

5

INDICATIVE DRAWINGS
BUILT FORM PRINCIPLES
URBAN DESIGN CONTROLS

Introduction to Indicative Drawings, Built Form Principles + Urban Design Controls

This Chapter provides:

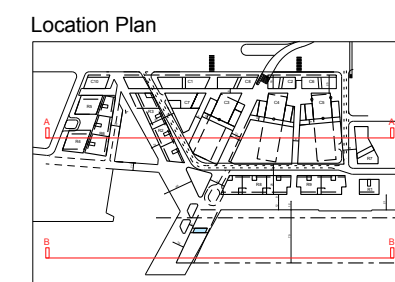
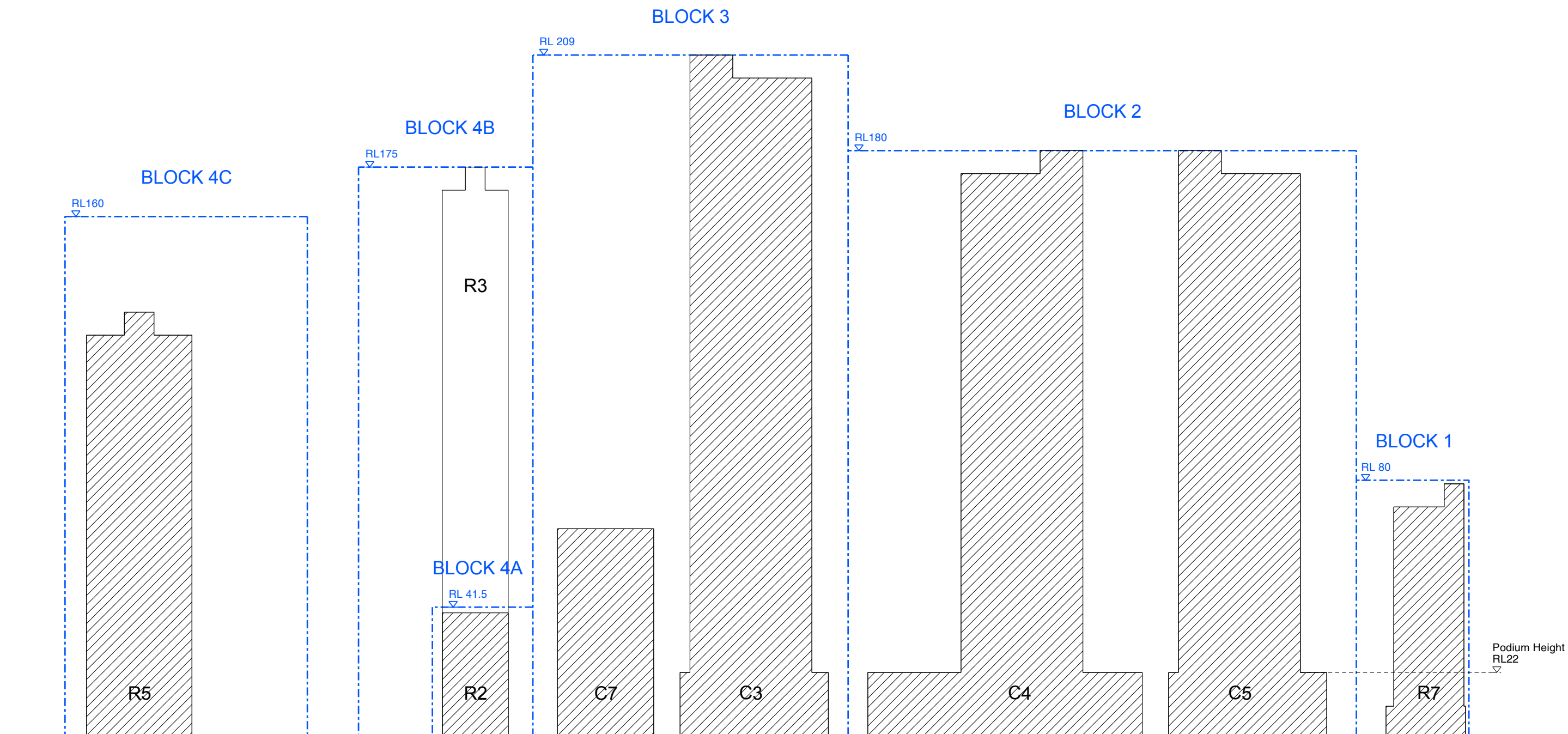
- Indicative Plans and Sections which have informed the new parameters for the proposed maximum height, maximum GFA and zoning; and
- New Built Form Principles and Performance Based Urban Design Controls to guide the built form and allow flexibility for the design of individual buildings and spaces, within the certainty of a structured framework.

Notes:
Drawings are depictions of indicative built form only

INDICATIVE PLANS & SECTIONS

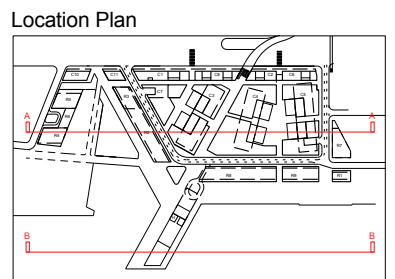
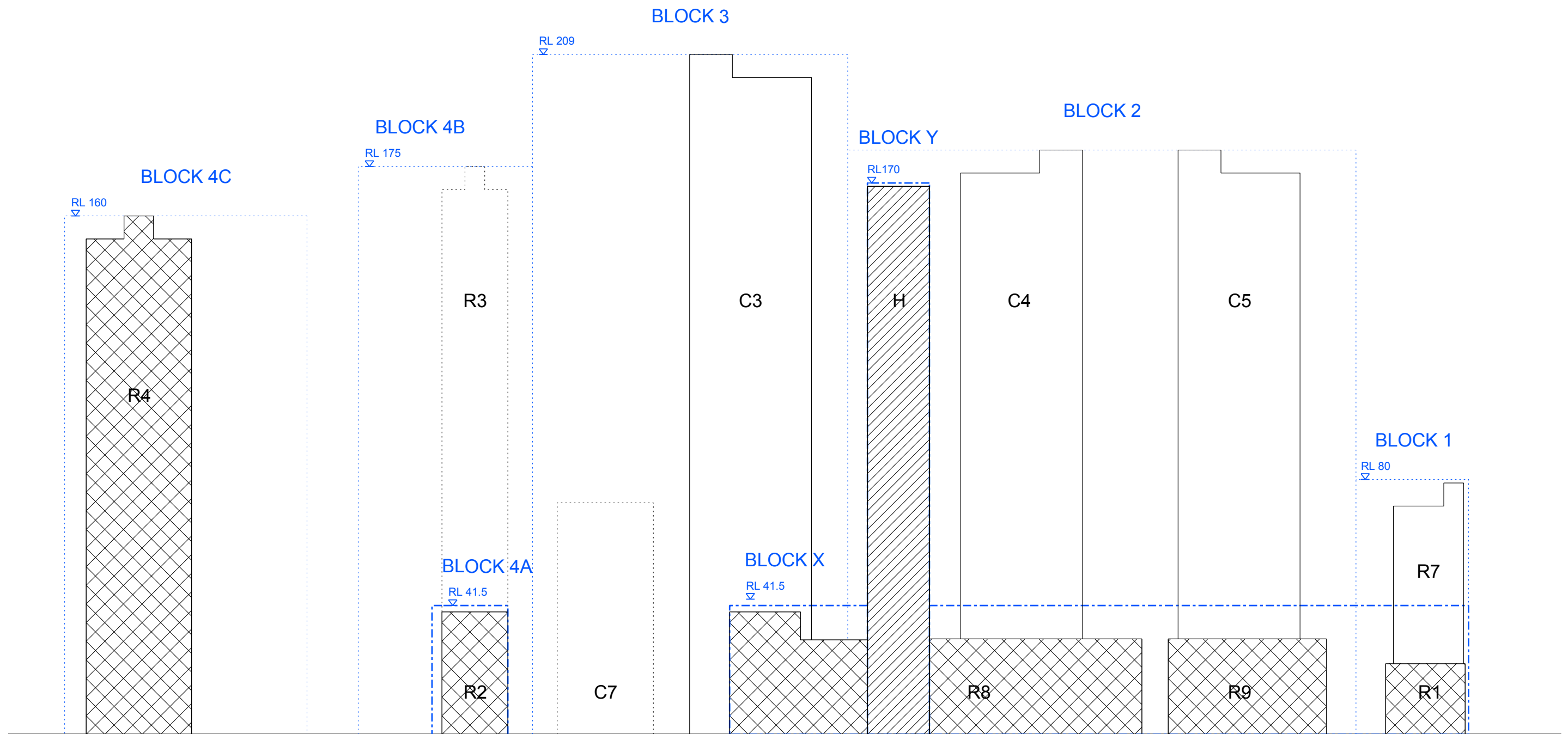
Area Disclaimer

Areas quoted have been measured from plans produced at Concept stage of the design and are approximate and illustrative only. Further development of the design, measurement and construction tolerances and/or further client/tenant requests will inevitably result in changes to these areas [which could involve significant reductions] and RSHP accept no legal responsibility for any decision, commercial or otherwise, made on the basis of these areas.



Scale: 1:1250 @ A3

Barangaroo South – Indicative Maximum Height Section AA

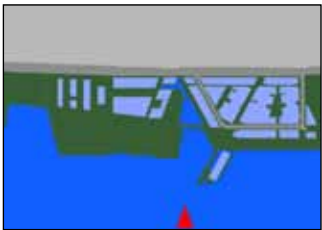


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Barangaroo South – Indicative Maximum Height Section BB

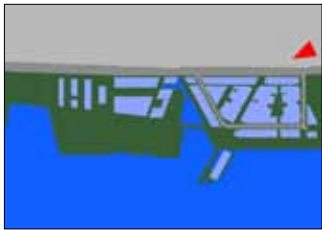
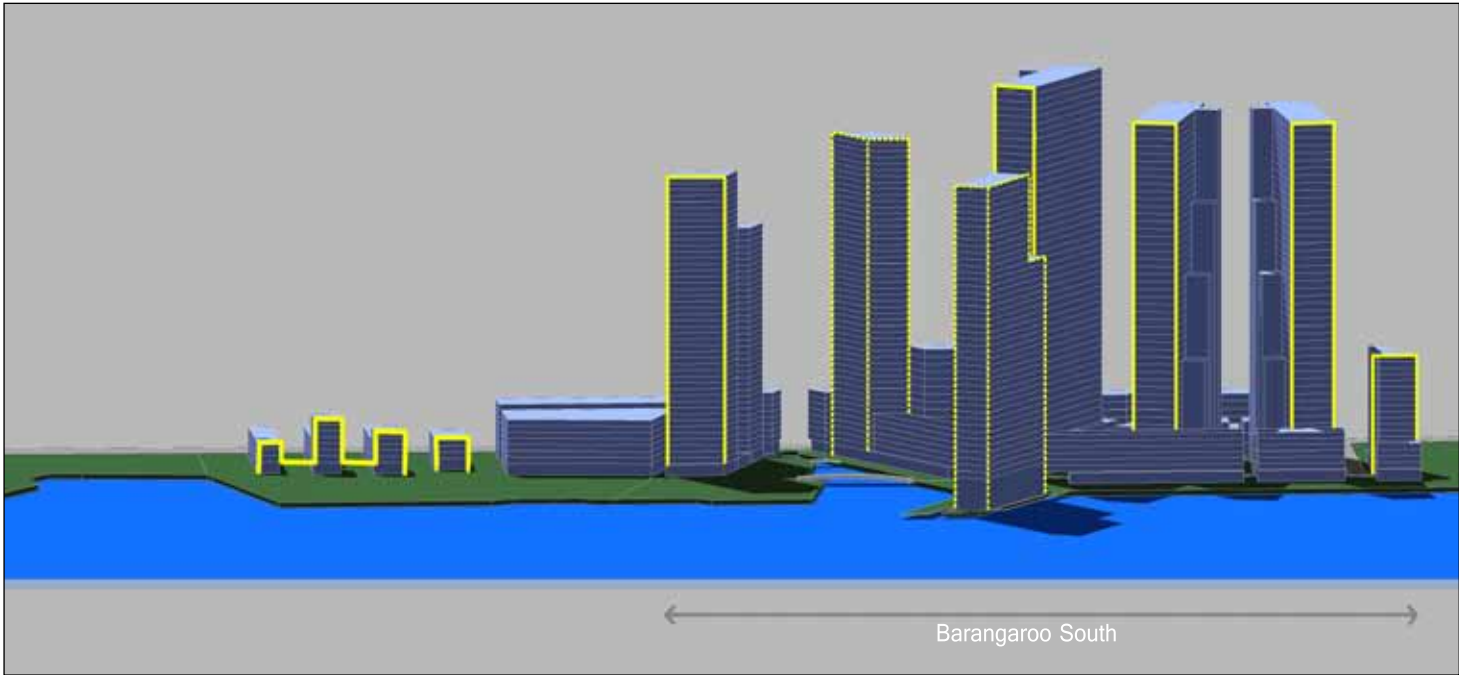
BUILT FORM PRINCIPLES

Built Form Principles



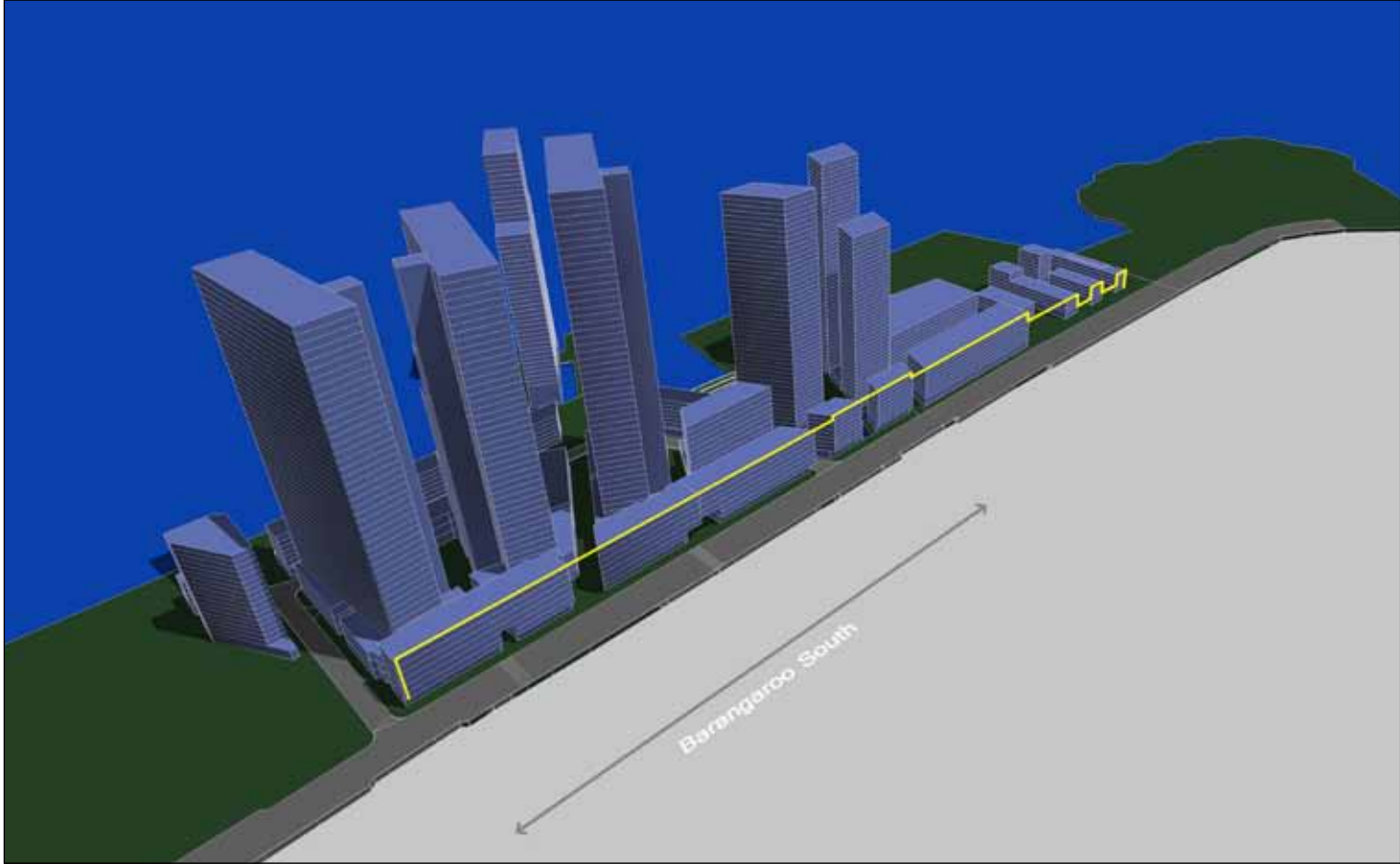
1. City's New Western Façade

To create an integrated new western frontage to the city centre, the slender ends of buildings (above podium level) are to be oriented to the waterfront to define an open silhouette.

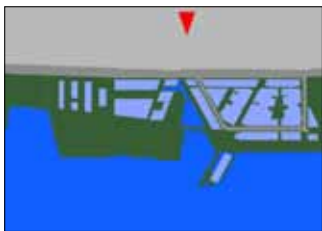


2. Hickson Road as a Boulevard

To promote the scale of Hickson Road as a grand boulevard, buildings are to provide a consistent street wall and form to Hickson Road and use a palette of consistent and natural materials that are complementary to the sandstone nature of the headland.

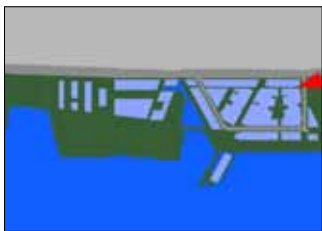


Built Form Principles



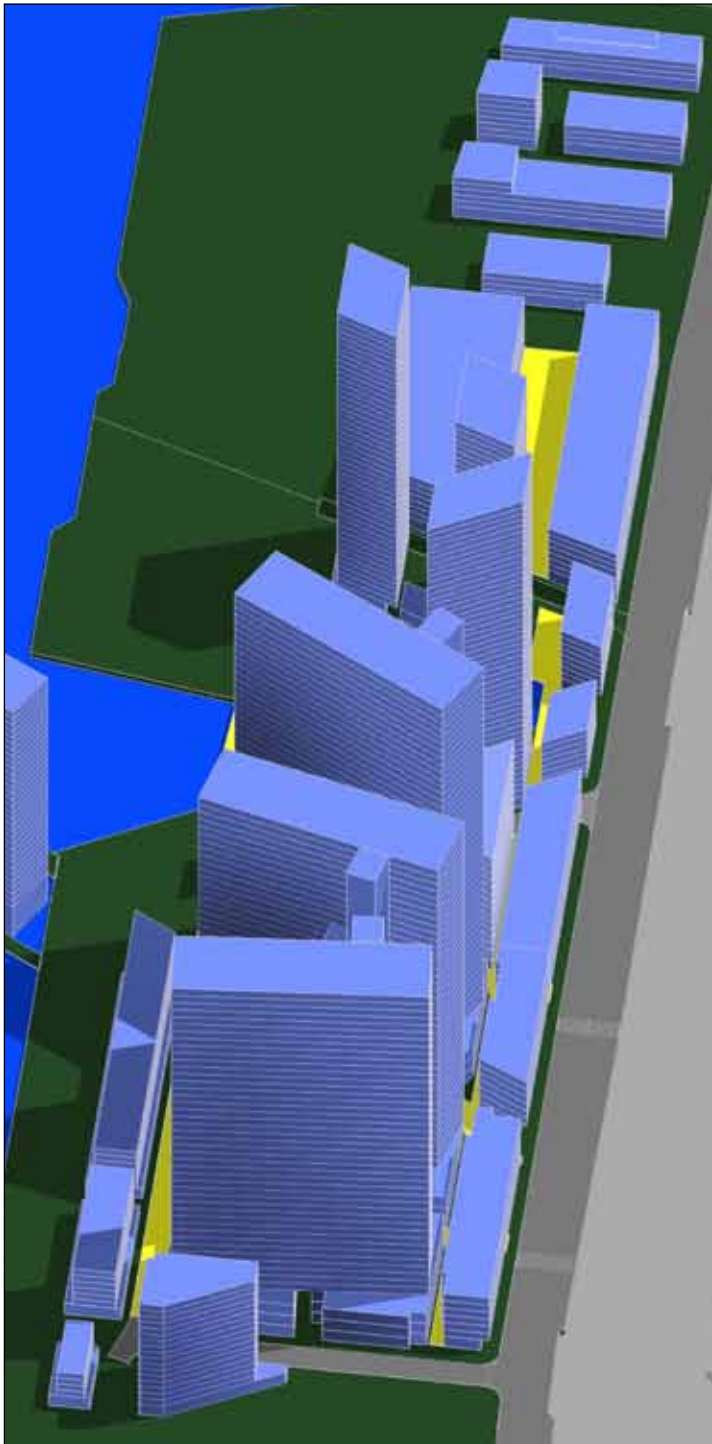
3. Buildings to Define Streets

To define the public space of the street, all building façades are to be set to the street alignment with respect to the differing characters, scales and activation of the streets.

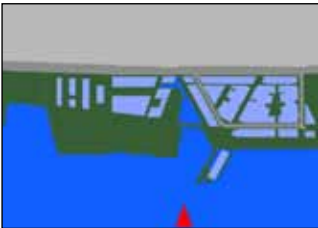


4. North South Pedestrian Connection

To provide for greater pedestrian permeability through the blocks (north -south and east-west) which relate to pedestrian desire lines. On Blocks 2 to 4 a continuous mid-block pedestrian connection at ground level which is not less that 4m wide and not less than 50% open to the sky.

