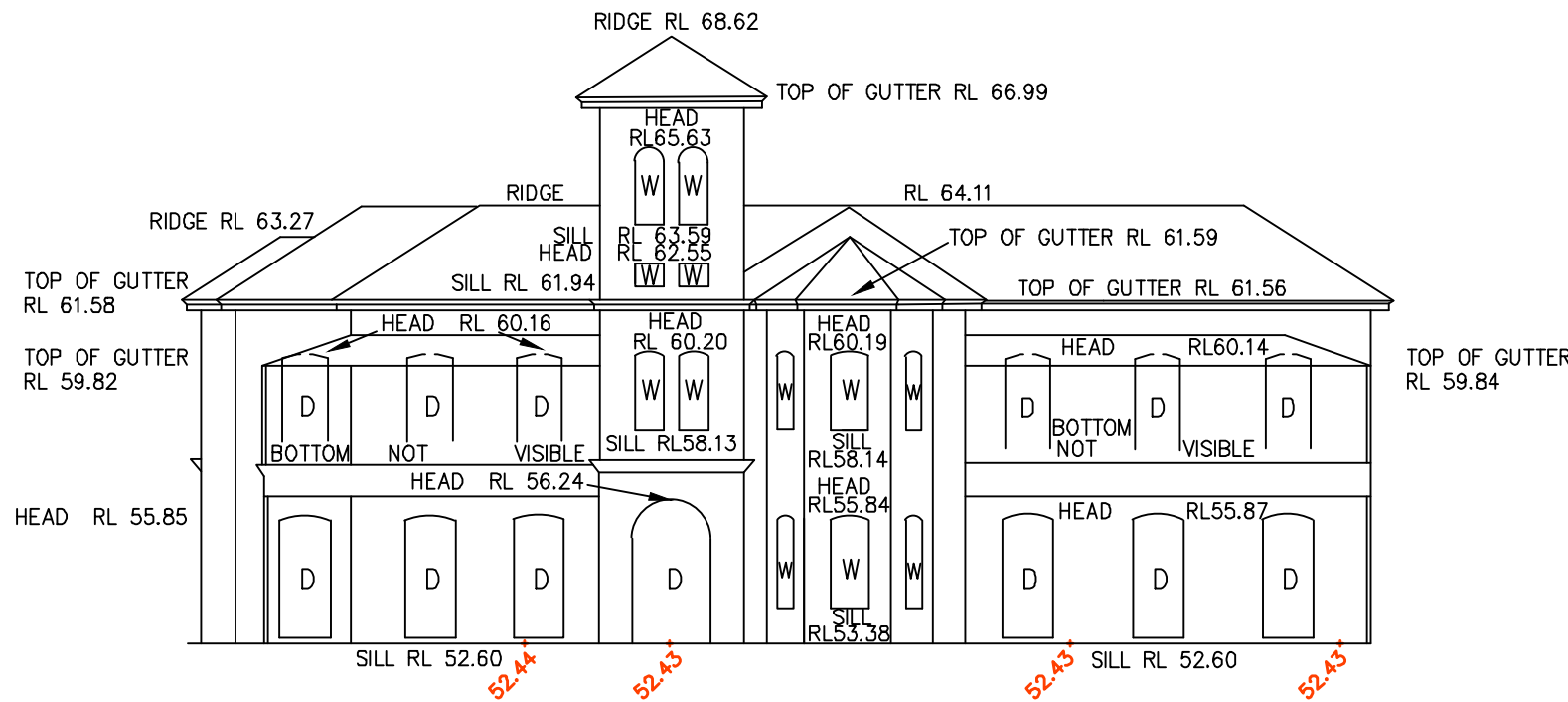


PART OF SOUTHERN ELEVATION OF CHAPEL

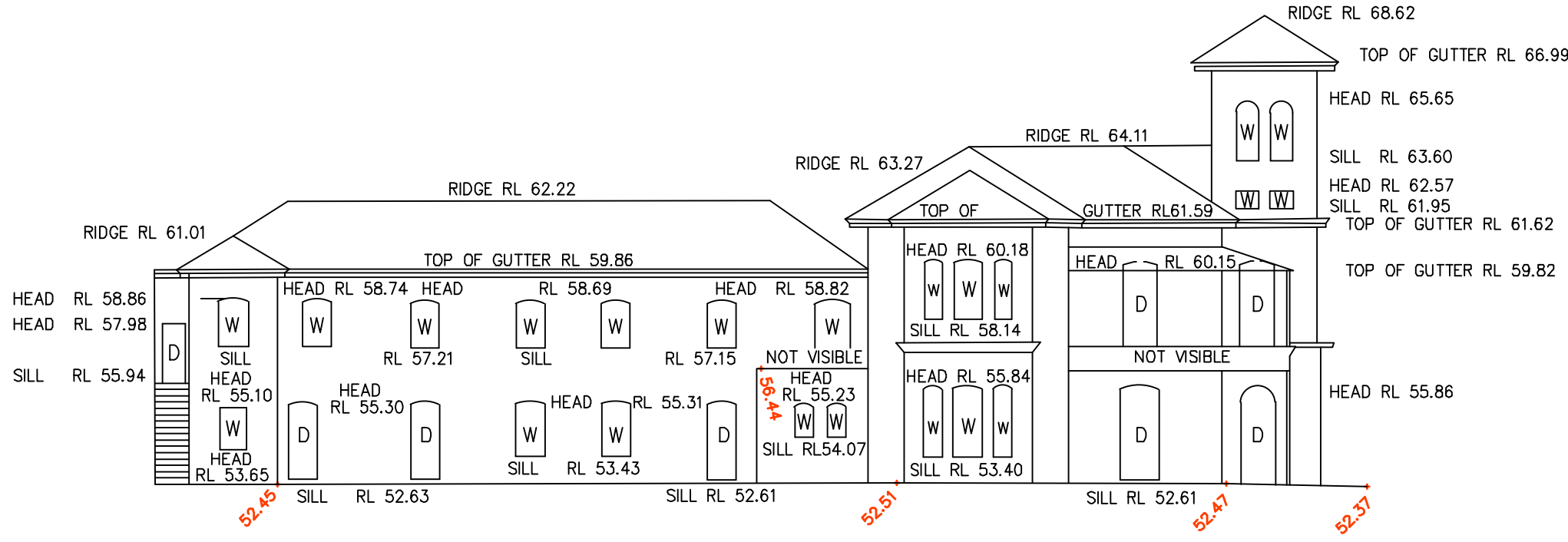


PART OF NORTHERN ELEVATION OF GLENTWORTH HOUSE

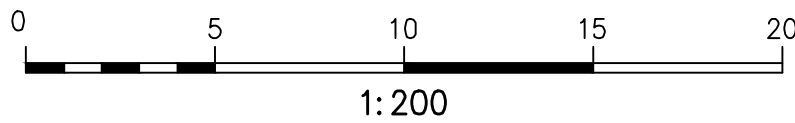
W - DENOTES WINDOW
D - DENOTES DOOR



PART OF EASTERN ELEVATION OF GLENTWORTH HOUSE



PART OF SOUTHERN ELEVATION OF GLENTWORTH HOUSE



THIS IS THE PLAN
REFERRED TO IN MY
LETTER
DATED: -
.....
Registered
Surveyor NSW

DATE OF SURVEY:
19-09-06
DATUM:
AHD
SITE AREA:
-

LOCKLEY
LAND TITLE
SOLUTIONS
19 Massey Street
Gladesville NSW 2111
PO BOX 400
Gladesville NSW 1675
ph:(02) 9879 6077
fax:(02) 9879 7143

DATE : 20/03/09
AMENDMENT : ELEVATIONS ADDED - REF : 31897
CLIENT: AEVUM LIMITED
PLAN OF DETAIL AND LEVELS OVER PART OF
"CARDINAL FREEMAN RETIREMENT VILLAGE"
No.137 VICTORIA STREET, ASHFIELD, BEING LOT
202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN
DP 717644 AND LOT 4 IN DP 717062.
LGA: ASHFIELD

ORIGINAL PLAN SIZE:
A1 1:200
PROJECT No:
29838
JOB REFERENCE:
29838DT-D
SHEET
OF 11 SHEETS

SCHEDULE OF STORMWATER PITS

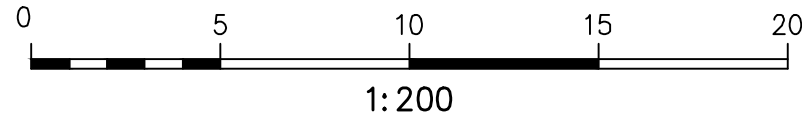
PIT1	IL PIT 48.54 INV IN 48.57 #100 INV OUT 48.54 #150	PIT18	IL PIT 52.07 INV IN 52.07 #150 INV OUT 52.07 #150
PIT2	IL PIT 48.44 INV IN 48.44 #150 INV IN 48.75 #225 INV OUT 48.43 #300	PIT19	IL PIT 50.39 INV IN 50.96 #150 INV IN 50.85 #100 INV OUT 50.38 #150
PIT3	IL PIT 48.56 INV IN 48.66 #100 INV IN 48.66 #100 INV OUT 48.55 #100	PIT20	IL PIT 50.79 INV IN 50.92 #100 INV IN 51.56 #150 INV IN 50.85 #225 INV OUT 50.79 #225
PIT4	IL PIT 48.08 INV IN 49.19 #100 INV IN 49.05 #150 INV IN 48.33 #150 INV OUT 48.09 #300	PIT21	IL PIT 51.09 INV OUT 51.08 #100
PIT5	COVERED S/WATER PIT NO ACCESS	PIT22	IL PIT 51.08 INV IN 51.15 #100 INV OUT 51.06 #225
PIT6	IL PIT 49.65 INV IN 49.76 #100 INV IN 49.74 #150 INV IN 49.71 #150 INV OUT 49.64 #225	PIT23	PIT FILLED INV OUT 51.28 #100
PIT7	IL PIT 49.99 INV IN 50.04 #100 INV OUT 49.98 #150	PIT24	IL PIT 52.14 (SEDIMENT) FILLED AT BOTTOM INV IN 52.57 #100 INV IN 53.20 #150 INV OUT 52.10 #150
PIT8	IL PIT 49.91 INV IN 50.10 #100 INV OUT 49.90 #150	PIT25	IL PIT 50.91 INV IN 50.98 #100 INV OUT 50.91 #150
PIT9	IL PIT 49.58 INV IN 49.62 #150 INV OUT 49.57 #150	PIT26	PIT FILLED
PIT10	IL PIT 50.49 INV IN 50.51 #100 INV IN 50.84 #225 INV OUT 50.51 #225	PIT27	PIT FILLED
PIT11	IL PIT 51.05 INV IN 51.12 #225 INV OUT 51.10 #225	PIT28	PIT FILLED
PIT12	IL PIT 51.37 INV IN 51.99 #100 INV IN 51.60 #150 INV IN 51.37 #150 INV IN 51.37 #225 INV OUT 51.37 #225	PIT29	PIT FILLED
PIT13	IL PIT 52.30 INV IN 52.46 #100 INV OUT 52.29 #150	PIT30	NO ACCESS INV 53.25 #100 APPROX ONLY
PIT14	IL PIT 51.41 INV IN 52.05 #100 INV IN 51.73 #100 INV IN 51.98 #150 INV IN 51.54 #225 INV OUT 51.41 #225	PIT31	IL PIT 52.19 INV IN 52.72 #100 INV IN 52.27 #100 INV OUT 52.20 #150
PIT15	IL PIT 52.57 INV IN 52.89 #100 INV IN 52.68 #100 INV IN 52.64 #100 INV IN 52.64 #150 INV OUT 52.62 #225	PIT32	IL PIT 51.94 INV IN 52.17 #100 INV IN 51.94 #150 INV OUT 51.94 #150
PIT16	IL PIT 52.75 INV OUT 52.77 #150	PIT33	IL PIT 50.81 INV IN 51.03 #100 INV IN 50.98 #100 INV IN 50.86 #150 INV OUT 50.81 #150
PIT17	IL PIT 52.08 INV IN 52.18 #100 INV OUT 52.09 #150	PIT34	IL PIT 49.28 INV IN 50.12 #150 INV IN 50.06 #225 INV IN 49.59 #225 INV OUT 49.34 #300