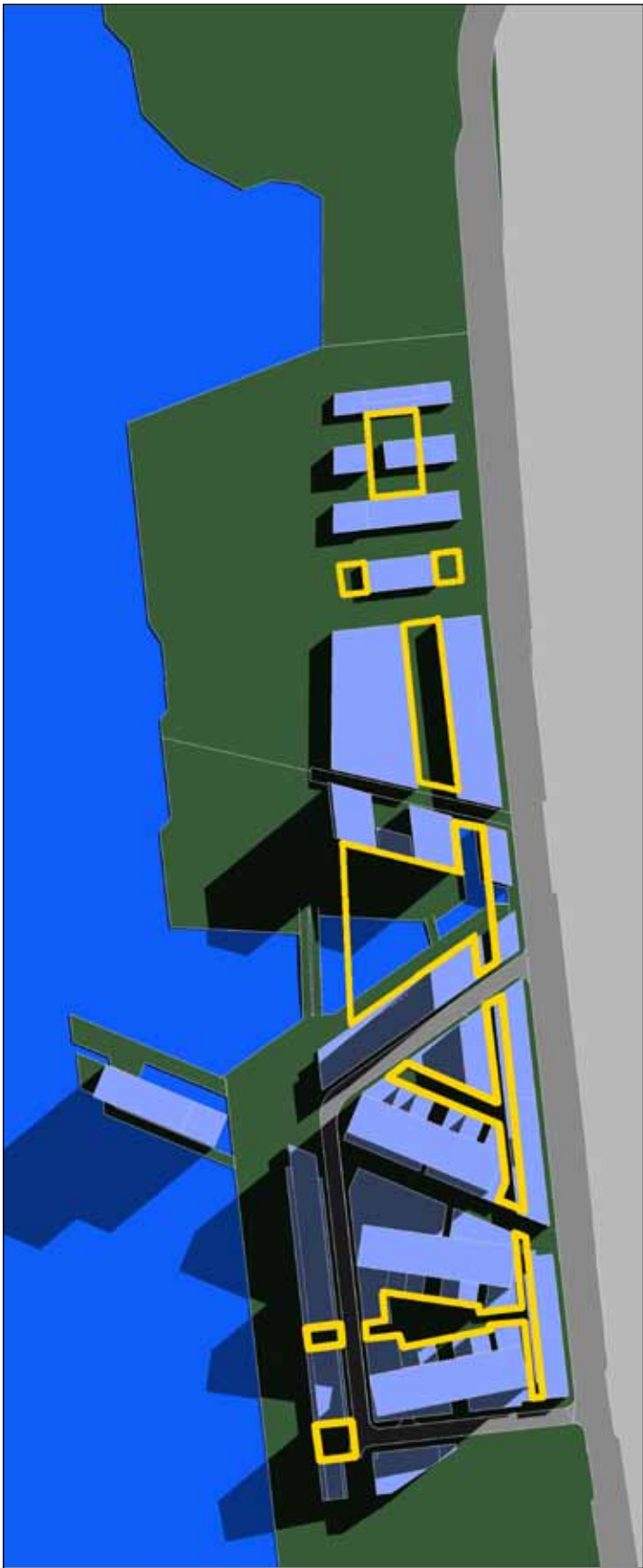
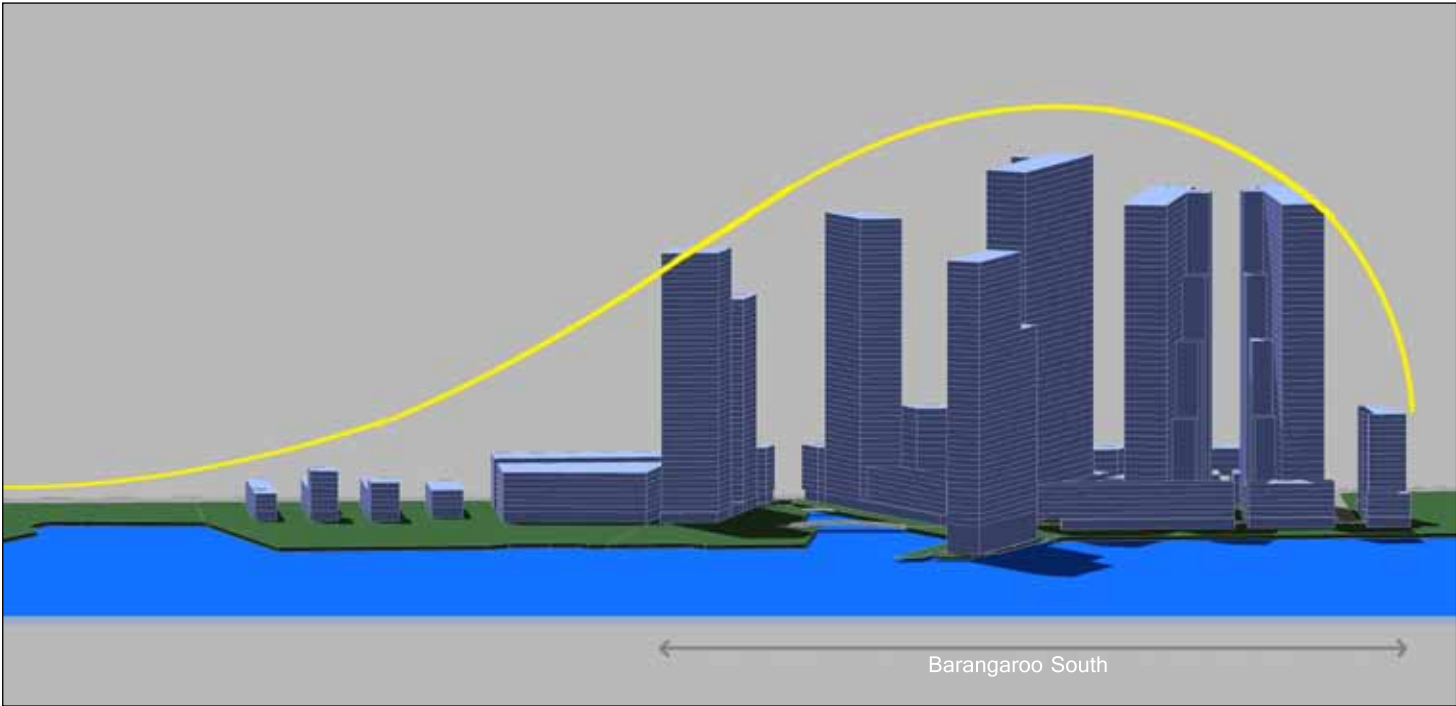


Built Form Principles



5. Tapering Built Form

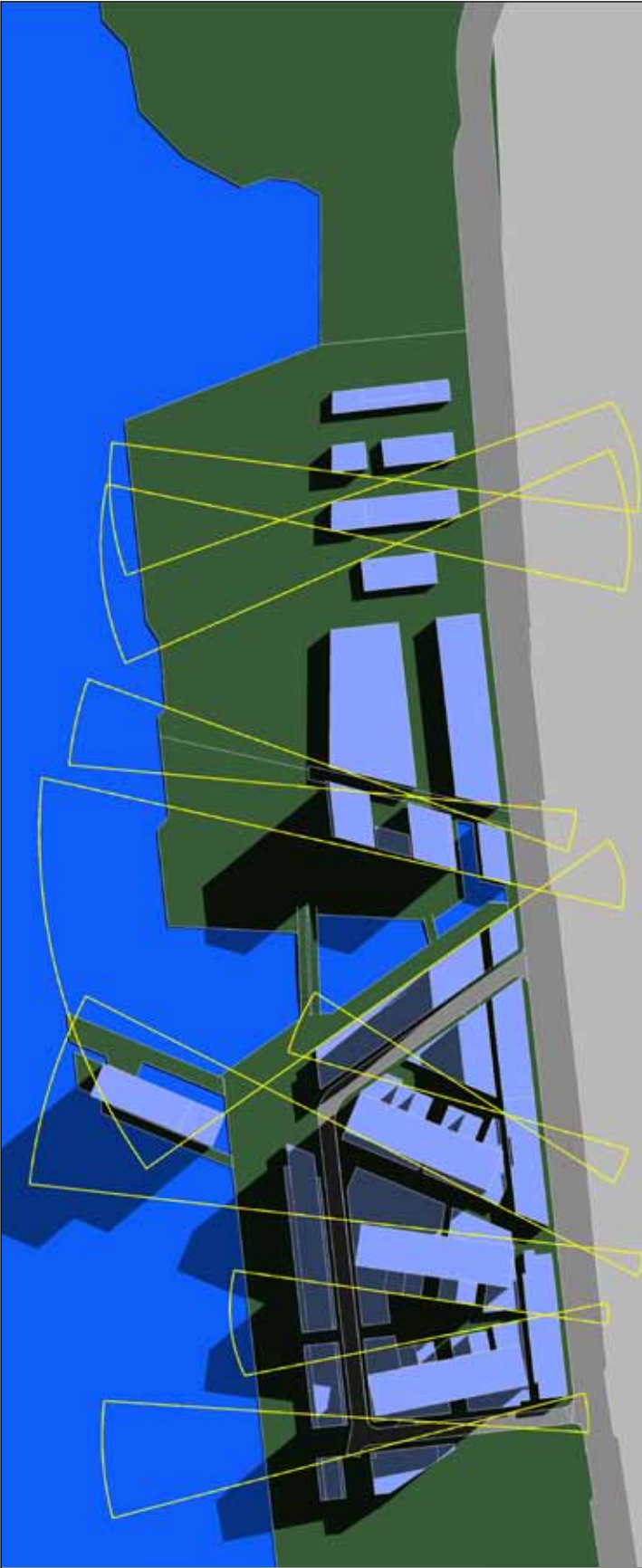
To continue a built form dialogue with the adjoining city, building heights across the site are in keeping with the rest of the city, with the highest form at the centre of the scheme.



6. Open Space Within Blocks

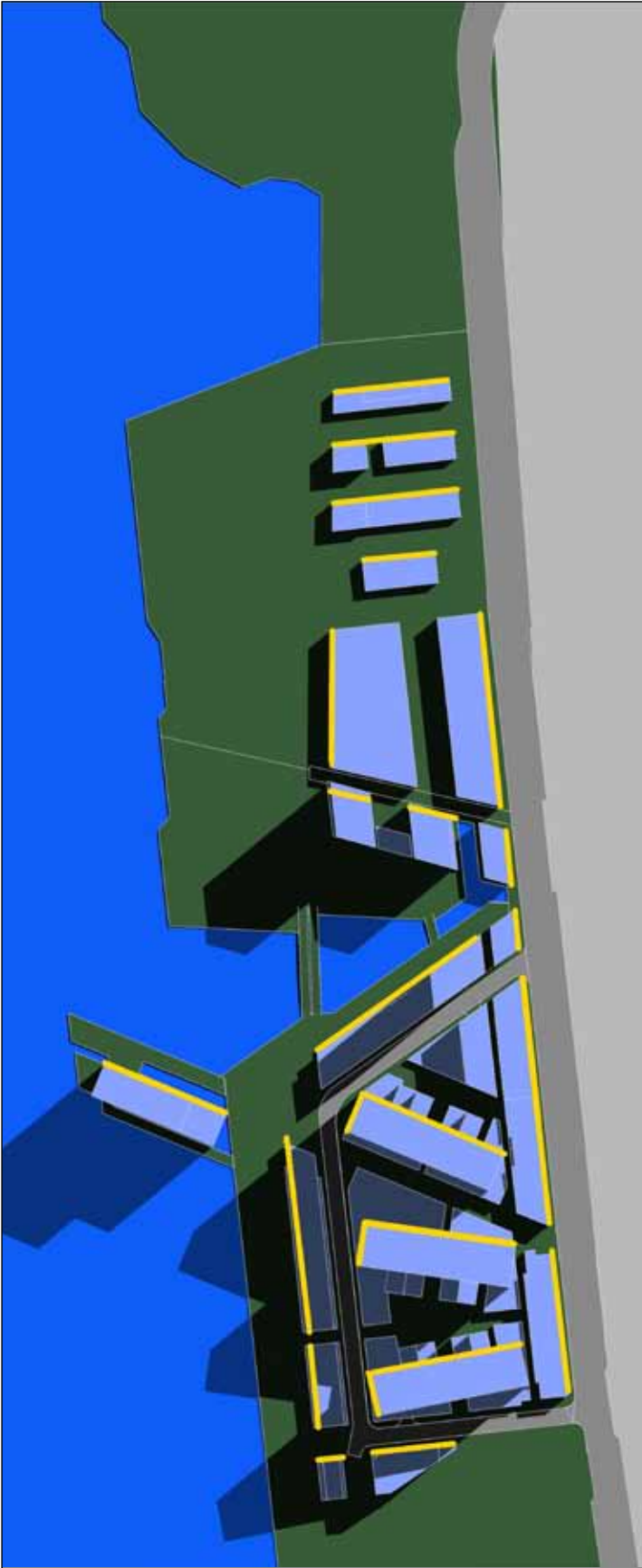
To create hollow blocks permeated with open space, courtyards, walkways and gardens, the central band of the accessible podium roof interrelate with the ground plane and intermediate levels.

Built Form Principles



7. View Sharing

To promote the equitable access to views towards the harbour, the built form is to be arranged to define the street corridors and to allow view corridors from the existing private buildings to the east.



8. Orientation of Buildings

To provide optimum orientation and transparency across the site and to create a silhouette of slender towers to Globe Street and the waterfront — the long façades of tower forms are to be oriented to the north. However, on Hickson Road, to define the linear nature of this road, the long façades are to be generally orientated to the east.

URBAN DESIGN CONTROLS

Dimension Disclaimer

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Set of Controls

These Urban Design Controls have been created to guide the future design and development of the buildings within Barangaroo South. They are intended to be used as a tool to achieve design excellence and a built form that is appropriate within the context of the existing CBD and the human scale. To this end, future project applications should aim to demonstrate consistency with these Objectives and Controls. Where a future design varies an applicable Control or Standard, any such variation will need to be adequately explained and considered in the project application documentation.

The Objectives within this document describe what the relevant Control is seeking to achieve. The Standards provide an example of how the Objective may be achieved through the building design. It is not intended that these Standards, Controls or Objectives become a set of prescriptive design requirements. This has specifically been avoided to allow for innovation, creativity and alternative design solutions to be achieved on each of the development blocks. The diagrams included are to provide a visual representation of how the building form, massing and articulation may be translated into the future designs (they are merely design possibilities and should not be viewed prescriptively).

The Urban Design Controls cover a range of urban design elements that are considered to be appropriate to facilitate the overall success of the mixed use development. The Controls are set out below.

Control 1: Building Mass and Location

By defining the diagrammatic building mass within the limits of a development envelope, this Control illustrates a simplified distribution of mass. The applied GFA is assigned to individual or combined Blocks, along with the bulk of mass located within these.

Control 2: Street Wall Establishment

A Street Wall is the part of a building that faces and defines the street. It functions in collaboration with a grouping of buildings to define the pedestrian environment & provide cohesion to the street experience. A well-defined and active sequence of Street Walls will improve the pedestrian experience and help to promote walking by fostering a sense of safety through passive surveillance. The Street Wall should be human in scale and promote interest and variation at eye level.

Control 3: Building Articulation

Articulated building mass adds visual interest, enhances the play of light and shade, along with scale and proportion to the built environment. The importance of this aspect is explained diagrammatically with this Control.

Control 4: Building Legibility

Emphasises the elements of the building by making them legible in the overall built form. The use of architectural components such as structure, building services, cores, circulation, transparency, and the use of colour are all inherent and valid features of a building.

Control 5: Ground Floor Permeability and Accessibility of Public Realm

Physical permeability and public accessibility through and around buildings enhances the quality of the urban space. Visual permeability allows for orientation, placemaking and helps to bring life to public space. It enhances the perception of security by promoting visual connections between spaces and streets for the users.

Control 6: Ensuring Quality of Rooftops

The relationship of the buildings in Barangaroo South will contribute to the skyline and morphology of the city. Key to this is the spacial relationship of the rooftops and the heights between the buildings.

The roof is a buildings' fifth elevation and the quality of its design is important when it is overlooked by the surrounding city. Much of the built-form in Barangraoo South will be overlooked either from within the site or from existing buildings to the east. Plant and roof equipment should be designed & coordinated to have a positive visual impact.

Control 7: Façades

The quality of facades will be driven by: functional requirements, flexibility, environmental sustainability, proportion, transparency, visual appearance, light and shade, colour, materiality and tactile experience.

Control 8: Active Street fronts

Generating activity around the base of the building is imperative to the public domain. Activating uses may include retail, restaurants and services. Accessibility and openness of buildings are highlighted here.

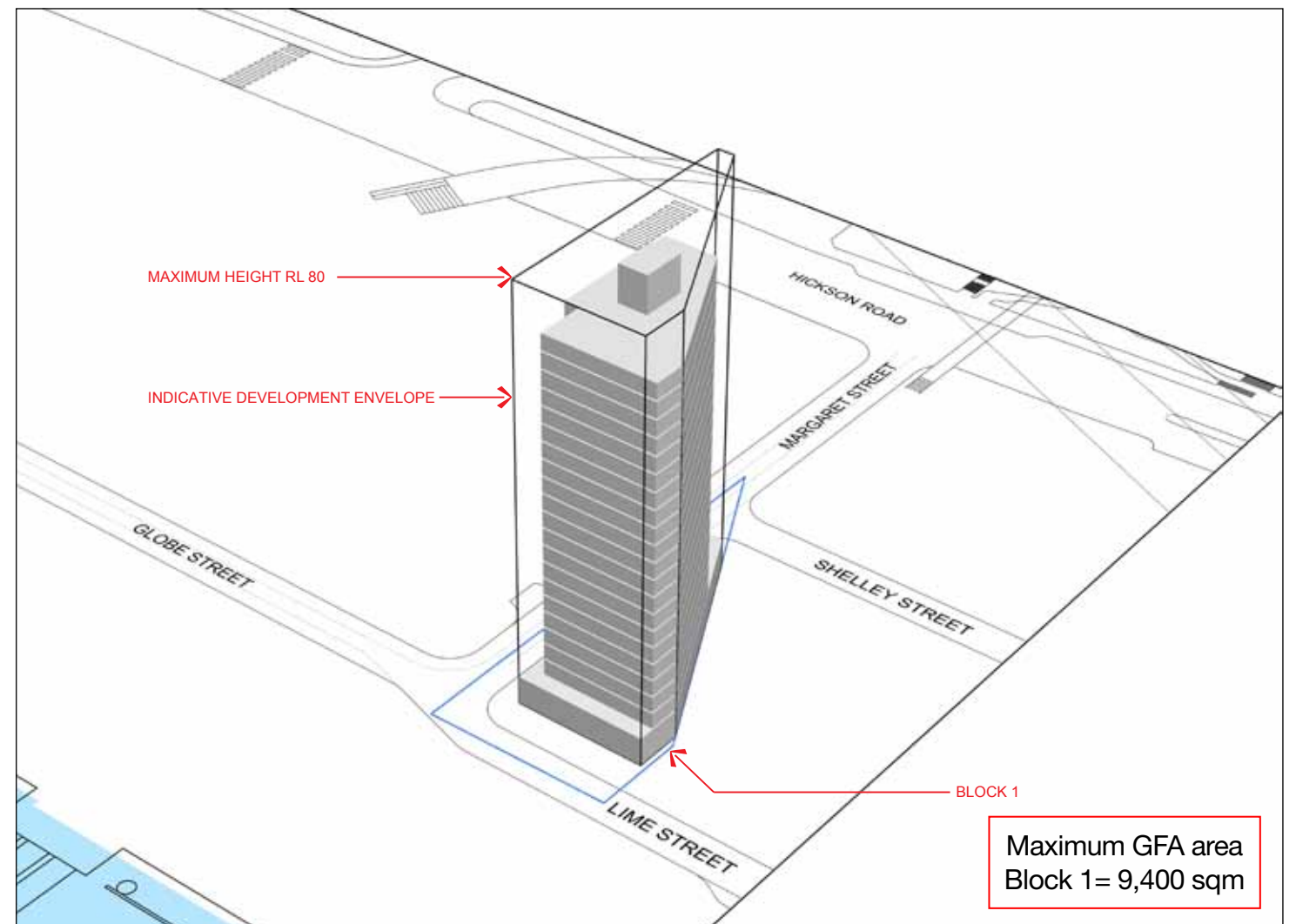
Control 9: Signage

Signage should be integrated into the architecture. The quality of the signage relating to its location, size, materiality and illumination is to be carefully considered.

Control 10: Public Access on Wharf Pier

The importance of public accessibility to the pier around the new landmark building is described with this control.

Urban Design Controls – Block 1



Control 1 Building Mass and Location

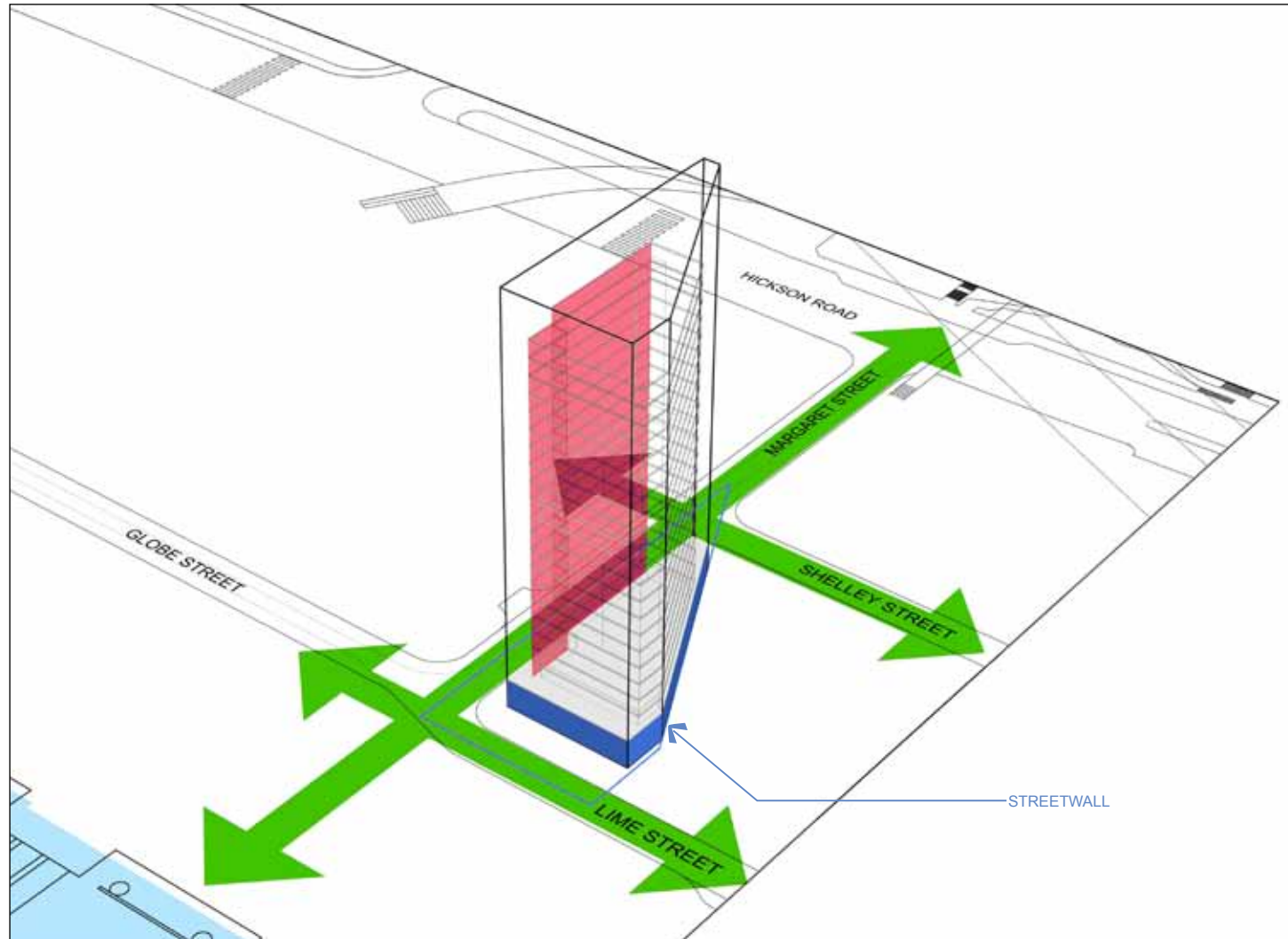
Objectives:

- To ensure building mass is appropriate within the envelope.

Standard:

- Above the Street Wall on western and eastern facades the building form is to have a minimum 3m setback. Balconies are allowed within the setback zone.

Urban Design Controls – Block 1



Control 2 Street Wall Establishment

Objectives:

- Street Wall defines Margaret Street West and the extension of Lime Street.
- To ensure an active Street Wall is established around each Block.

Standard:

- Building form to create a Street Wall with a one storey minimum height for most of the public accessible ground floor facade.
- The podium height is to be no greater than 8m.
- Northern Facade is to be the primary Street Wall.
- A portion of each side of the tower above the podium level is to be parallel to the street.



Control 3 Building Articulation

Objectives:

- To establish an articulated, well proportioned building mass.

Standard:

- To reduce the impact of the building mass, the envelope and floor plates are to be articulated.
- The form is to express sustainability features such as: access to natural light, ventilation and solar shading, etc.



Control 4 Building Legibility

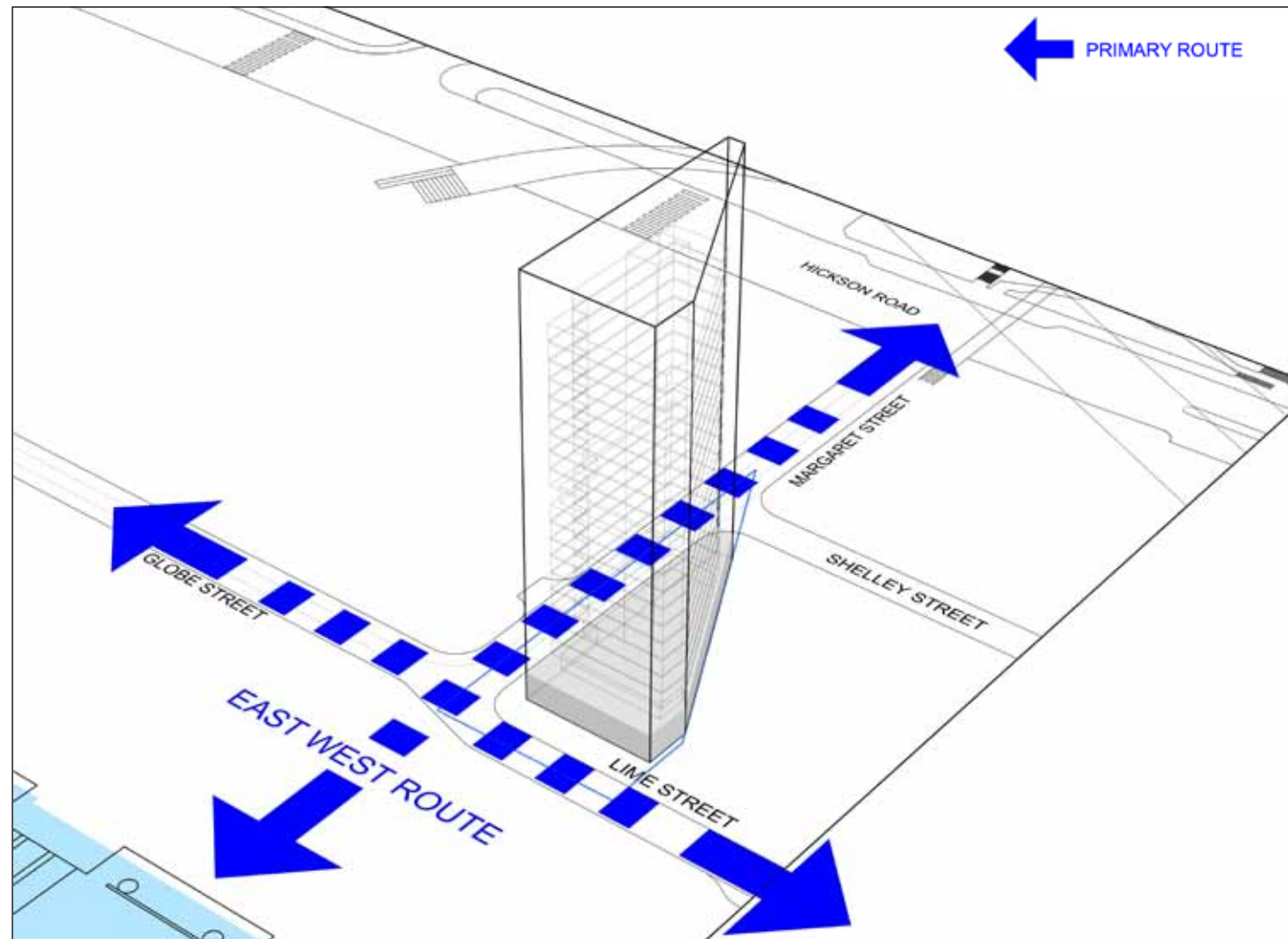
Objectives:

- Constituent elements of the building need to be legible.
- Elements and structure should be legible at the base of the building.