NOTES

- THE BOUNDARIES HAVE NOT BEEN MARKED
- ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY
- ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM **SSM 25219 R.L. 44.619** (A.H.D.) CNR OF VICTORIA STREET AND CLISSOLD STREET.
- CONTOUR INTERVAL **0.5m**
- CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
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- 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m

LEGEND

BENCH MARK	▲	SEWER MANHOLE	○ SMH	VEHICLE CROSSING	VC
TELSTRA PIT	TEL	STOP VALVE	SV	PRAM CROSSING	PC
OPTUS PIT	OPTUS	HYDRANT	HYD	GAS	G
LIGHT POLE	LP & ELP	FIRE HYDRANT	FHYD	TELSTRA	T
ELECTRICITY BOX	EL	WATER METER	WM	ELECTRICITY (OVERHEAD)	P
POWER POLE	PP	WATER VALVE	WV	WATER	W
GRATED INLET PIT	GIP	AIR VALVE	AV	STORMWATER	SW
SEWER INSPECTION POINT	SIP	GAS VALVE	GAS	SEWER	S
SEWER VENT	SEV	GAS METER	GM	OPTUS	OP



THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: -

DATE OF SURVEY: 19-09-06

DATUM: AHD

SITE AREA: -

Registered Surveyor NSW

LOCKLEY LAND TITLE SOLUTIONS

19 Massey Street
Gladesville NSW 2111

PO BOX 400
Gladesville NSW 1675

ph:(02) 9879 6077
fax:(02) 9879 7143

DATE: 18/02/10	AMENDMENT : EXTRA DETAIL ADDED - REF : 32694	ORIGINAL PLAN SIZE: A1 1:200
DATE: 23/04/09	AMENDMENT : EXTRA DETAIL ADDED - REF : 31941	PROJECT NO: 29838
DATE: 27/03/09	AMENDMENT : EXTRA DETAIL ADDED - REF : 31897	JOB REFERENCE: 29838DT-D
DATE: 26/11/08	AMENDMENT : EXTRA DETAIL ADDED - REF : 31634	SHEET OF 11 SHEETS
DATE: 4/09/08	AMENDMENT : EXTRA DETAIL ADDED - REF : 31427	
DATE: 21/08/08	AMENDMENT : EXTRA DETAIL ADDED - REF : 31365	
DATE: 23/08/07	AMENDMENT : EXTRA DETAIL ADDED - REF : 30559	
DATE: 24/11/06	AMENDMENT : EXTRA DETAIL ADDED - REF : 29986	

CLIENT: AEYUM LIMITED

PLAN OF DETAIL AND LEVELS OVER PART OF "CARDINAL FREEMAN RETIREMENT VILLAGE" No.137 VICTORIA STREET, ASHFIELD, BEING LOT 202 IN DP 702246, LOT 1 IN DP 615275, LOT 7 IN DP 717644 AND LOT 4 IN DP 717062.

LGA: ASHFIELD