Standard:

- The separate primary components of the building will be expressed and include additional elements such as the balconies.

Urban Design Controls – Block 1



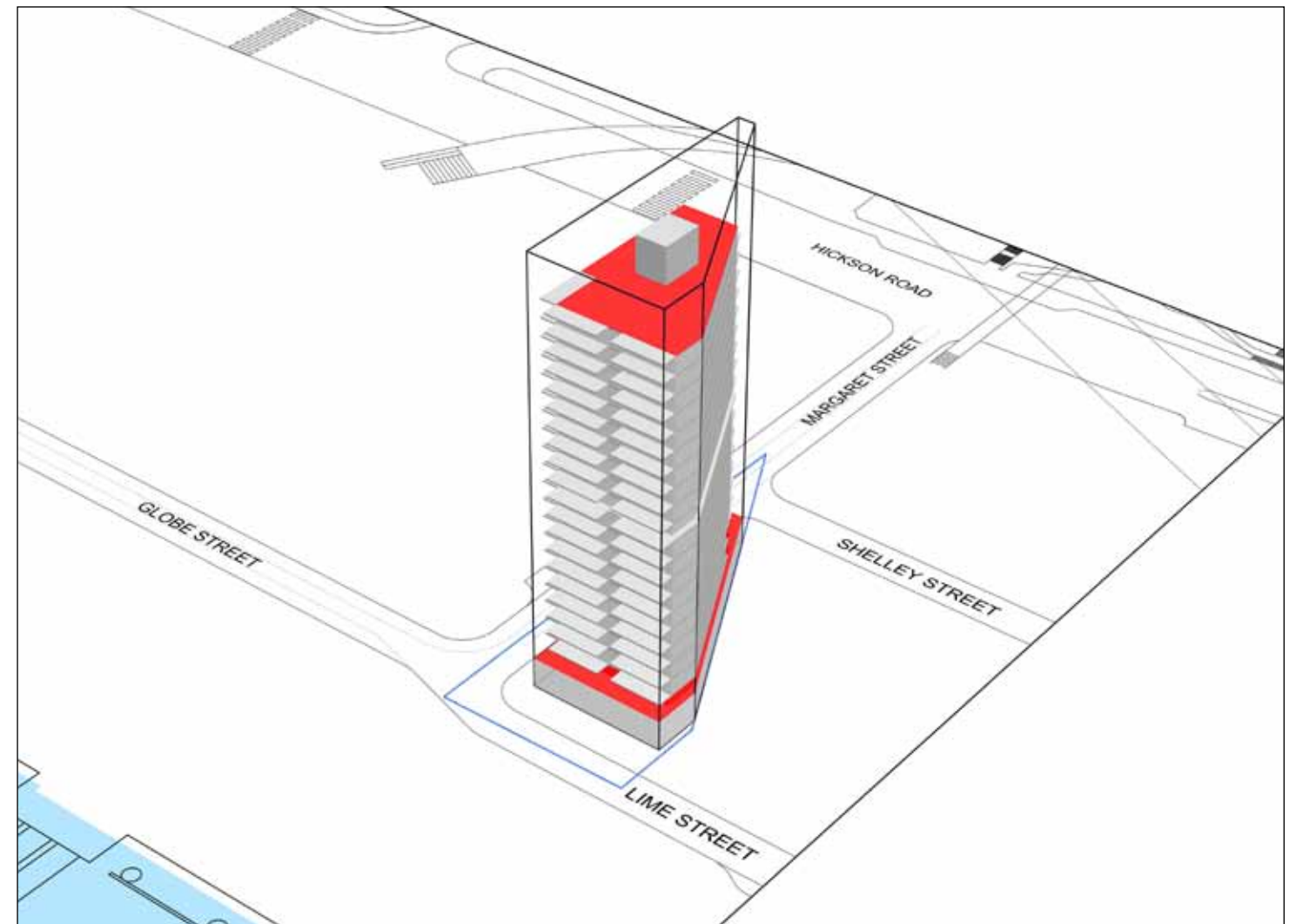
Control 5 Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.

Standard:

- To maintain public access around the block on the Northern, Western and Eastern edges.



Control 6 Ensuring Quality of Rooftops

Objectives:

- The mass at the rooftop shall be articulated and legible.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Roof Design to integrate sustainable features.

Standard:

- Architectural treatment of roof form.
- Architectural treatment of exposed elements such as lift shafts, overruns control rooms and any sustainability features.
- Exposed mechanical equipment is to be avoided.
- Use of good quality materials (ie durable, hardwearing, sustainable).



Control 7 Façades

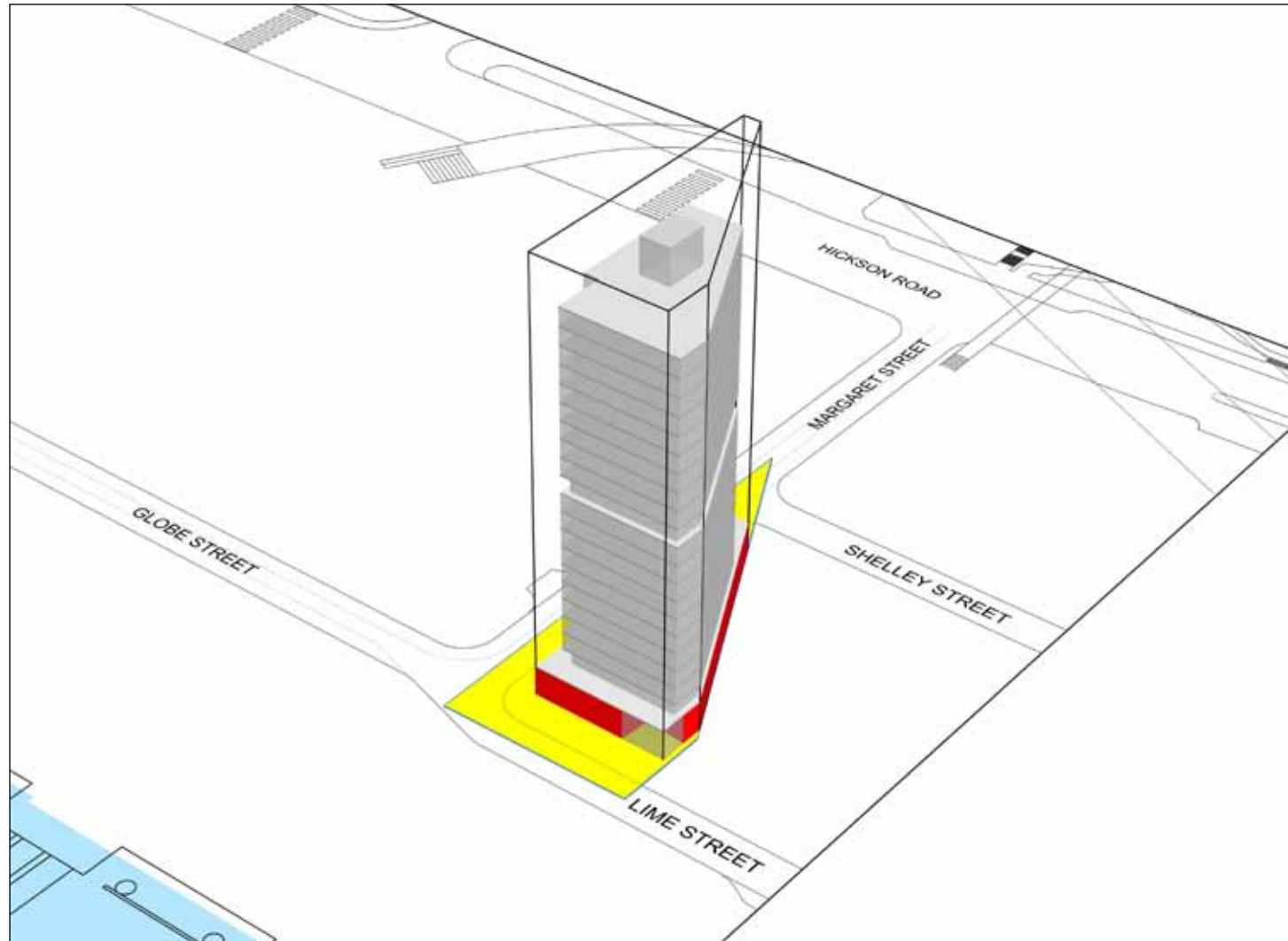
Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building's functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to "carbon neutral" for Barangaroo South.

Standard:

- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium.
- Environmentally sustainable design is to be incorporated on all facades.
- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- Facade components such as external shading shall be used to provide light and shade to the building.

Urban Design Controls – Block 1



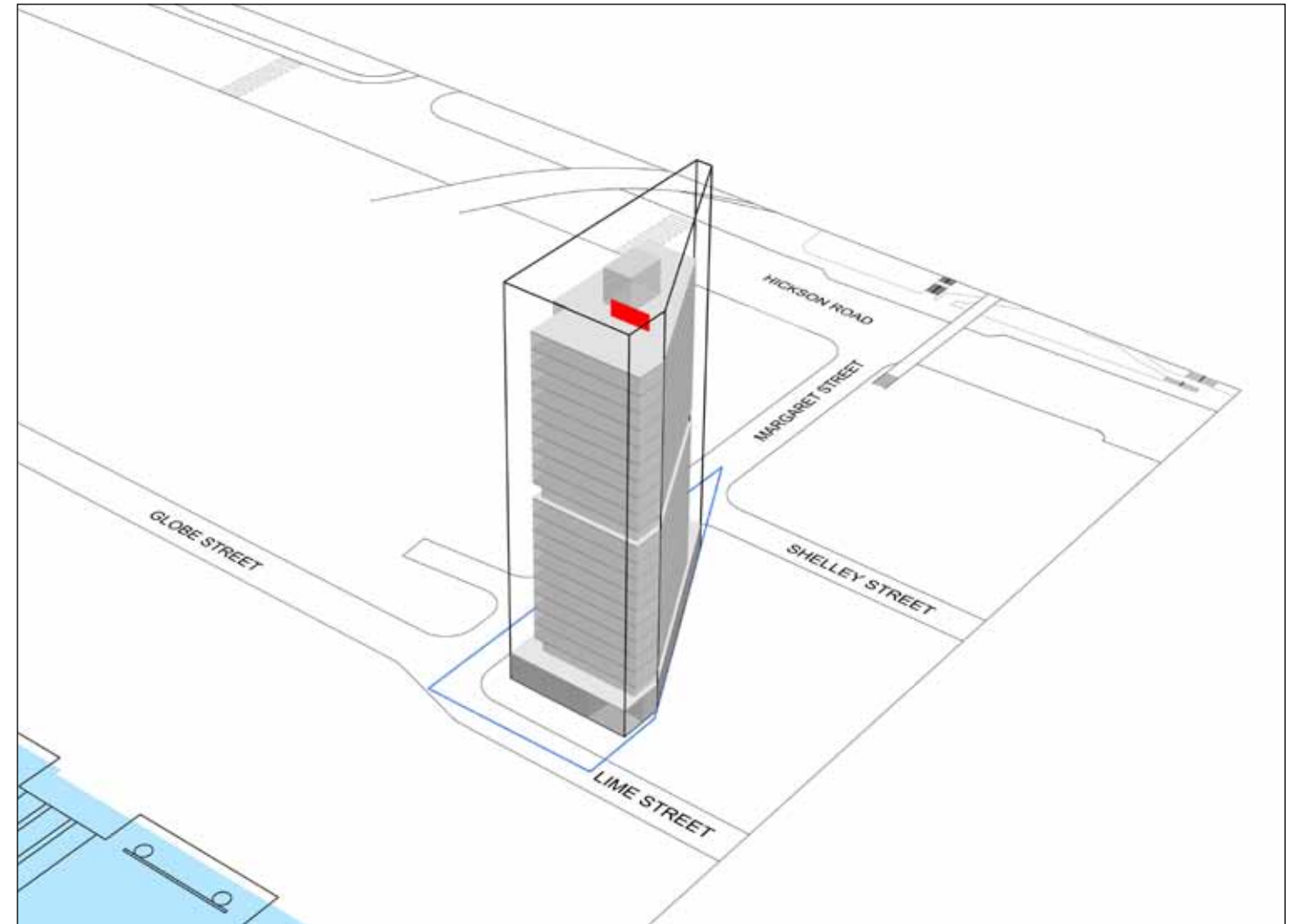
Control 8 Active Streetfronts

Objectives:

- To ensure a vibrant public domain will be created at street level.

Standard:

- At least 60% of the ground level is to be active on the primary Street Wall facades (North & West)
- Building entrances to internal areas such as lobbies, exit ways, service areas and loading docks shall not count towards the 60% requirement.
- Building service areas, parking entrances & loading docks will not be located on Lime Street.



Control 9 Signage

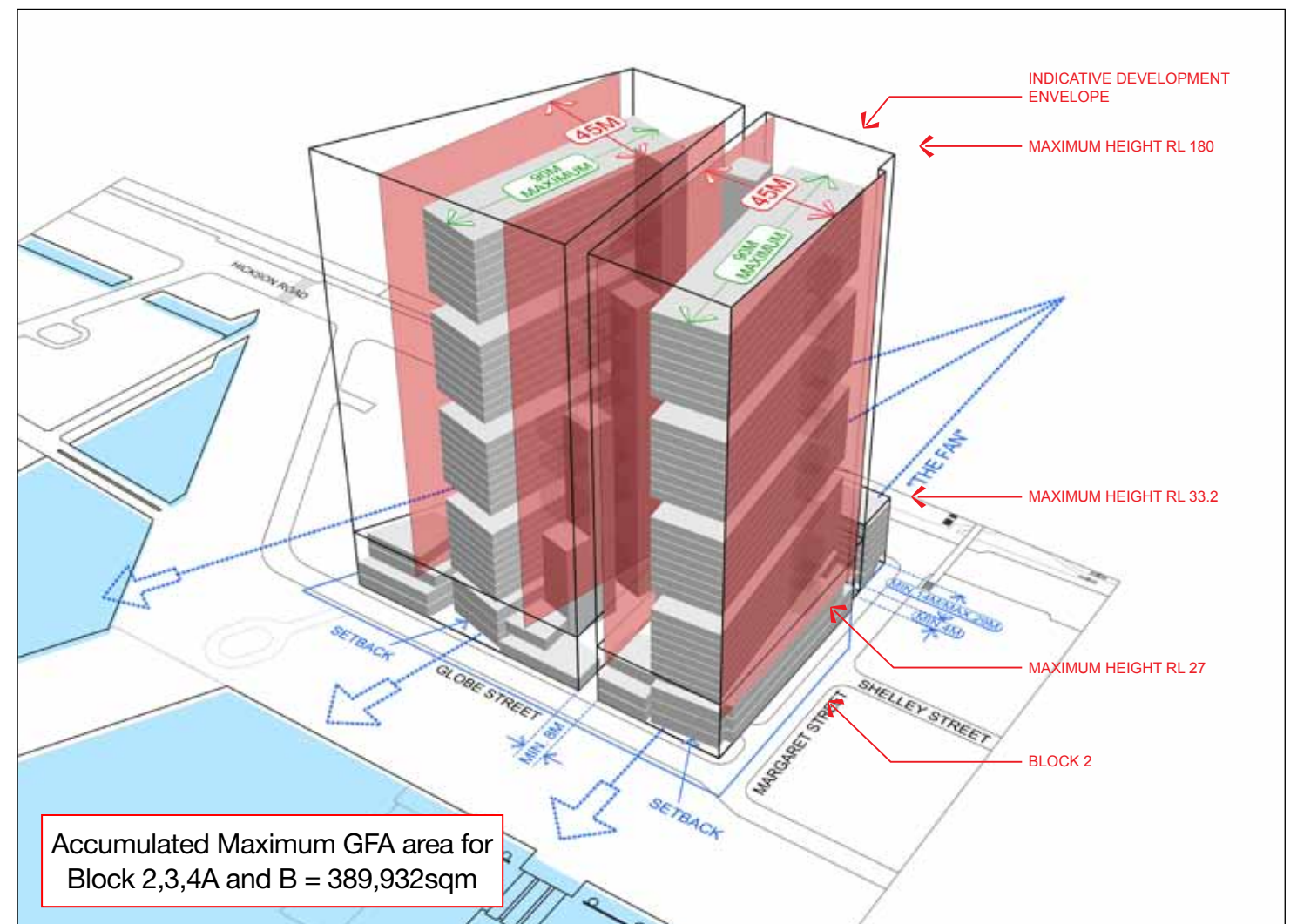
Objectives:

- To ensure there is control over the location, size, appearance and the quality of the signage on the building.

Standard:

- The signage is to be limited to one sign at roof level.
- Signage is not to exceed 15sqm
- Allowance for building name at Street Level, i.e. "Gateway Apartments"
- Illuminated signs will be set back from facades to eliminate glare.

Urban Design Controls – Block 2



Control 1 Building Mass and Location

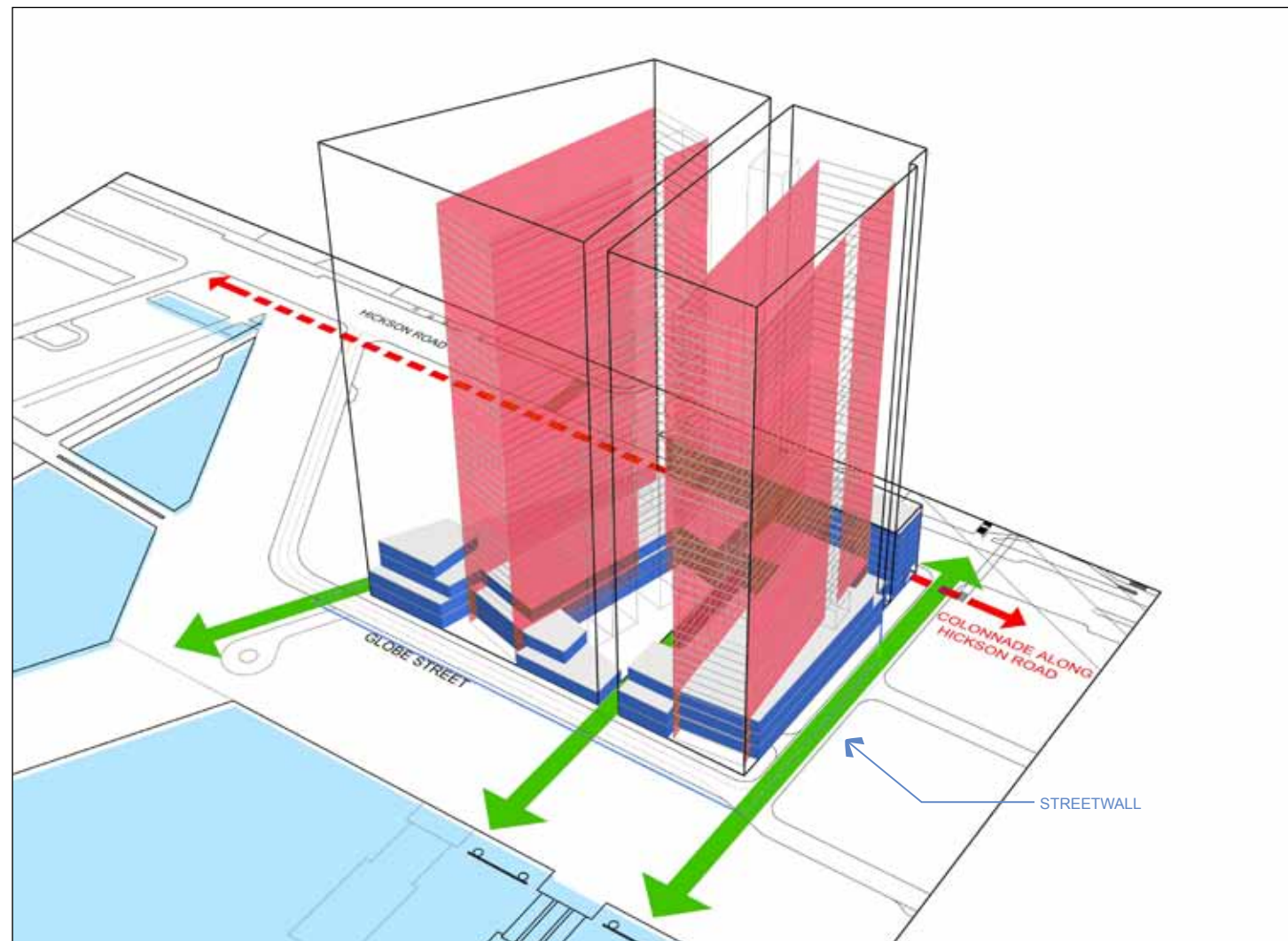
Objectives:

- Adoption of “fanning principle” for siting of buildings.
- To ensure building mass is appropriate within the envelope.

Standard:

- Adopt building control plane from the South and the North at no more than 90m for Tower Form.
- The bulk of building mass will be set back from Hickson Road alignment at a minimum of 14 and a maximum of 29m.
- Tower Form floor plate depth to a maximum of 25m excluding structure and shading devices, with expressed structure allowable outside this dimension.
- Bulk of each Tower Form sits between vertical planes (light blue), which establishes a 45meter zone.
- Podium to be a minimum of 1 storey height and a maximum of RL27.

Urban Design Controls – Block 2



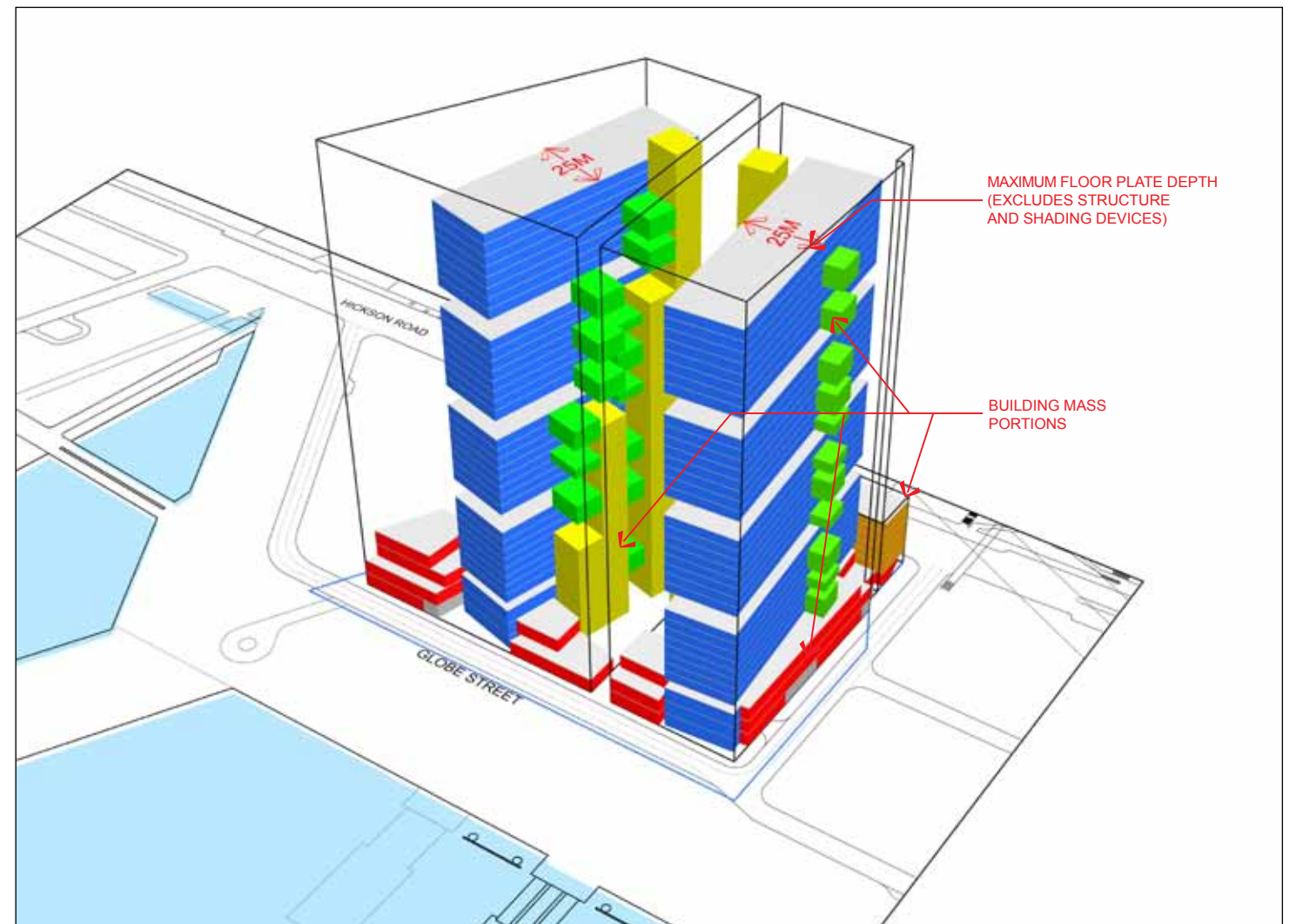
Control 2 Street Wall Establishment

Objectives:

- To establish spaces to articulate and define facades.

Standard:

- To establish a colonnade along Hickson Road.
- Building Form to create a Street Wall with a one storey minimum height for most of the public accessible ground floor facade.
- Building mass to define a Street Wall on Globe Street, Margaret Street West, City Walk and Hickson Road.
- Shelley Lane to be a minimum of 4m in width with a defined eastern edge parallel to Hickson Road at ground level.



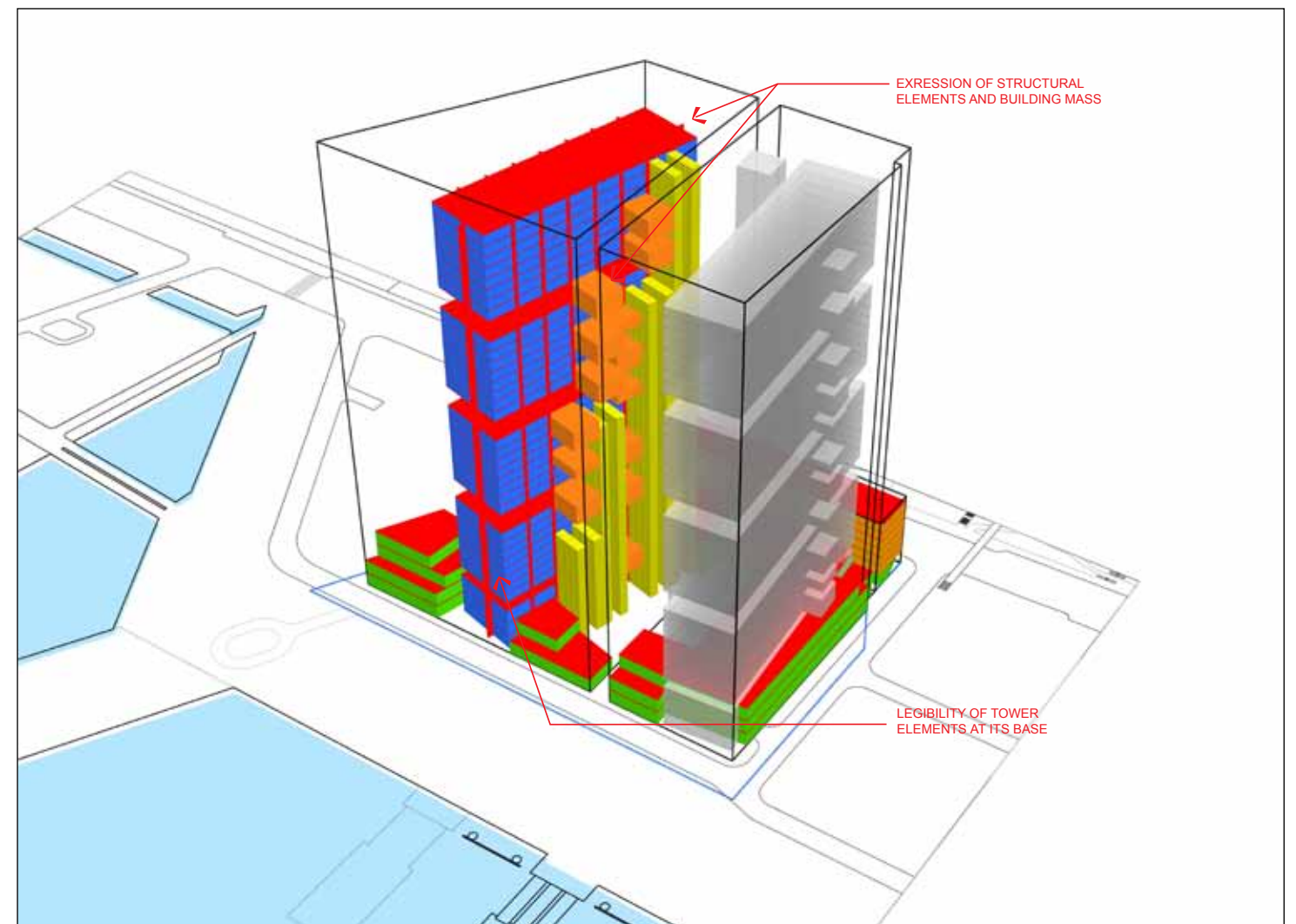
Control 3 Building Articulation

Objectives:

- To establish an articulated, well proportioned building mass.

Standard:

- To reduce the impact of the building's mass, the envelope and floor plates are to be articulated.
- Tower Form to express sustainability features such as access to natural light.



Control 4 Building Legibility

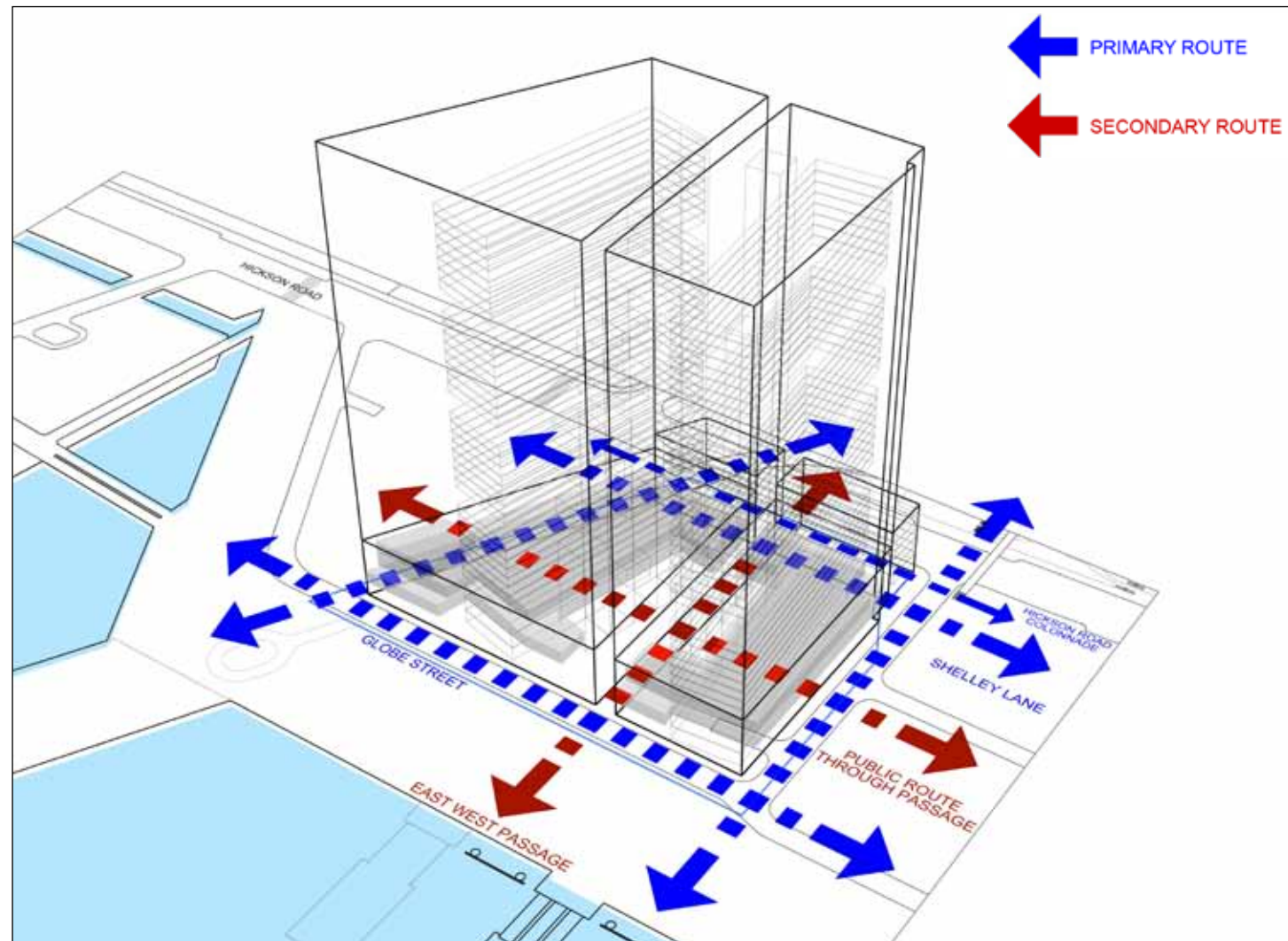
Objectives:

- Constituent elements of the building need to be articulated.
- The building elements and structure should be legible at the base.

Standard:

- The separate primary components of the building will be expressed.
- At least one of the facade of the tower is to extend to the ground plane and be expressed as a separate element from the podium
- The longest facades of the tower forms should not come to ground.

Urban Design Controls – Block 2



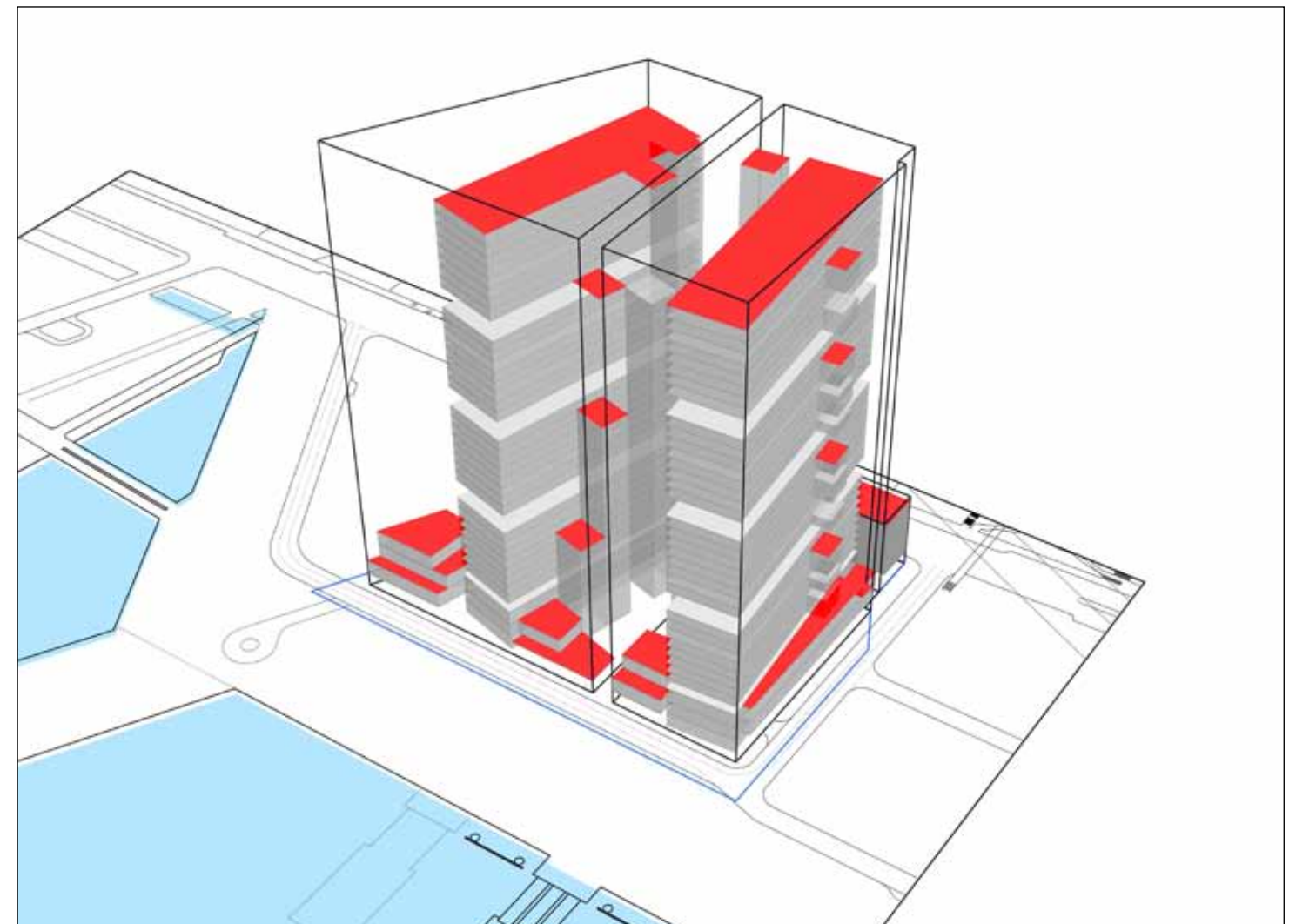
Control 5 Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.
- For security purposes the secondary routes may be closed at certain times.

Standard:

- Public access around the Block is to be maintained on all edges.
- Provide two north to south primary connections including the Hickson Road colonnade
- Provide one east to west and one north to south secondary public access route.
- Shelley Lane must be not less than 50% open to the sky.



Control 6 Ensuring Quality of Rooftops

Objectives:

- The mass at the rooftop shall be articulated and legible.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Roof Design to integrate sustainable features.

Standard:

- Architectural treatment of roof form.
- Lift shafts, overruns and control rooms are to be extruded above the roof line and used to provide architectural articulation to the roof.
- Exposed mechanical equipment is to be avoided.
- Use of good quality materials (ie durable, hardwearing, sustainable).



Control 7 Façades

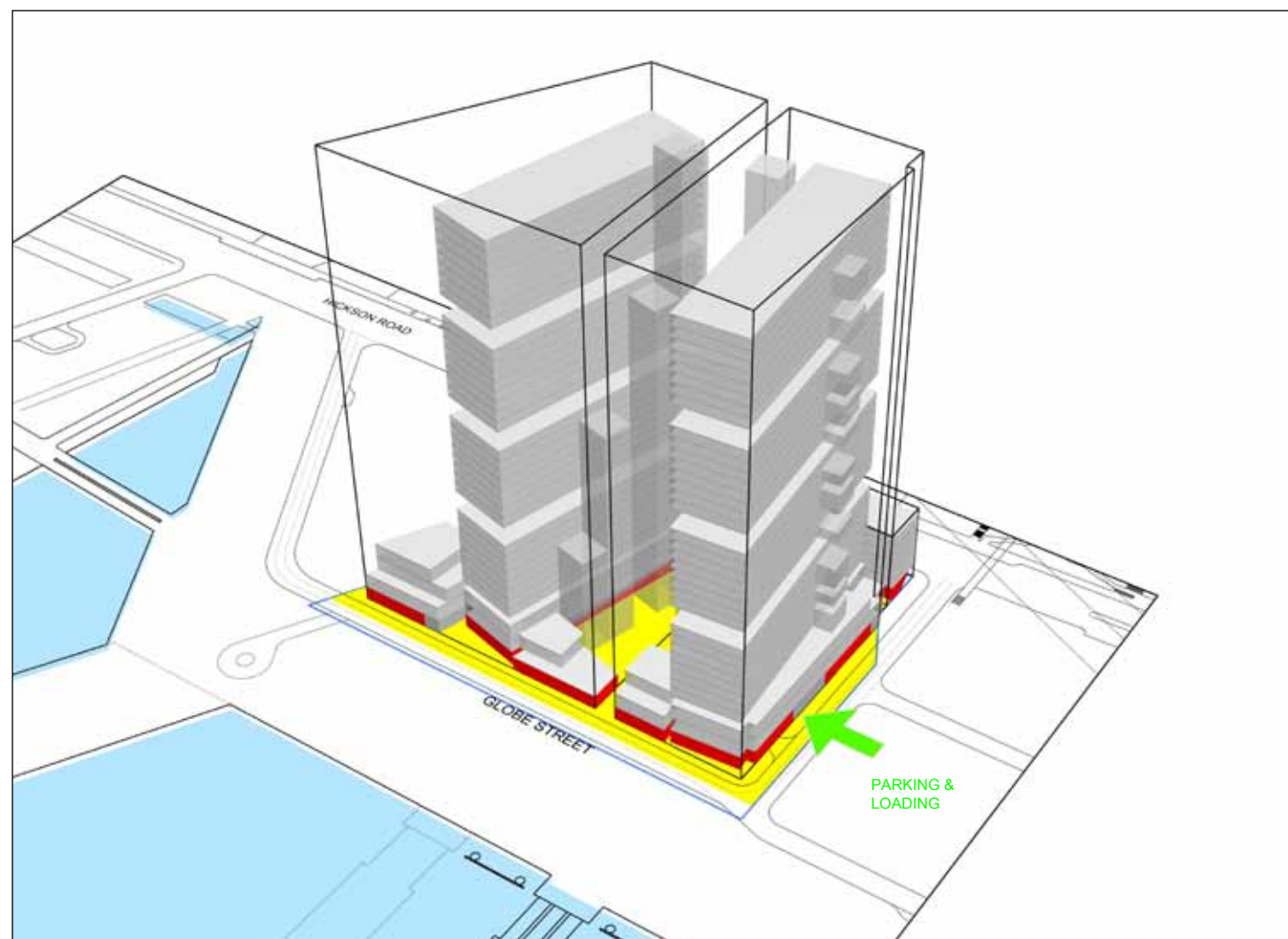
Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building's functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to “carbon neutral” for Barangaroo South.
- The maximum continuous horizontal length of the tower's southern elevation should not exceed 60m.

Standard:

- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium. Environmentally sustainable design is to be incorporated on all facades.
- Facade components such as external shading shall be used to provide light and shade to the building and to consider and reinforce Control 2+3.
- Facades longer than 60m are to be modulated above podium level by a distinctive architectural elements eg as vertical villages, cores or external staircases, in the vertical plane.

Urban Design Controls – Block 2



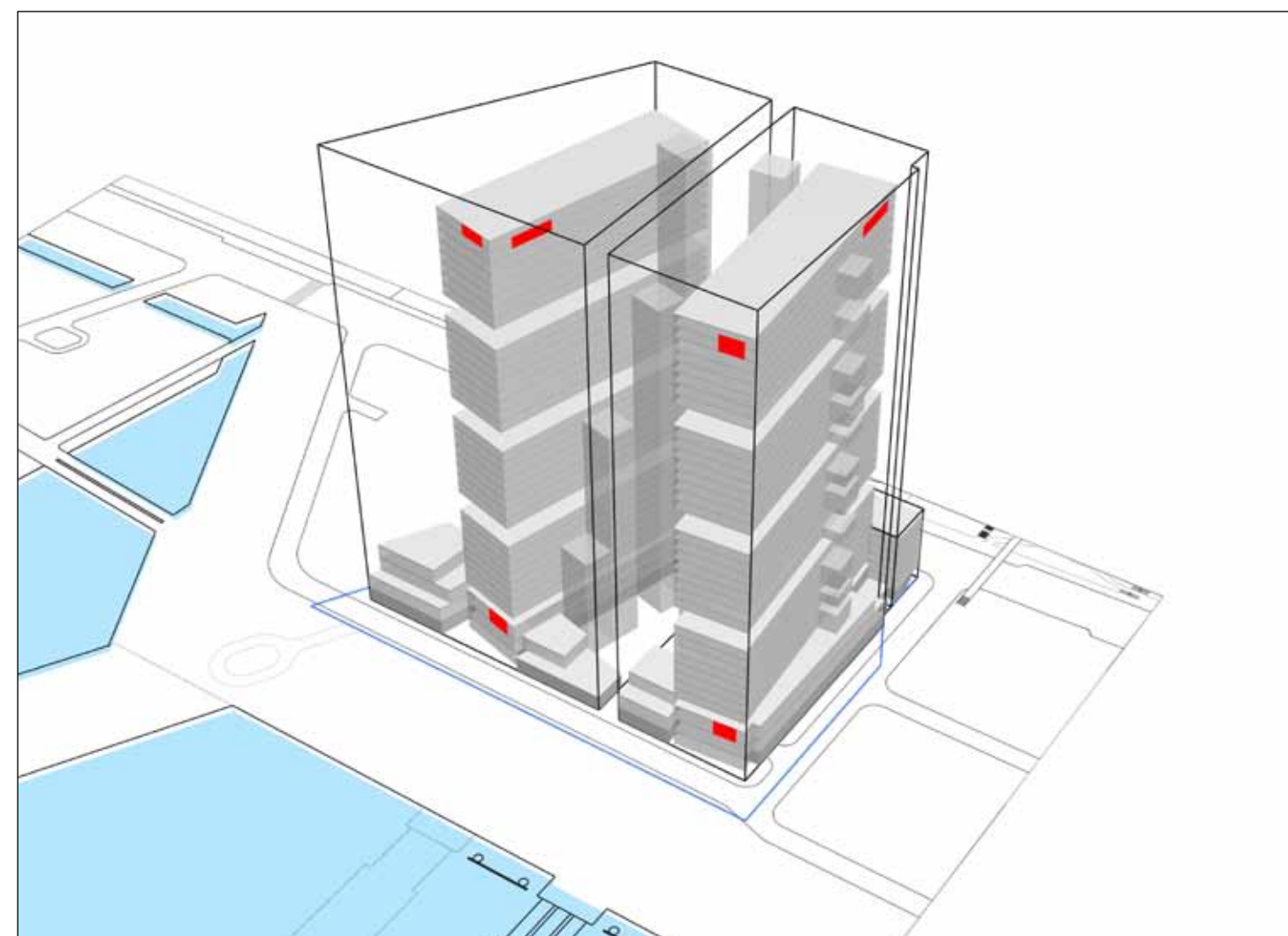
Control 8 Active Streetfronts

Objectives:

- To ensure a vibrant public domain will be created at street level.
- Building service areas and loading docks will not be located on Hickson Road or Globe Street.

Standard:

- At least 60% of the Ground Level is to be active on the primary street wall facades
- Building entrances to internal areas such as office lobbies, exit ways and service areas or loading docks shall not count toward to 60% requirement.
- Building service areas, parking entrances & loading docks will be located on Margaret Street



Control 9 Signage

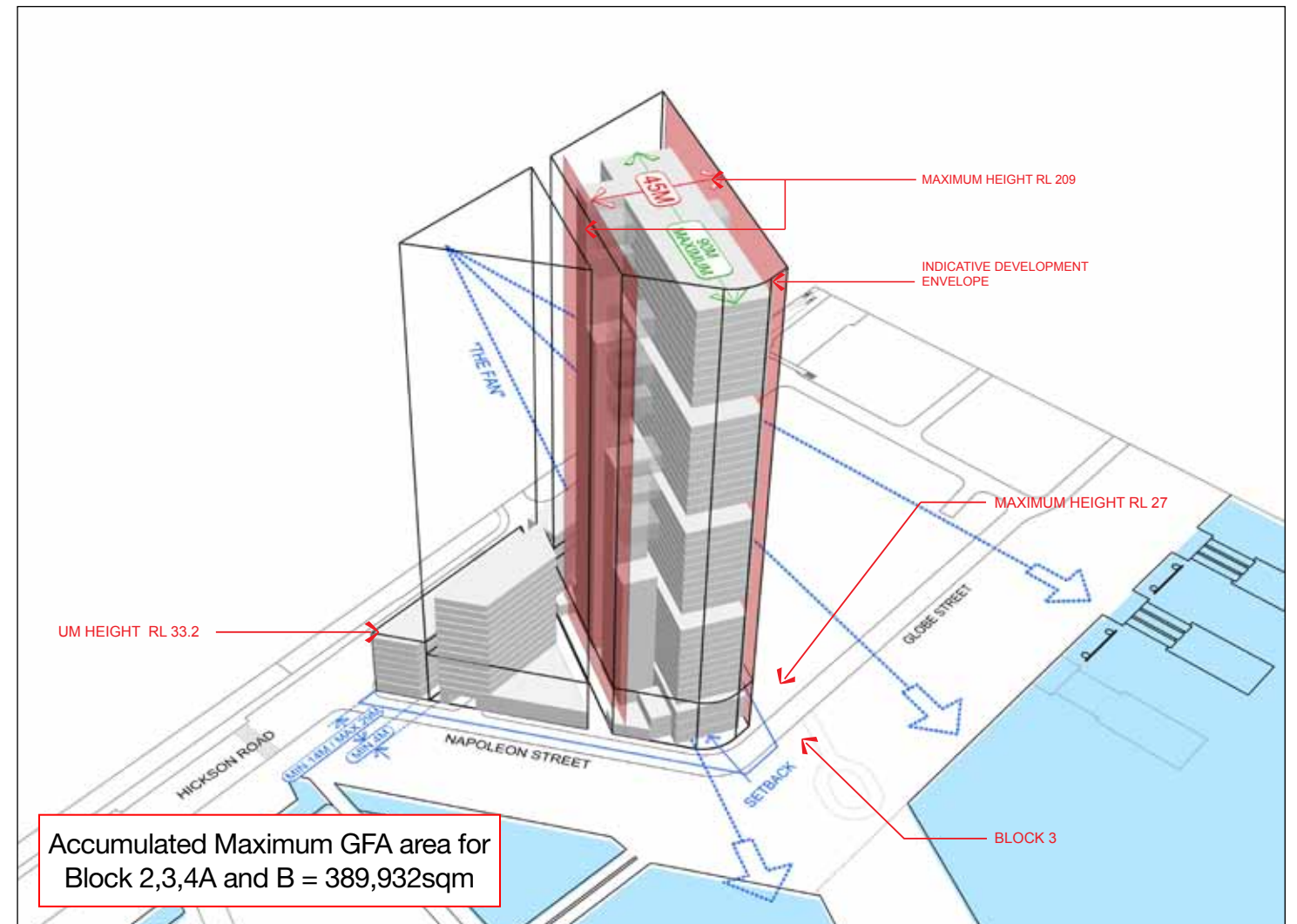
Objectives:

- To ensure that the location, size, appearance and the quality of the signage on the building is appropriate.

Standard:

- High level signage is limited to a maximum of 2 separate faces per building.
- Signage is not to exceed 60sqm per sign.
- Identity signage only to be incorporated within the building facades.
- Details of signage to be considered as part of the overall design of the building for the purposes of Design Excellence.

Urban Design Controls – Block 3



Control 1 Building Mass and Location

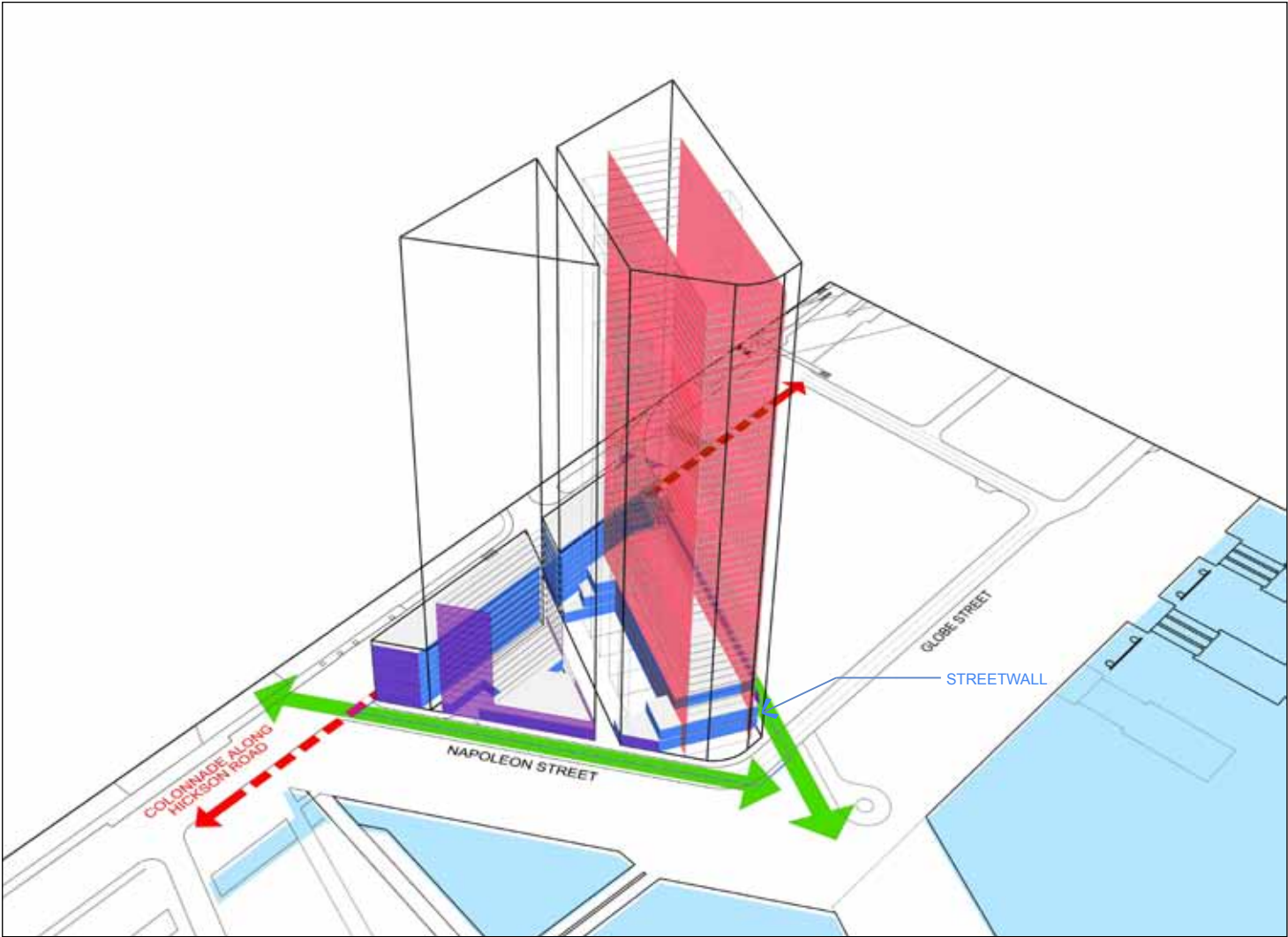
Objectives:

- Adoption of “fanning principle” for siting of buildings.
- To ensure building mass is appropriate within the envelope.

Standard:

- Adopt building control plane from the South and the North at no more than 90m for Tower Form.
- The bulk of building mass will be set back from Hickson Road alignment at a minimum of 14 and a maximum of 29m.
- Tower Form floor plate depth to be around 25m, with expressed structure allowable outside this dimension.
- Tower Form floor plate depth to a maximum of 25m excluding structure and shading devices, with expressed structure allowable outside this dimension.
- Podium to be a minimum of 1 storey height and a maximum of RL27.

Urban Design Controls – Block 3



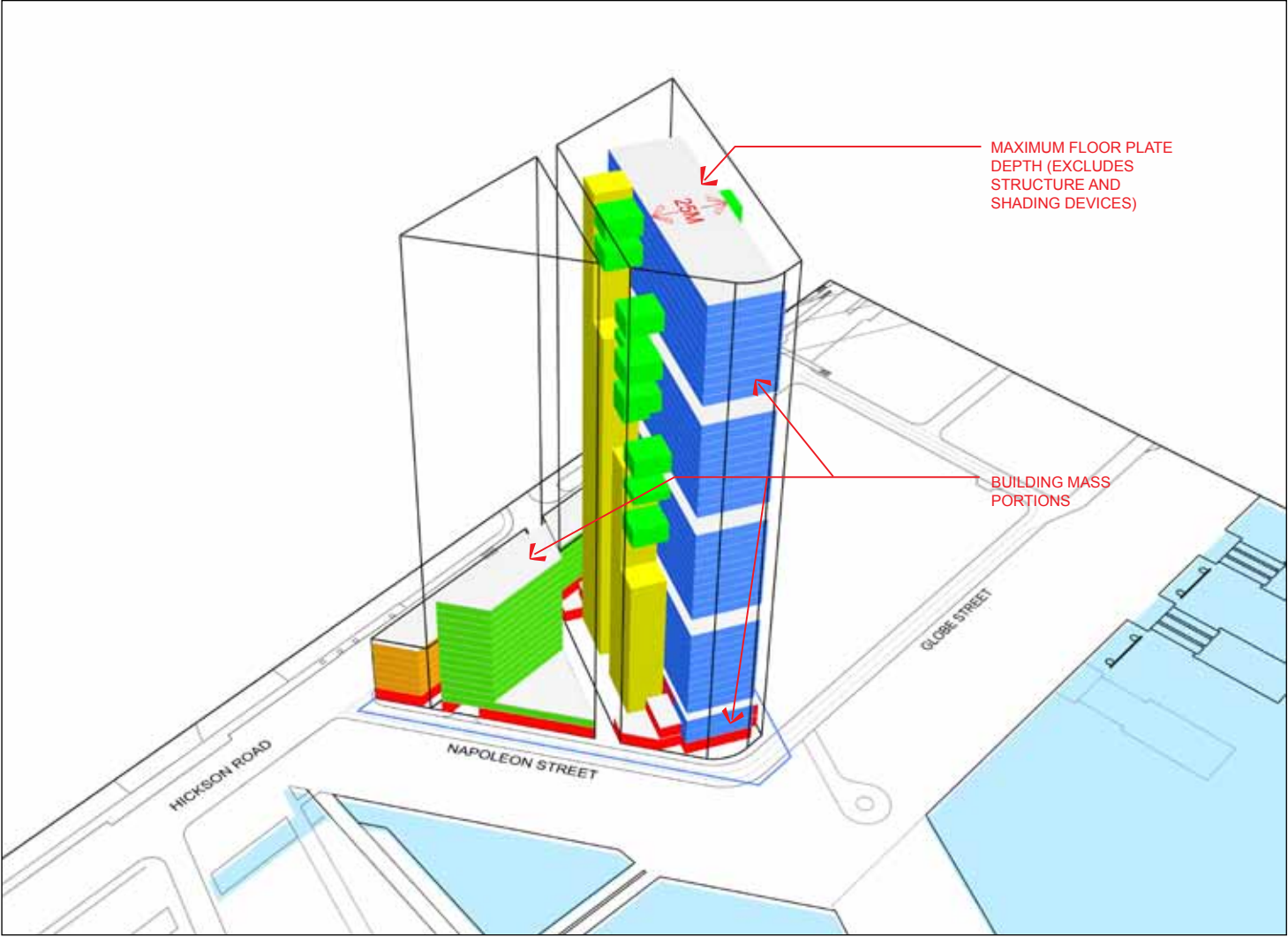
Control 2 Street Wall Establishment

Objectives:

- To establish spaces to articulate and define facades.
- Building mass at podium to form a continuous Street Wall with a 1 storey minimum height.
- Street Wall to define Globe Street and East-West laneways .

Standard:

- To establish a colonnade along Hickson Road.
- Building Form to create a Street Wall with a one storey minimum height for most of the public accessible ground floor facade.
- Building mass to define a Street Wall on Globe Street, City Walk and Hickson Road.
- Shelley Lane to be a minimum of 4m in width with a defined eastern edge parallel to Hickson Road at ground level.



Control 3 Building Articulation

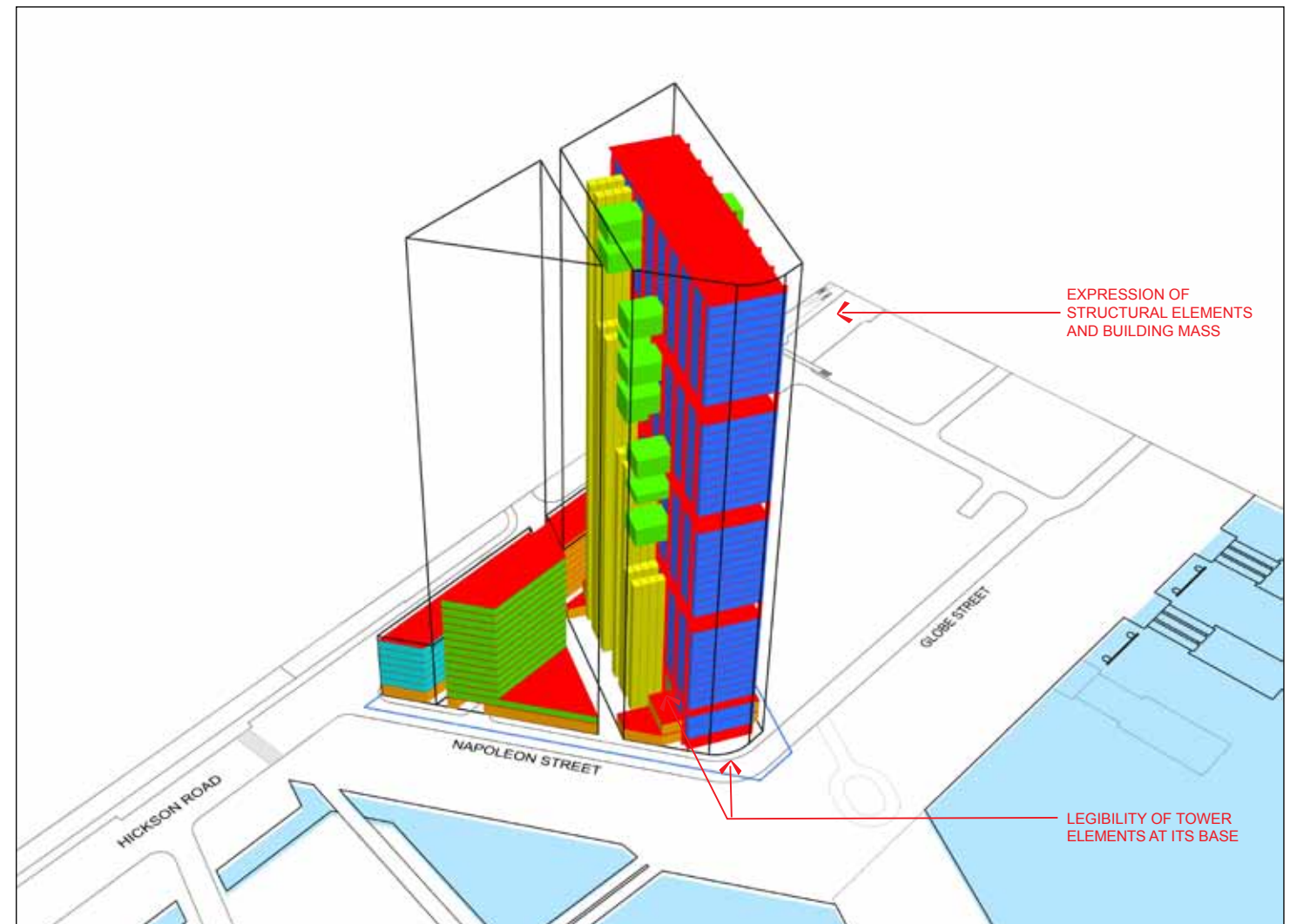
Objectives:

- To establish an articulated, well proportioned building mass.

Standard:

- Tower Form to express sustainability features such as access to natural light.
- To reduce the impact of the building's mass, the envelope and floor plates are to be articulated.

Urban Design Controls – Block 3



Control 4 Building Legibility

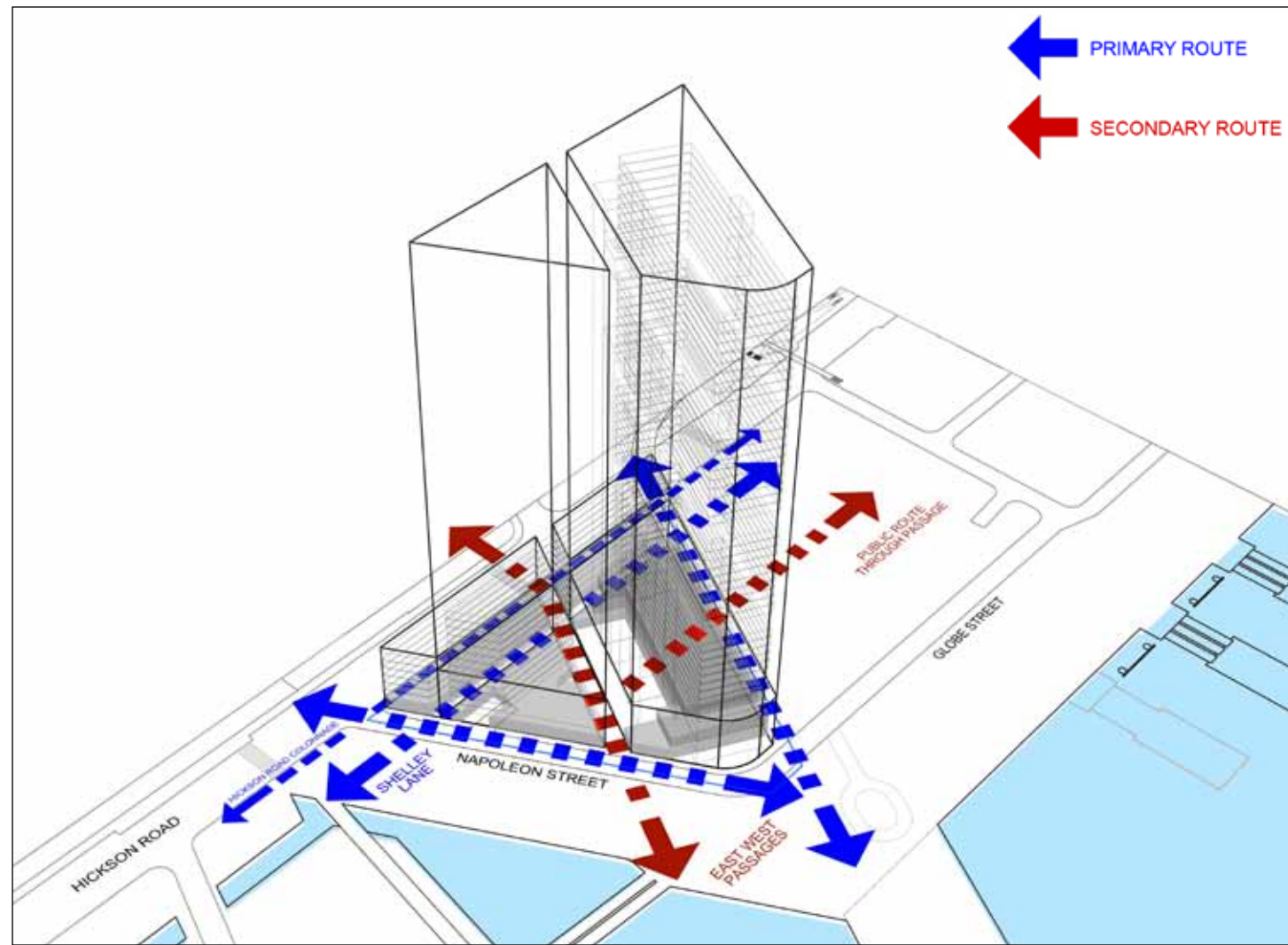
Objectives:

- Constituent elements of the building need to be articulated.
- The elements and structure should be legible at the base of the building.

Standard:

- The separate primary components of the building will be expressed.
- At least one of the facade of the tower is to extend to the ground plane and be expressed as a separate element from the podium
- The longest facades of the tower forms should not come to ground.

Urban Design Controls – Block 3



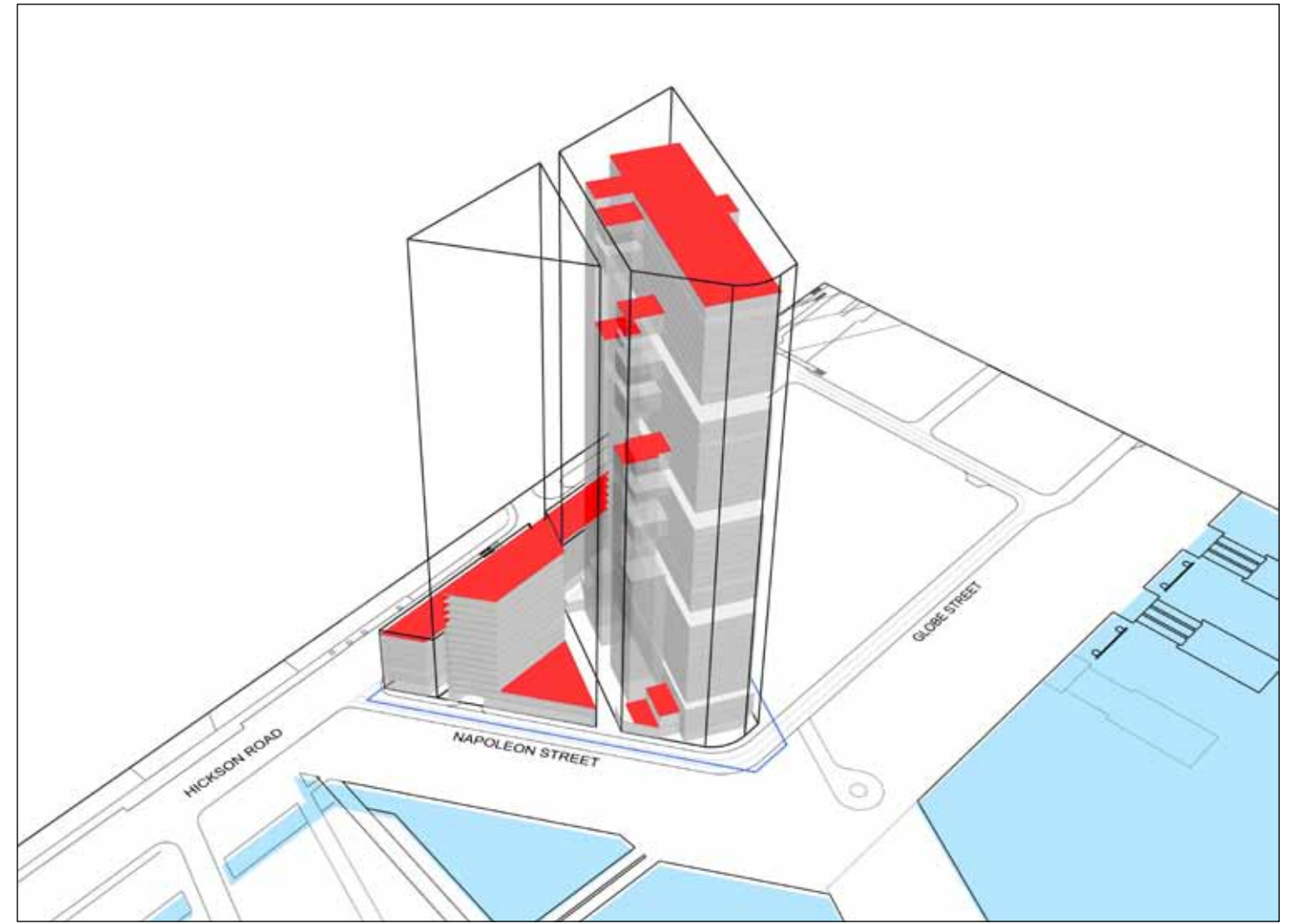
Control 5 Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.
- For security purposes the secondary routes may be closed at certain times.

Standard:

- Public access around the Block is to be maintained on all edges.
- Provide two north to south primary connections including the Hickson Road colonnade
- Provide one east to west and one north to south secondary public access route.
- Building form may cover no more than 50% of the length of the through block link.



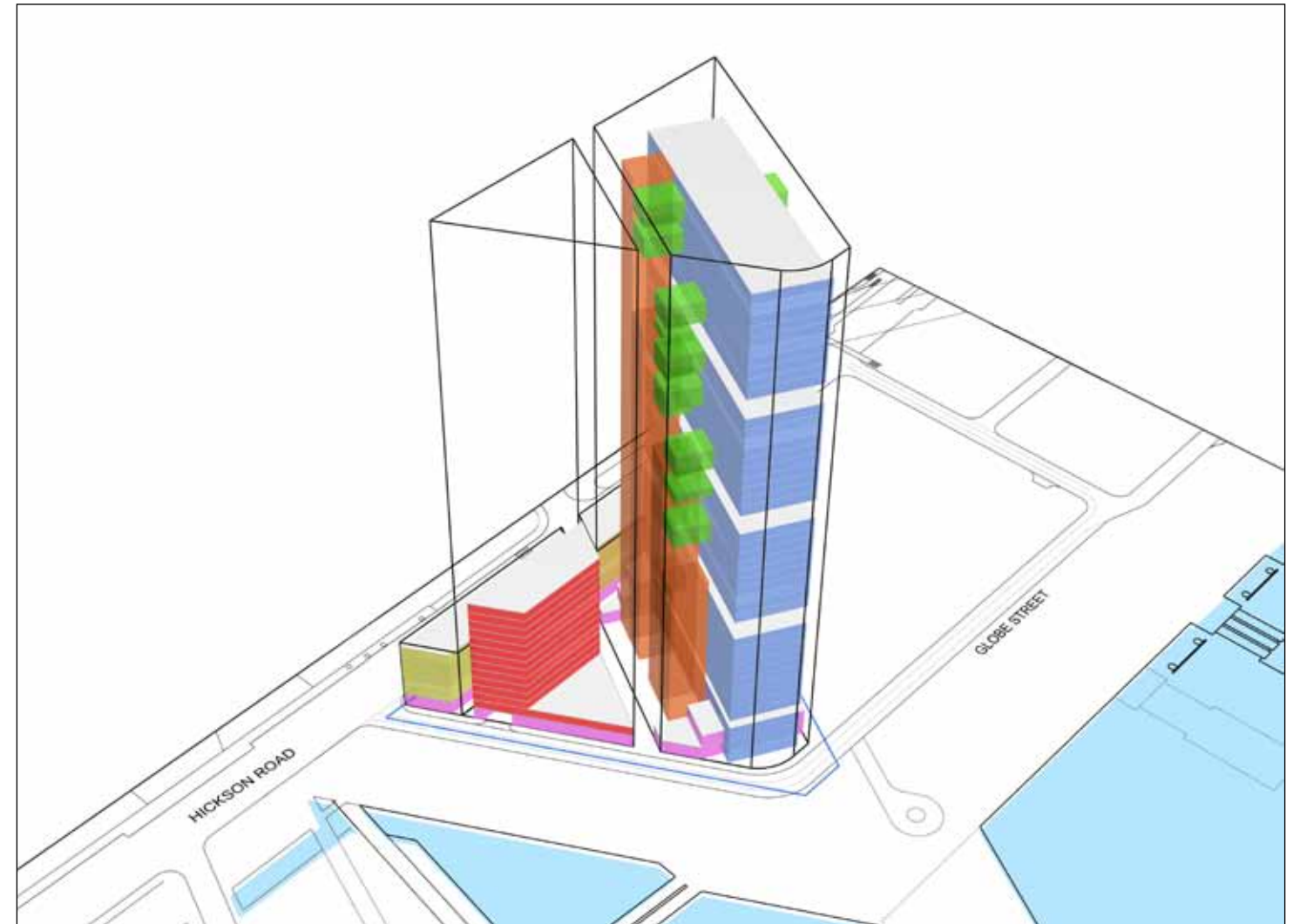
Control 6 Ensuring Quality of Rooftops

Objectives:

- The mass at the rooftop shall be articulated and legible.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Roof Design to integrate sustainable features.

Standard:

- Architectural treatment of roof form.
- Lift shafts, overruns and control rooms are to be extruded above the roof line and used to provide architectural articulation to the roof.
- Exposed mechanical equipment is to be avoided.
- Use of good quality materials (ie durable, hardwearing, sustainable).



Control 7 Facades

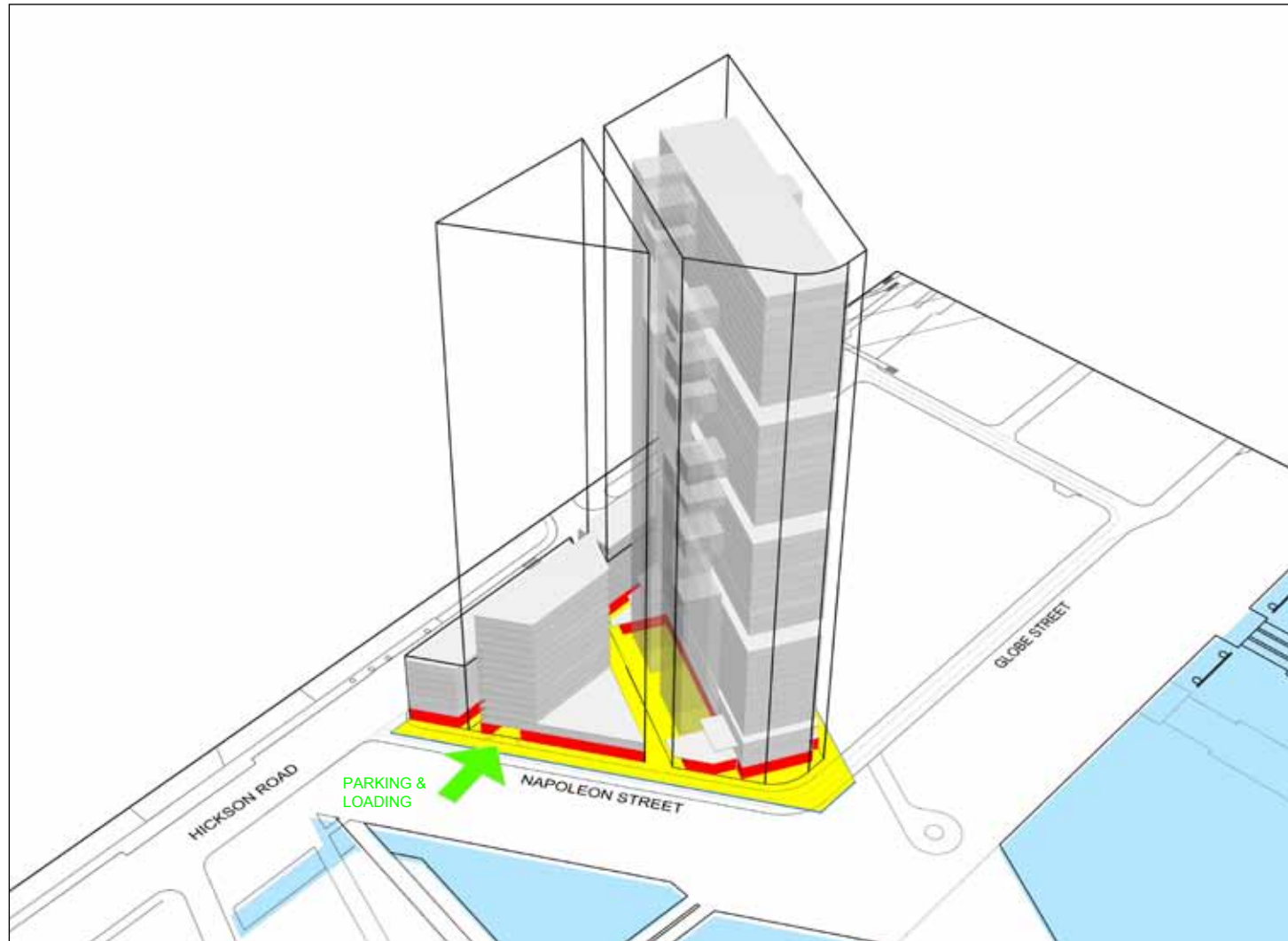
Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building's functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to "carbon neutral" for Barangaroo South.
- The maximum continuous horizontal length of the tower's southern elevation should not exceed 60m.

Standard:

- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium. Environmentally sustainable design is to be incorporated on all facades.
- Facade components such as external shading shall be used to provide light and shade to the building and to consider and reinforce Control 2+3.
- Facades longer than 60m are to be modulated above podium level by a distinctive architectural elements eg as vertical villages, cores or external staircases, in the vertical plane.

Urban Design Controls – Block 3



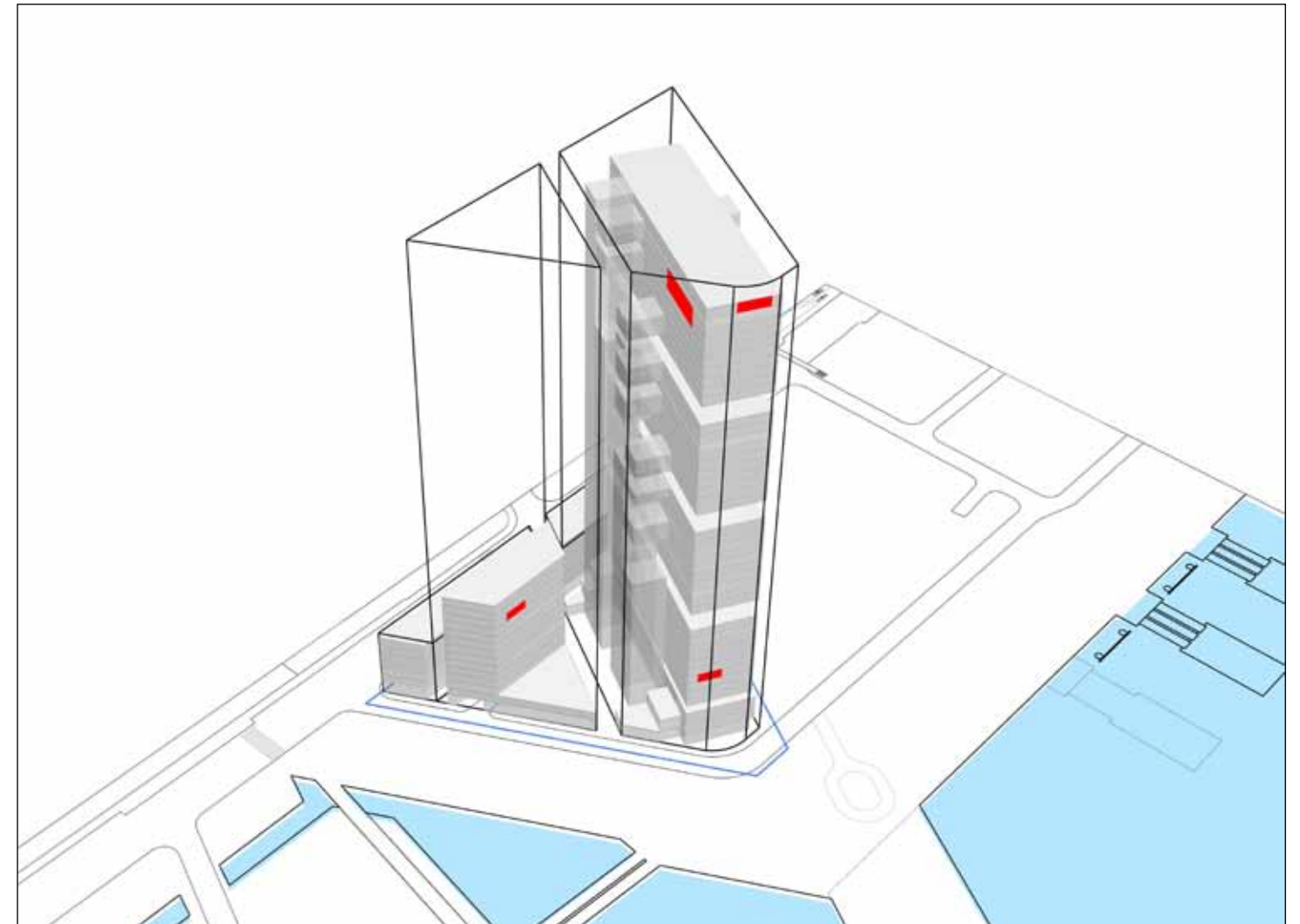
Control 8 Active Streetfronts

Objectives:

- To ensure a vibrant public domain will be created at street level.

Standard:

- At least 60% of the Ground Level is to be active on the primary Street Wall facades
- Building entrances to internal areas such as office lobbies, exit ways and service areas or loading docks shall not count toward to 60% requirement.
- Building service areas, parking entrances & loading docks will be located on Napoleon Street.



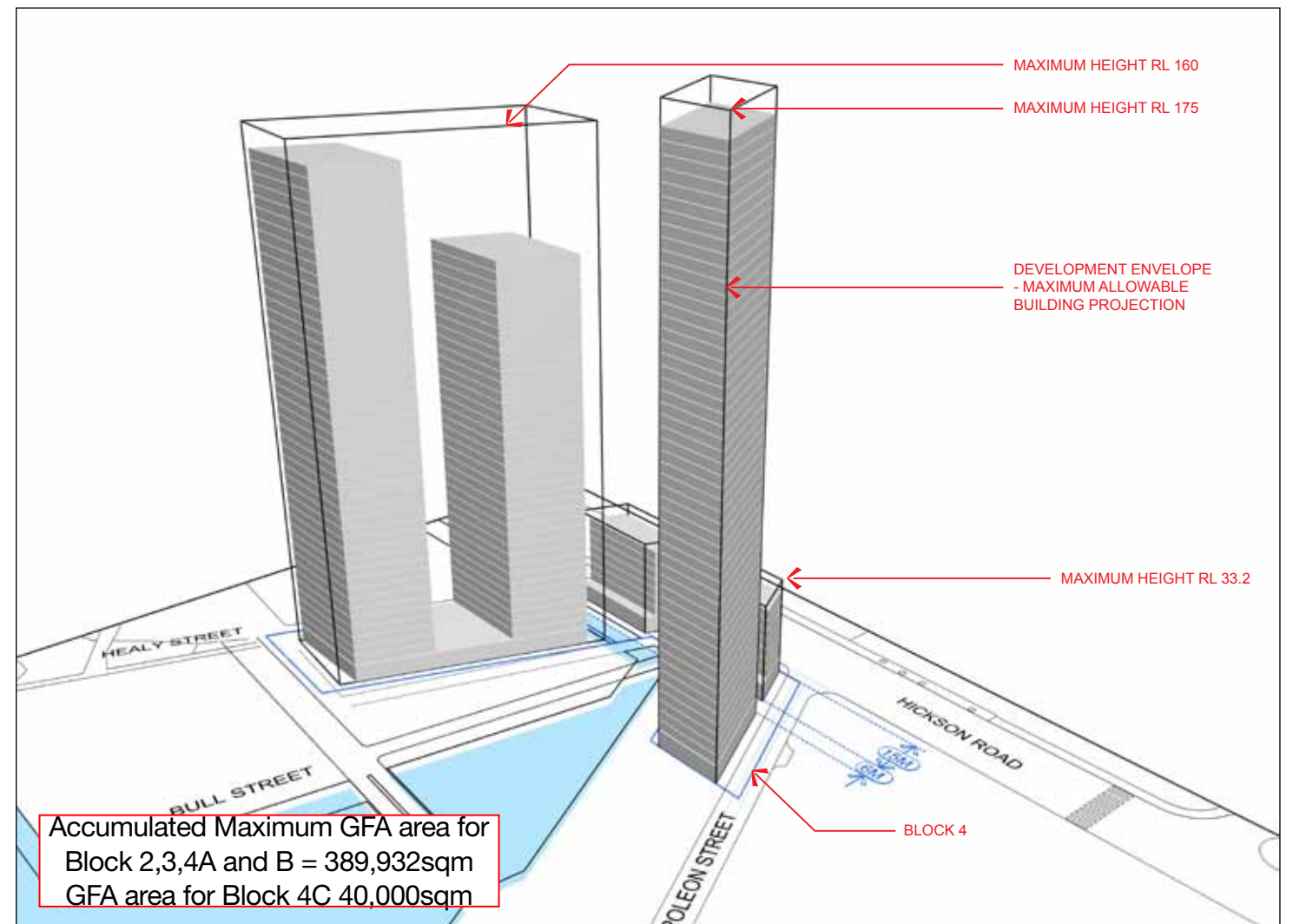
Control 10 Signage

Objectives:

- To ensure there is control over the location, size, appearance and the quality of the signage on the building.

- High level signage is limited to a maximum of 2 separate faces per building.
- Signage is not to exceed 60sqm per sign.
- Identity signage only to be incorporated within the building facades.
- Details of signage to be considered as part of the overall design of the building for the purposes of Design Excellence.

Urban Design Controls – Block 4



Control 1 Building Mass and Location

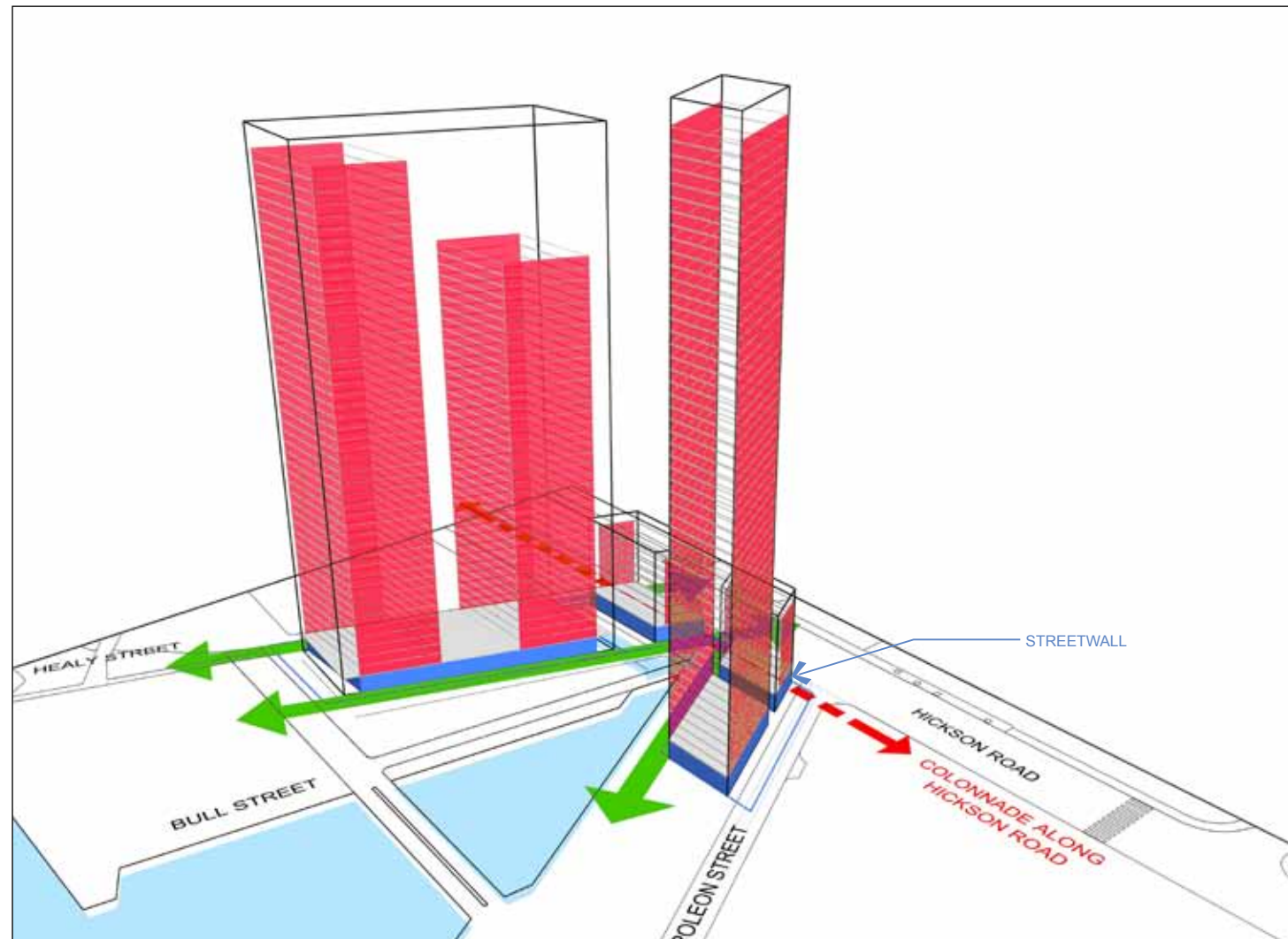
Objectives:

- To ensure building mass is appropriate within the envelope.

Standard:

- Hickson Road Buildings on western facade have a setback of minimum 2m, the eastern facade have a set back of 1m above podium level. Balconies are allowed within the setback zone.
- Block 4C will be comprised of two towers separated by a minimum distance of 15m
- Block 4C GFA to be limited to 40,000sqm with variation in the tower heights.

Urban Design Controls – Block 4



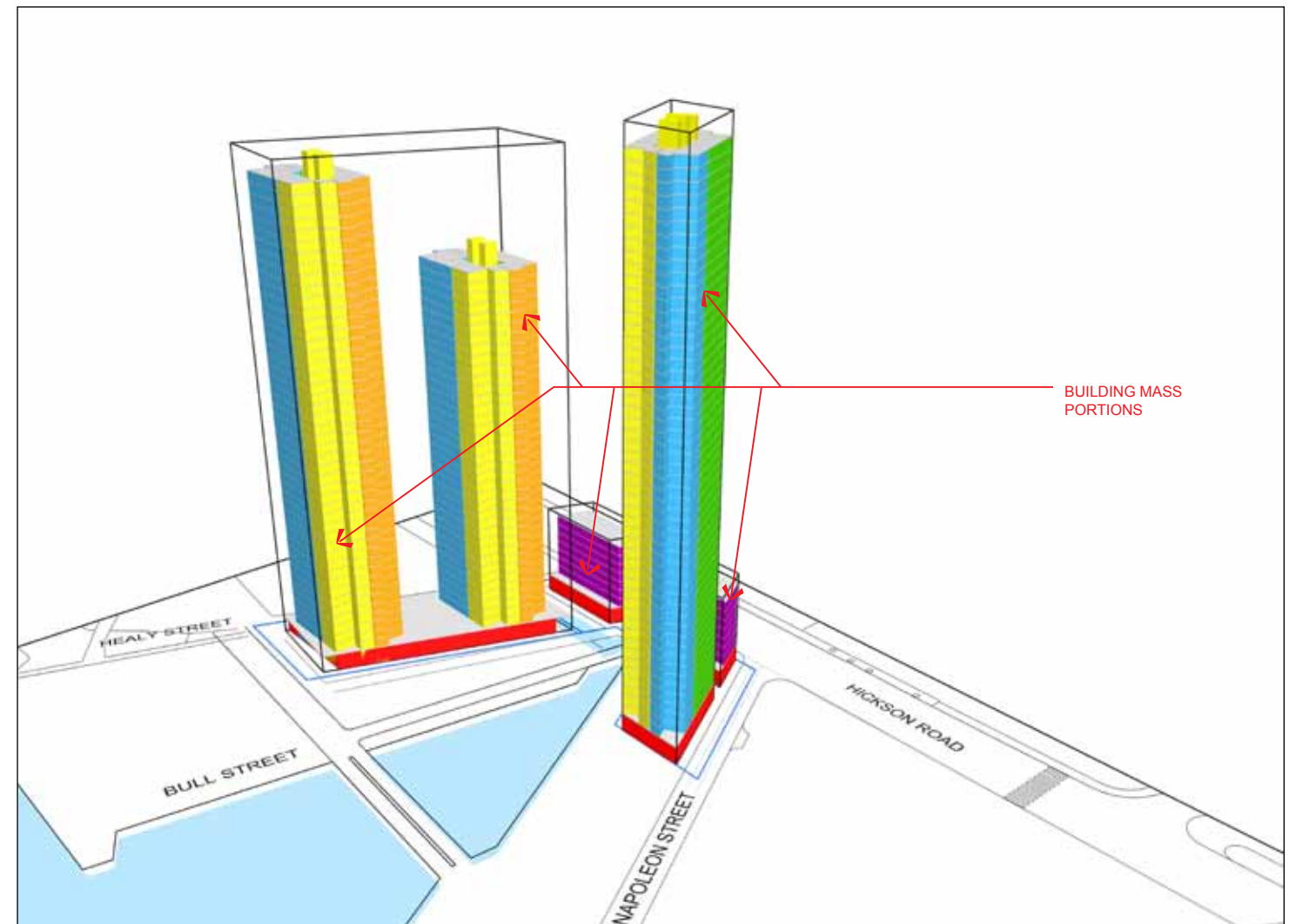
Control 2 Street Wall Establishment

Objectives:

- Street Wall defines Bull Street and Healy Street.
- To establish a colonnade along Hickson Road.
- Building Mass at ground floor level to form a Street Wall with a 1 storey minimum height.

Standard:

- Building Form to create a Street Wall with a one storey minimum height for most of the public accessible ground floor facade.
- Street Wall to be no greater than 6m in height.
- All Street Walls to define Globe Street, Healy Street, Napoleon Street and Hickson Road
- Hickson Road Street Wall will maintain the vernacular of the Street Wall for Blocks 2 & 3 up to 6m.



Control 3 Building Articulation

Objectives:

- To establish an articulated, well proportioned building mass.
-

Standard:

- To reduce the impact of the building's mass, the envelope and floor plates are to be articulated.
- Tower Form is to express sustainability features e.g. access to natural light, ventilation and solar shading.



Control 4 - Building Legibility

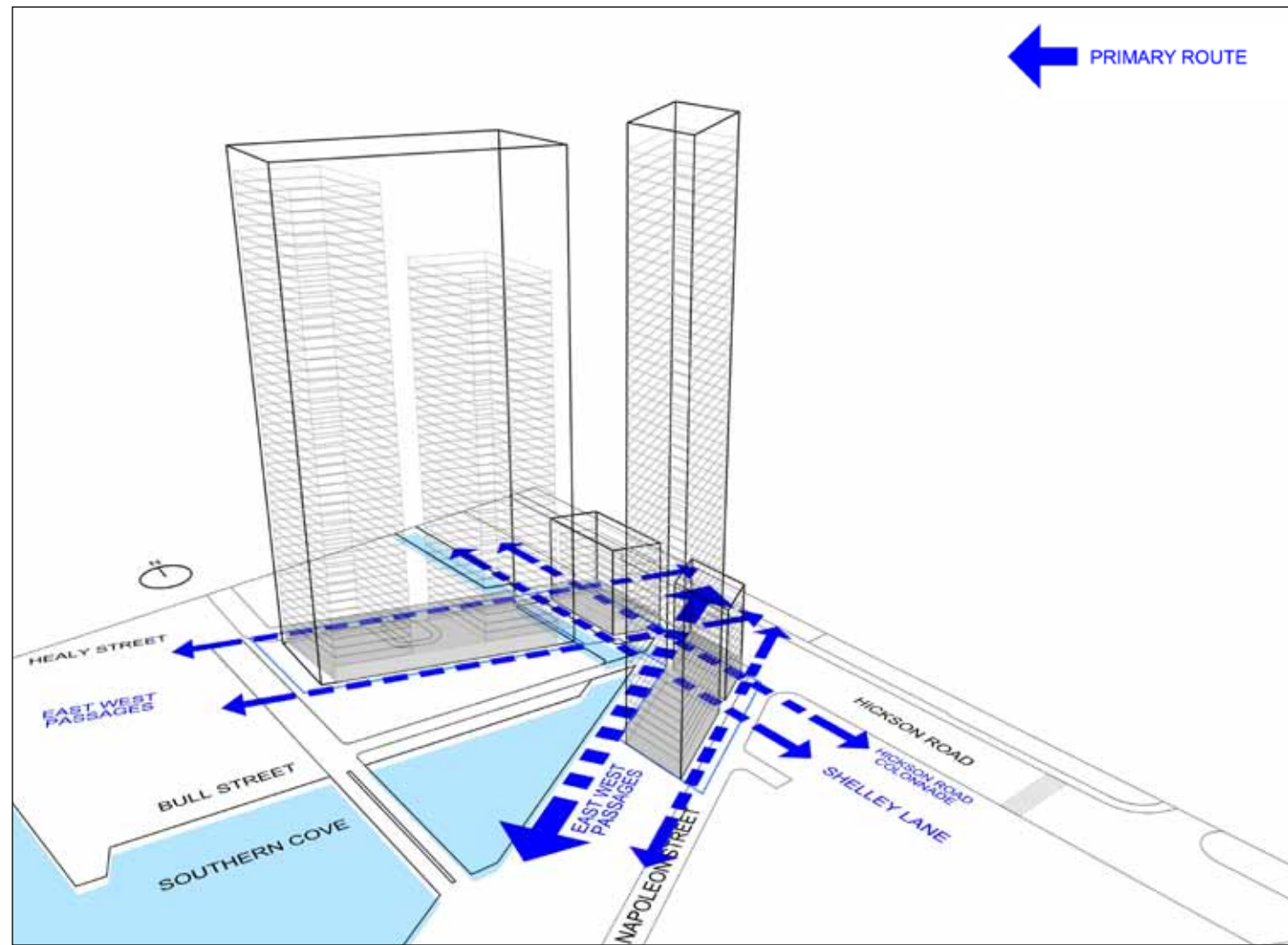
Objectives:

- Constituent elements of the building need to be legible.
- The building elements and structure should be legible at the base.

Standard:

- The separate primary components of the building will be expressed and include additional elements such as the balconies.
- Every tower should be articulated with a different selection of elements. In particular the ones not adjacent Hickson Road.

Urban Design Controls – Block 4



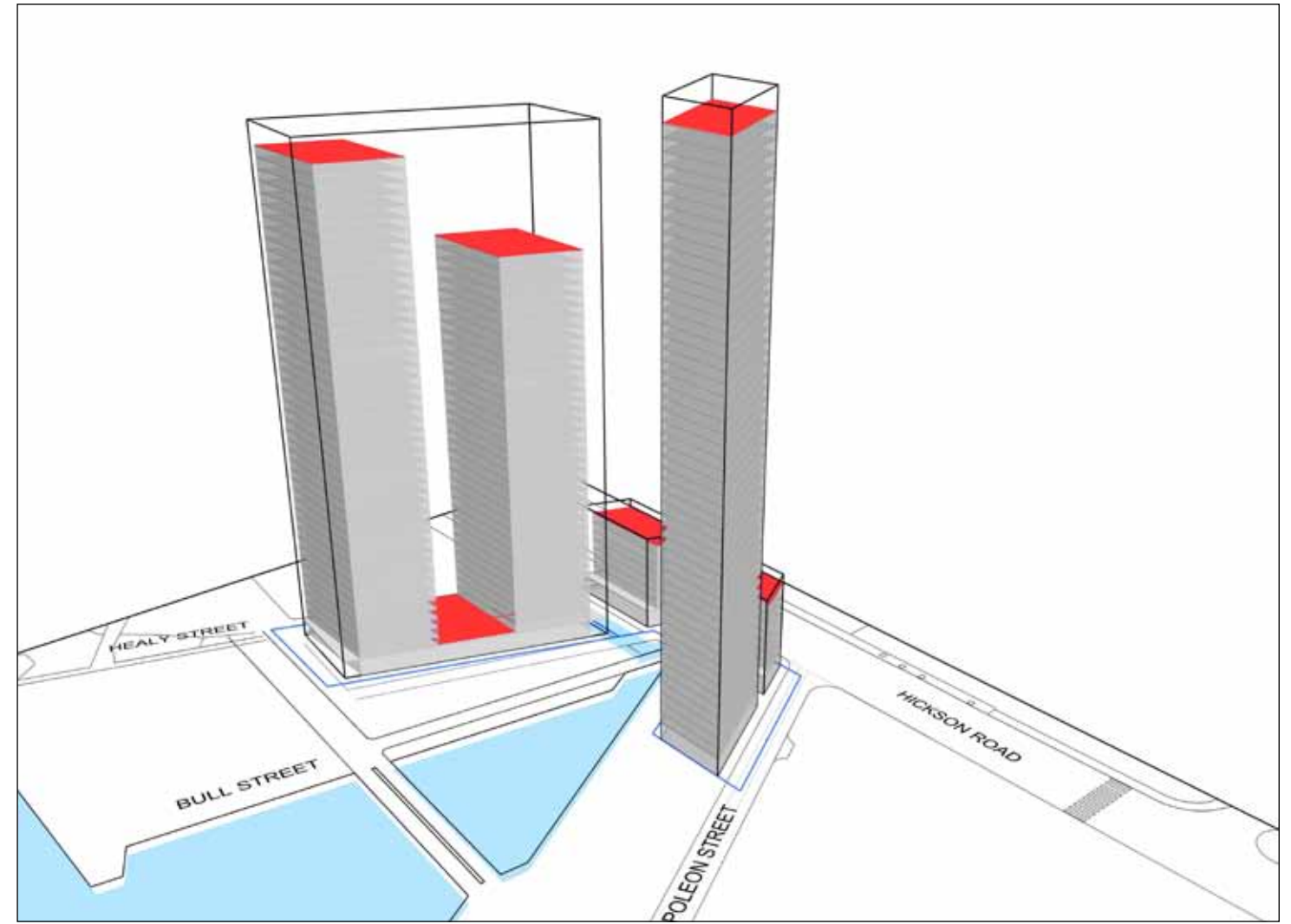
Control 5 Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.

Standard:

- Public access around the Block is to be maintained on all edges.
- To provide two north to south primary connections across the block including the Hickson Road colonnade
- To provide two east to west primary connections across the block.



Control 6 Ensuring Quality of Rooftops

Objectives:

- The mass at the rooftop shall be articulated and legible.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Roof Design to integrate sustainable features.

Standard:

- Architectural treatment of roof form.
- Architectural treatment of exposed elements such as lift shafts, overruns control rooms and any sustainability features.
- Exposed mechanical equipment is to be avoided.
- Use of good quality materials (ie durable, hardwearing, sustainable).



Control 7 Facades

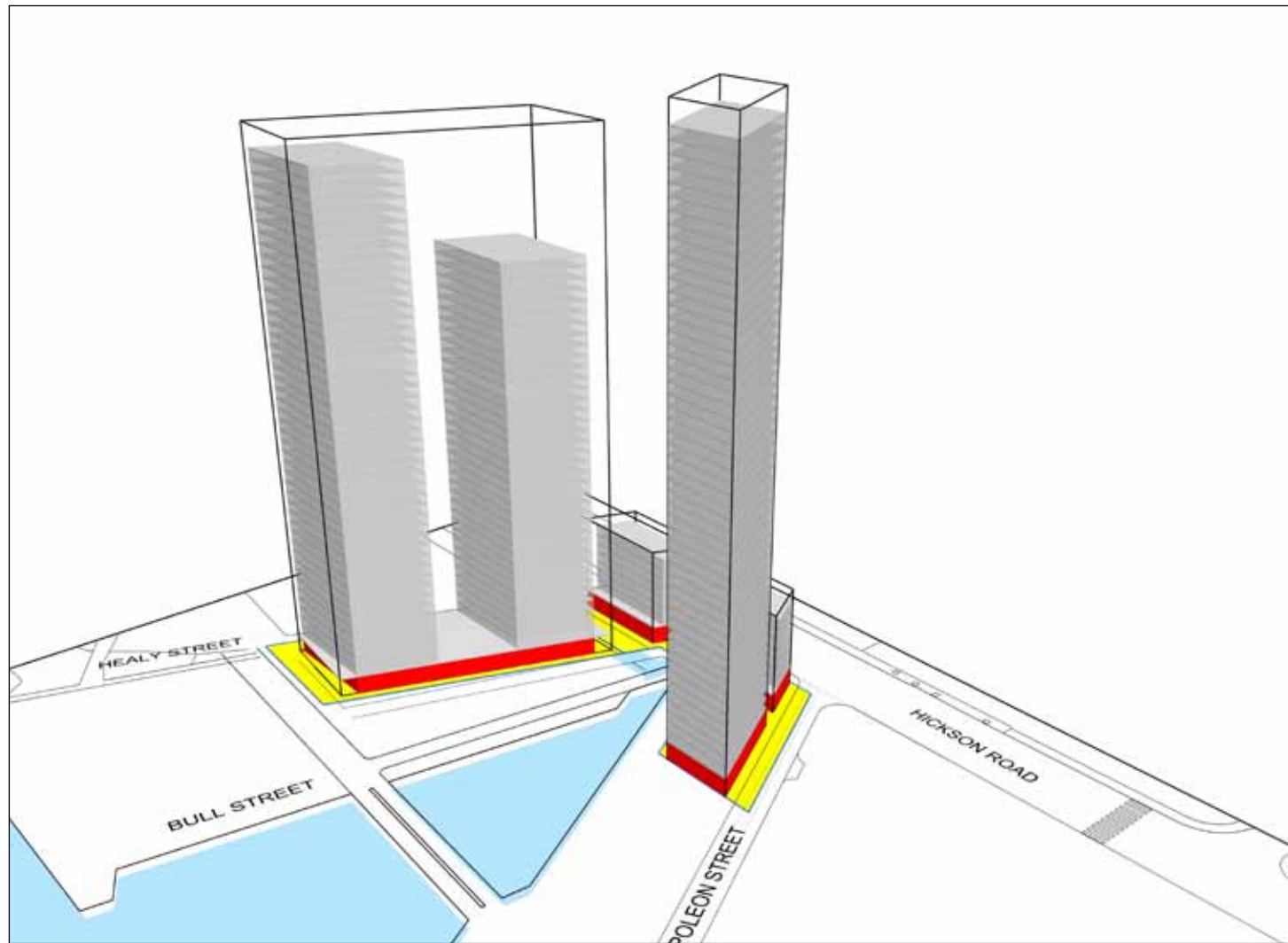
Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building's functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to "carbon neutral" for Barangaroo South.

Standard:

- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium.
- Environmentally sustainable design is to be incorporated on all facades.
- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- Facade components such as external shading shall be used to provide light and shade to the building.

Urban Design Controls – Block 4



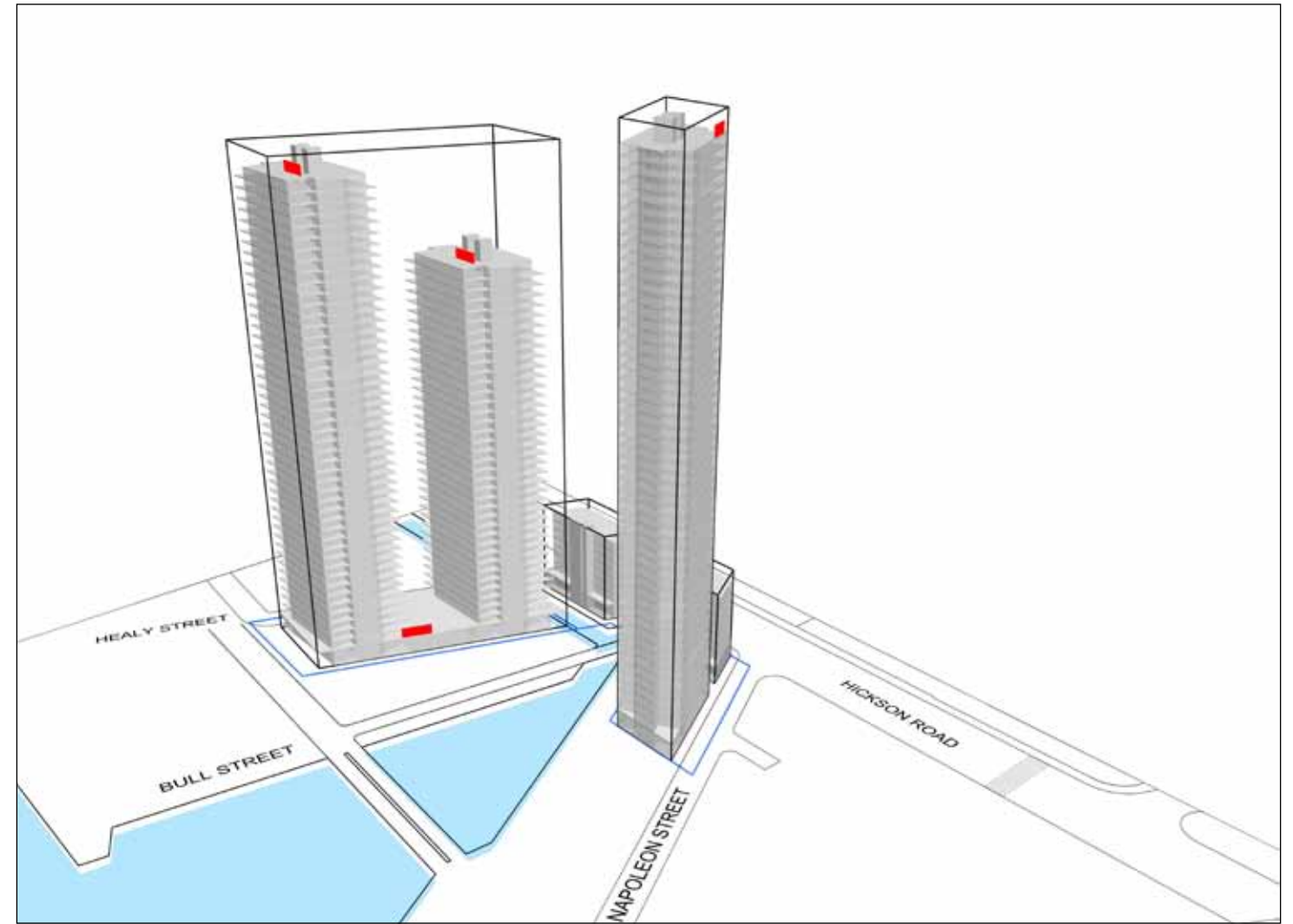
Control 8 Active Streetfronts

Objectives:

- To ensure an activated domain at street level.

Standard:

- At least 60% of the Ground Level is to be active on the primary Street Wall facades
- Building entrances to internal areas such as office lobbies, exit ways and service areas or loading docks shall not count toward to 60% requirement.
- Building service areas, parking entrances and loading docks may be accessed from Healy or Napoleon Street.



Control 9 Signage

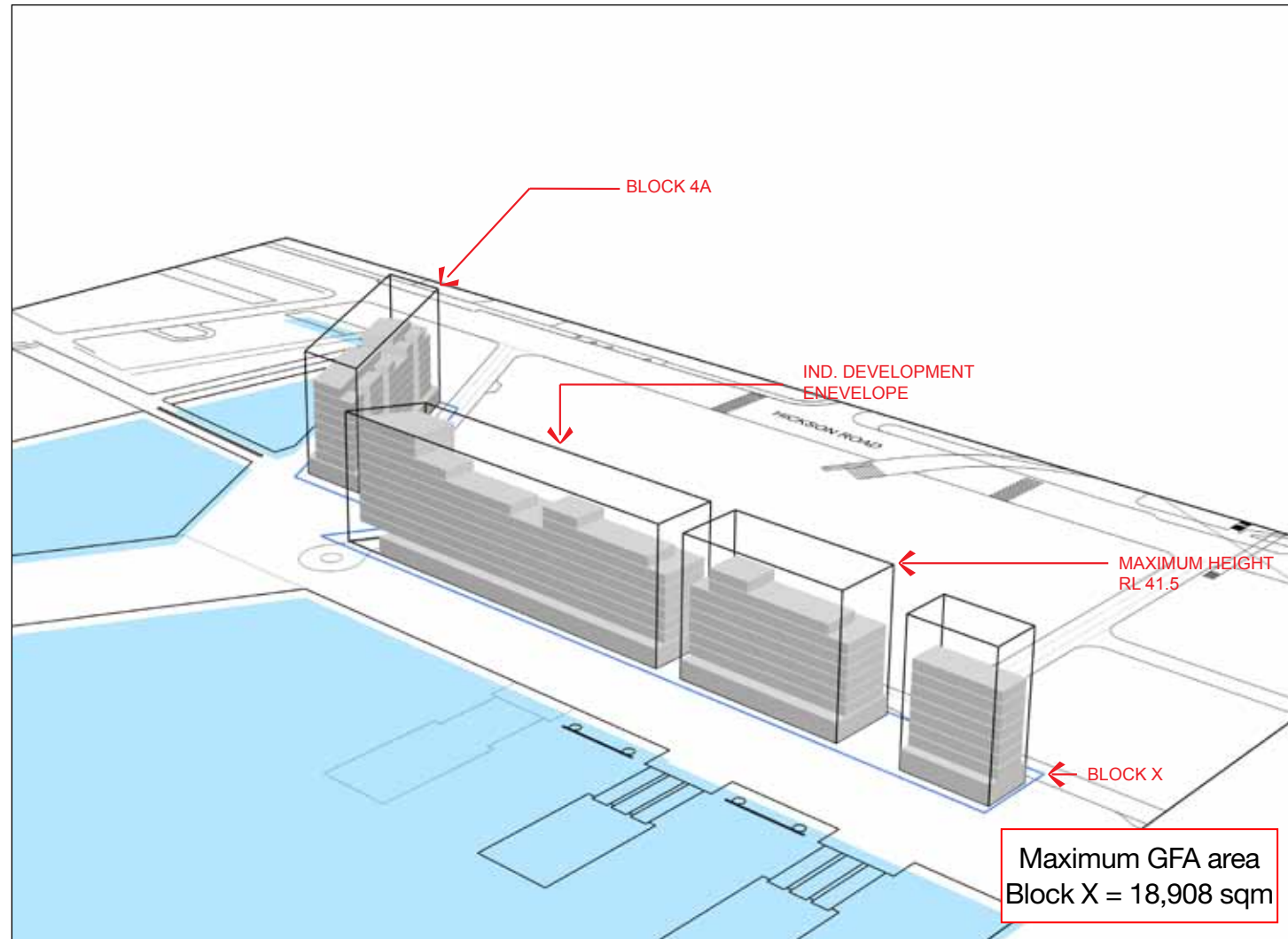
Objectives:

- To ensure that the location, size, appearance and the quality of the signage on the building is appropriate.

Standard:

- The signage is to be limited to one sign at roof level per building.
- Signage is not to exceed 15sqm per sign.
- Allowance for building name at Street Level, i.e. "Gateway Apartments"
- Illuminated signs will be set back from facades to eliminate glare.
- Details of signage to be considered as part of the overall design of the building for the purposes of Design Excellence.

Urban Design Controls – Block X + 4A



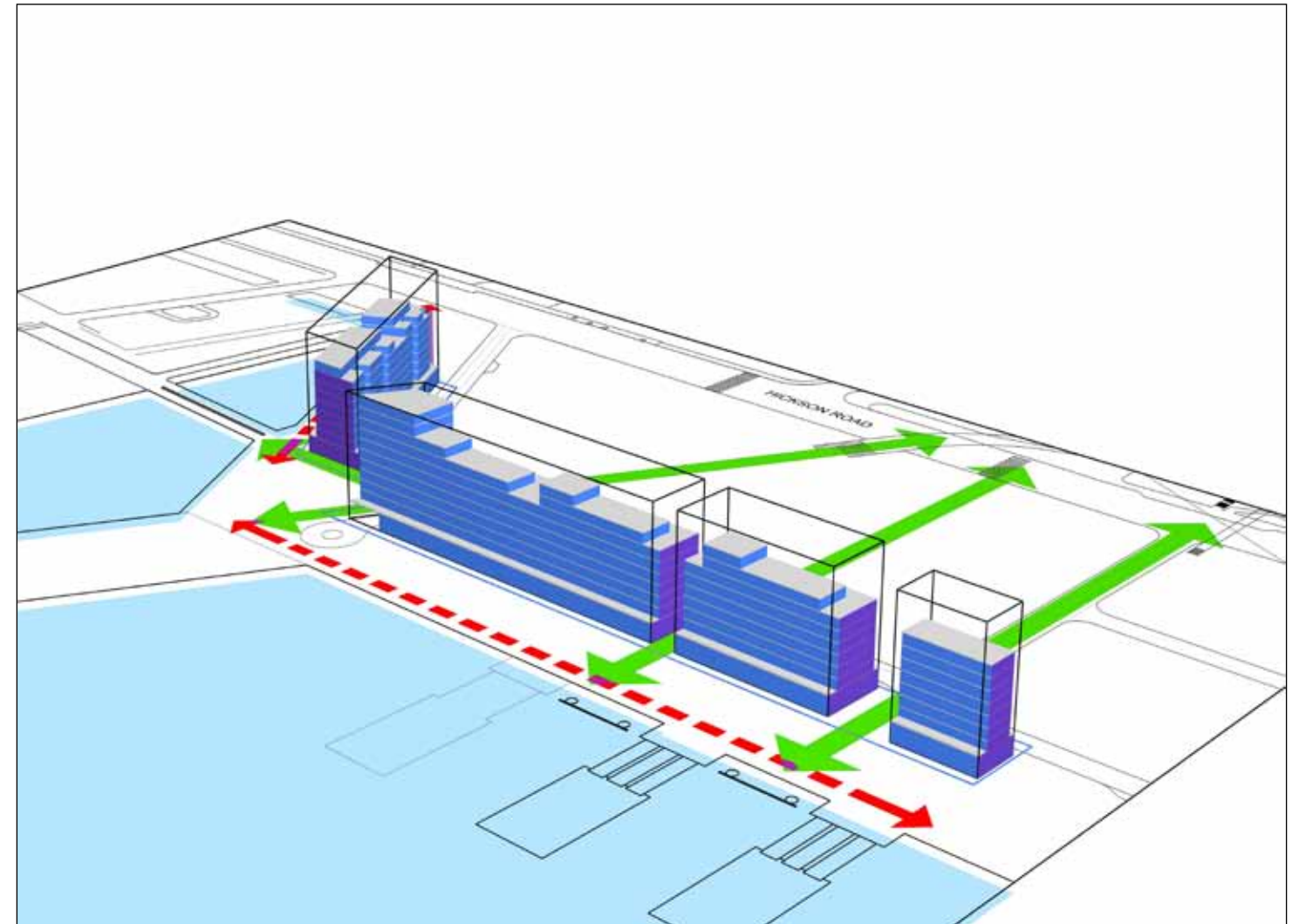
Control 1 Building Mass and Location

Objectives:

- To ensure building mass is appropriate within the envelope.

Standard:

- Above Ground floor level the westerly oriented facades to have a minimum 3m setback. Open and enclosed balconies are allowed to protrude into the setback zones. On the easterly oriented facades a minimum of 1m setback is required.
- Although the maximum height is RL41.5, the roof line will be undulating between maximum RL41.5 and RL20.



Control 2 Street Wall Establishment

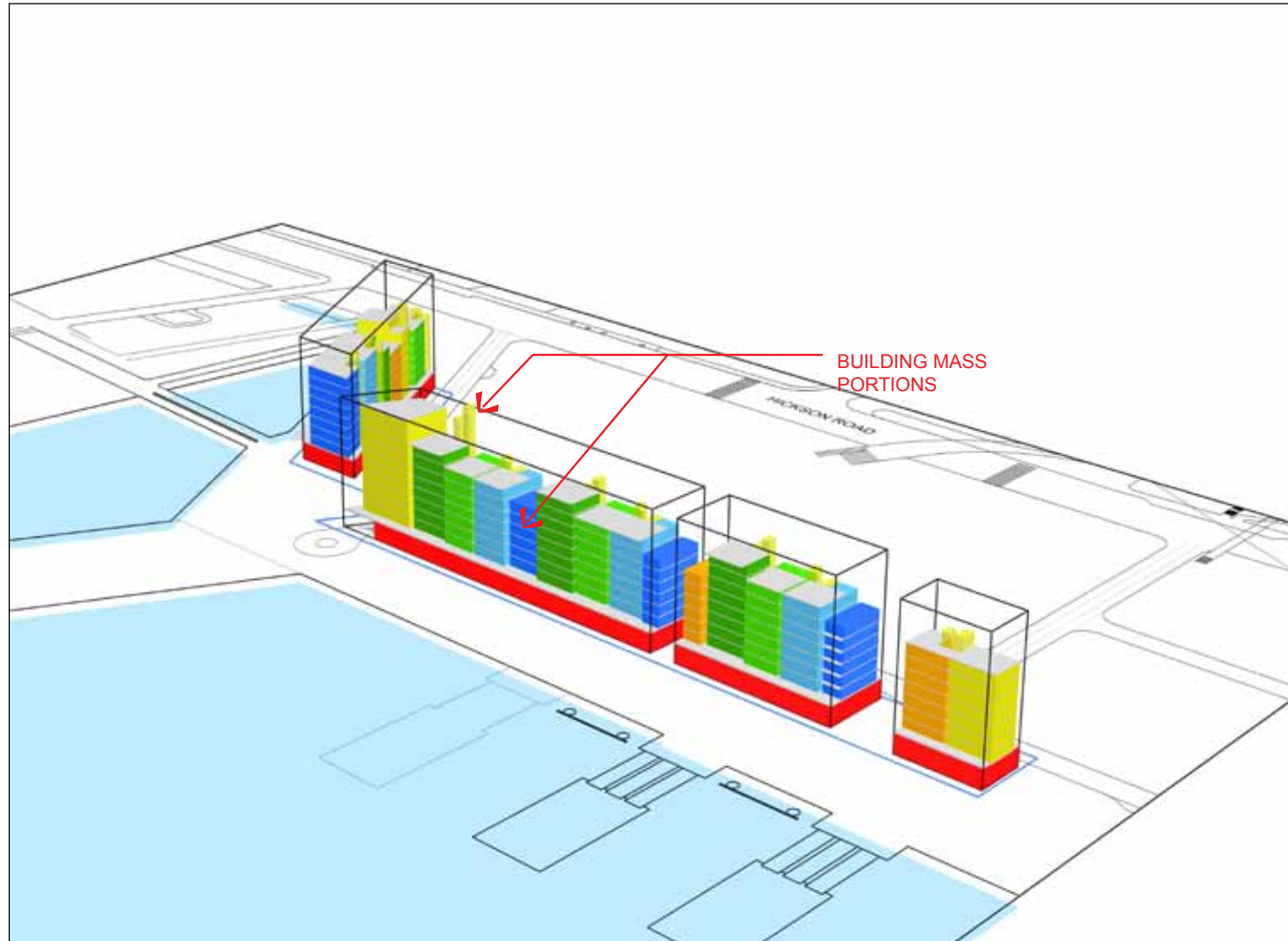
Objectives:

- Street Wall defines promenade and Globe Street.
- To ensure an active Street Wall is established around each Block.

Standard:

- The building mass at the podium is to form a continuous Street Wall around the site for a minimum of 85% of the site perimeter.

Urban Design Controls – Block X + 4A



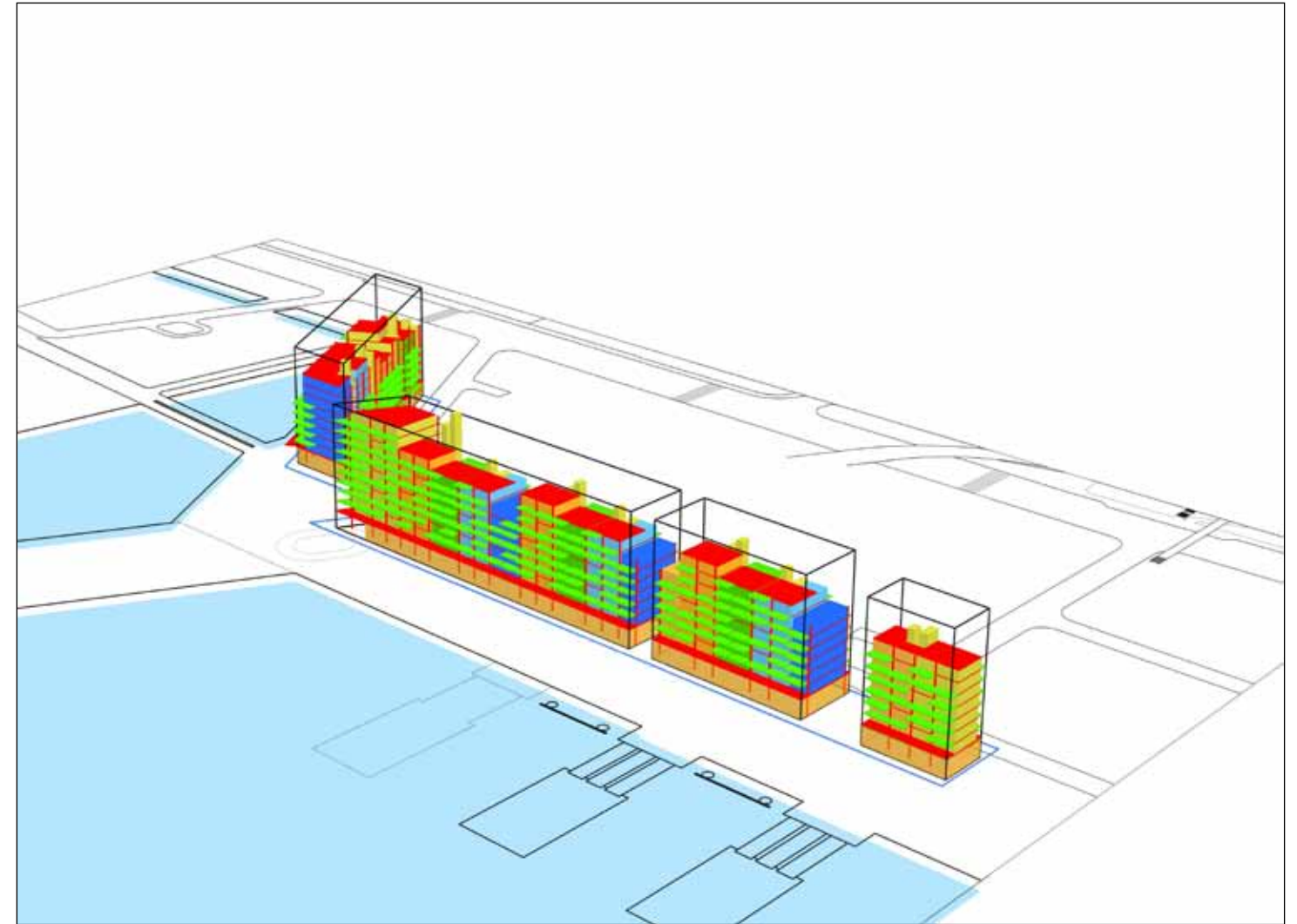
Control 3 Building Articulation

Objectives:

- To establish an articulated, well proportioned building mass.

Standard:

- To reduce the impact of the building's mass, the envelope and floor plates are to be horizontally and/or vertically articulated, in particular at upper levels across Block X & 4A
- Building Form is to express sustainability features such as for example access to natural light, ventilation and solar shading.



Control 4 Building Legibility

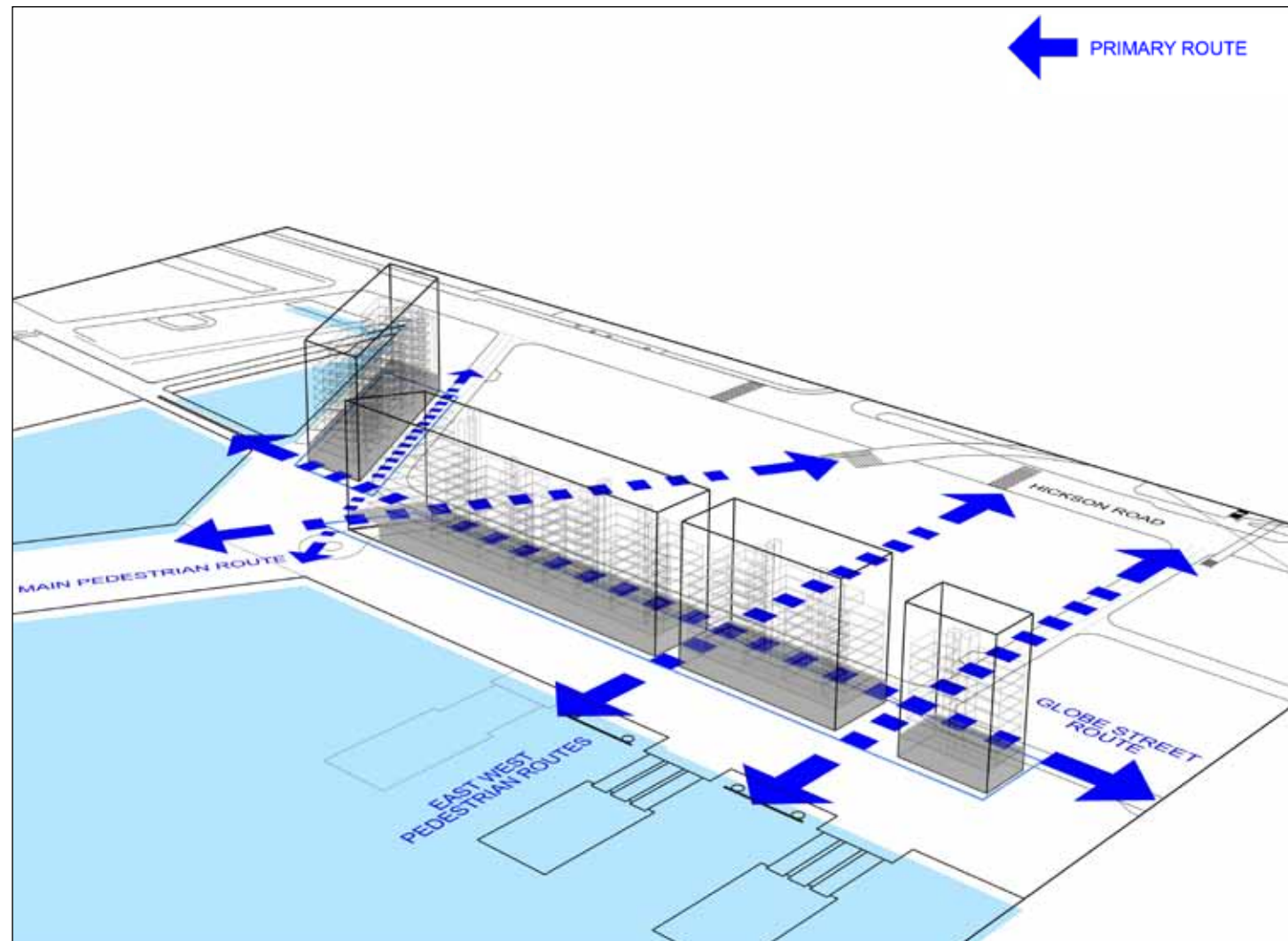
Objectives:

- Constituent elements of the building need to be legible.
- The building elements and structure should be legible at the base.

Standard:

- The separate primary components of the building will be expressed and include additional elements such as the open and enclosed balconies.
- Reinforce articulation of building form with modulation of open and enclosed balconies, building elements, etc. to avoid monotony.

Urban Design Controls – Block X + 4A



Control 5

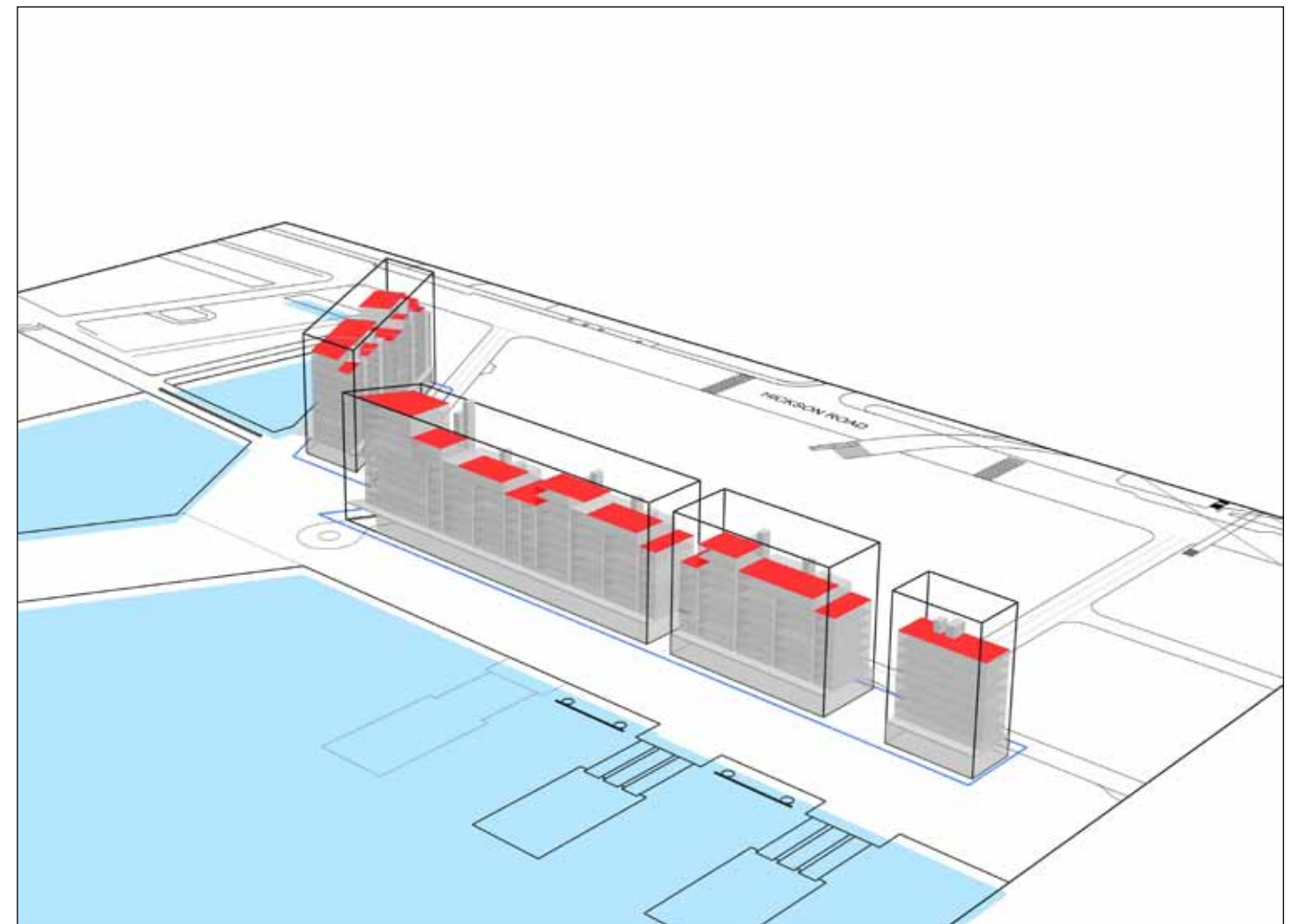
Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.

Standard:

- Public access around the Blocks is to be maintained on all edges.
- To provide one north to south and four east to west primary connections.



Control 6

Ensuring Quality of Rooftops

Objectives:

- The mass at the rooftop shall be articulated and legible.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Roof Design to integrate sustainable features.

Standard:

- Architectural treatment of roof form.
- Architectural treatment of exposed elements such as lift shafts, overruns control rooms and any sustainability features.
- Exposed mechanical equipment is to be avoided.
- Use of good quality materials (ie durable, hardwearing, sustainable).
- Roof to incorporate no more than 60% accessible terraces.

Urban Design Controls – Block X + 4A



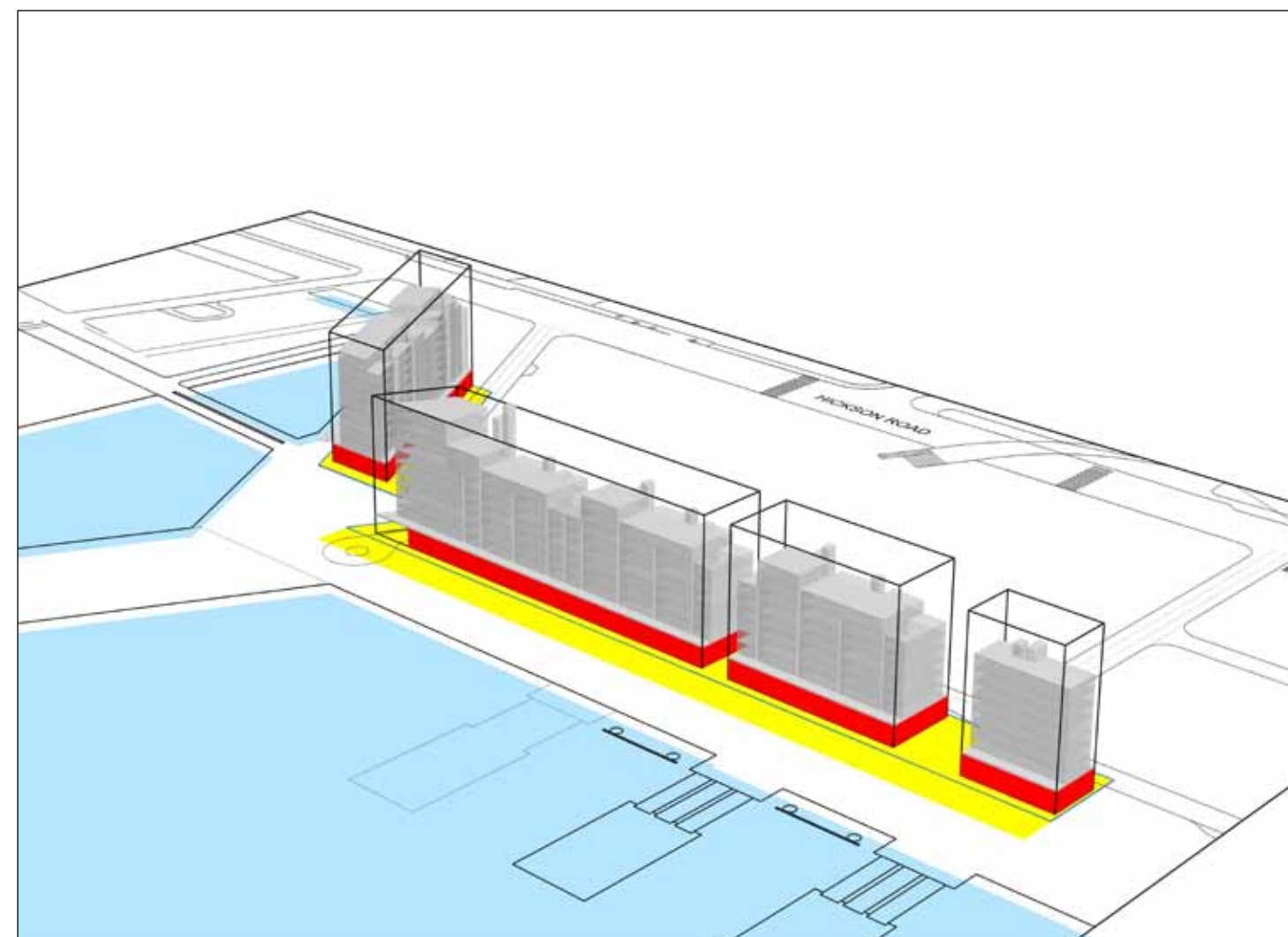
Control 7 Facades

Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building's functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to "carbon neutral" for Barangaroo South.

Standard:

- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium.
- Environmentally sustainable design is to be incorporated on all facades.
- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- Facade components such as external shading shall be used to provide light and shade to the building.



Control 8 Active Streetfronts

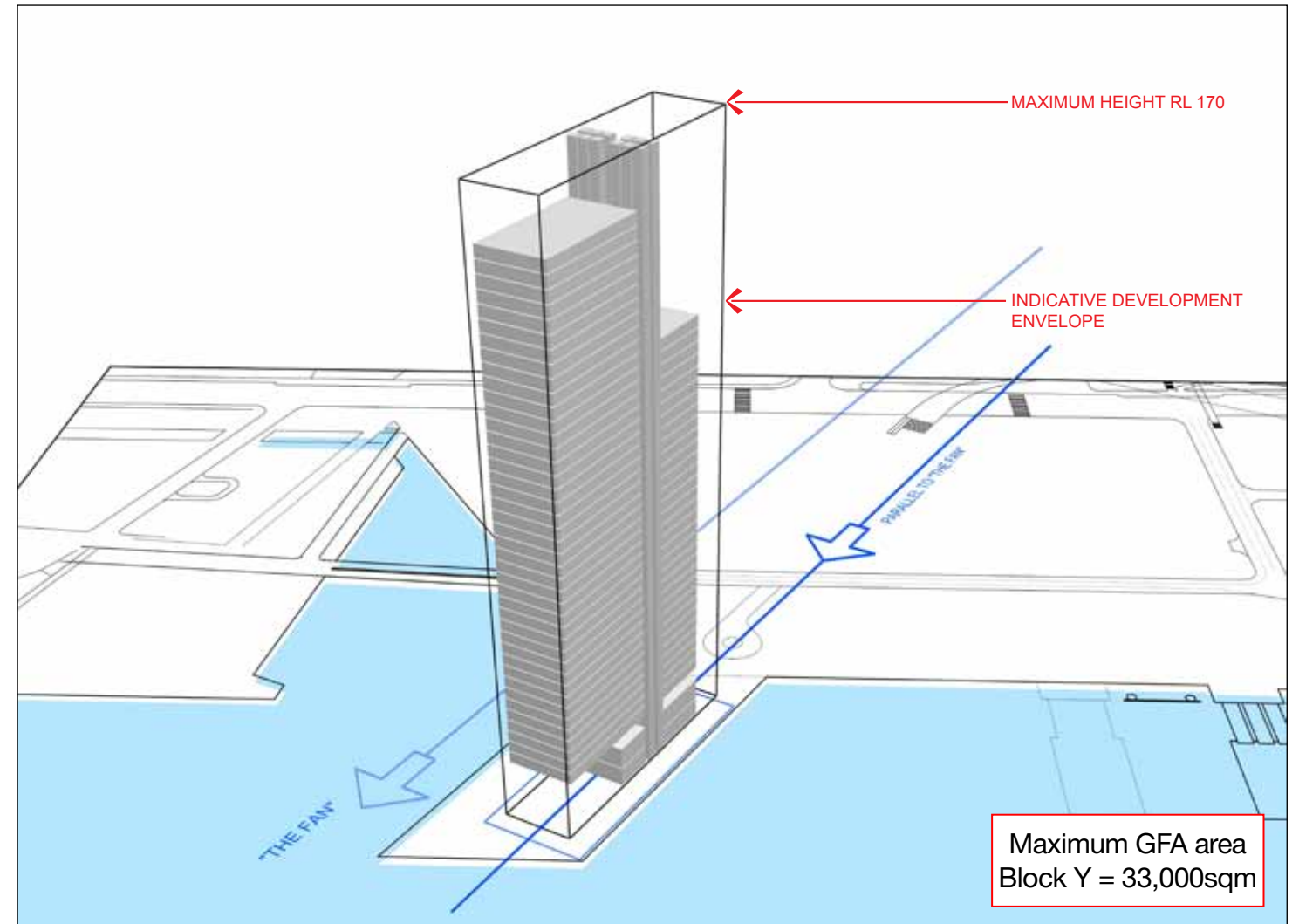
Objectives:

- Ensure an activated domain at street level with access to shops, lobbies, etc.
- Ground Floor retail uses will activate the waterfront.

Standard:

- At least 85% of the Ground Level is to be active on the primary Street Wall facades (North & West)
- Building entrances to internal areas such as residential lobbies, exit ways and service areas or loading docks shall be considered as part of the 85% active requirement.
- Building service areas, parking entrances and loading docks will not be located on the promenade with the majority of servicing occurring from the basement.

Urban Design Controls – Block Y



Control 1 Building Mass and Location

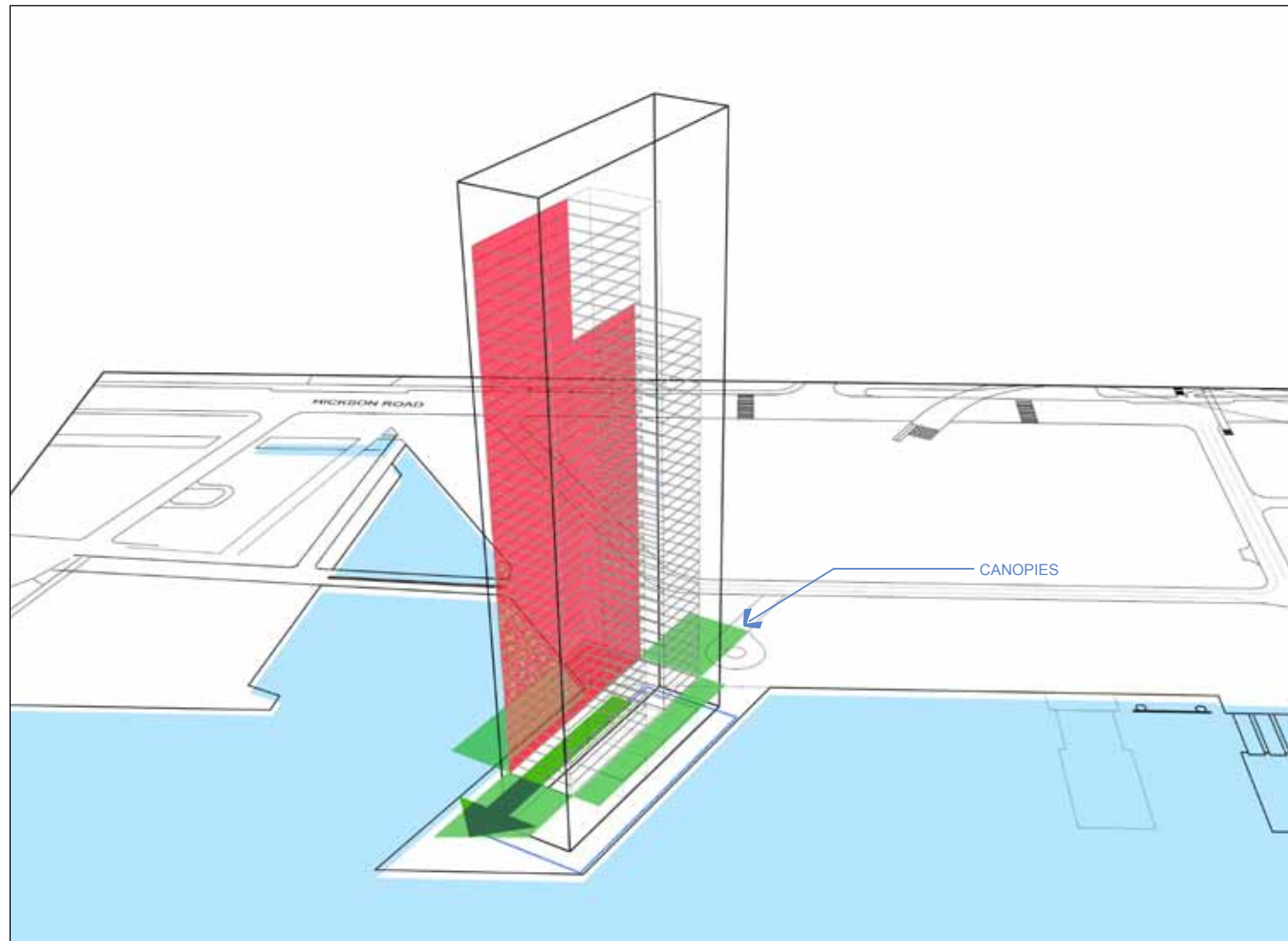
Objectives:

- To ensure building mass is appropriate within the envelope.

Standard:

- The South and North elevation will not exceed 80m in length or a width of 30m.
- The maximum footprint of the hotel is not to exceed 2,400sqm on a typical hotel floor.
- Guest rooms will not be lower than RL 20.
- General building orientation to respond to sustainability aspects.

Urban Design Controls – Block Y



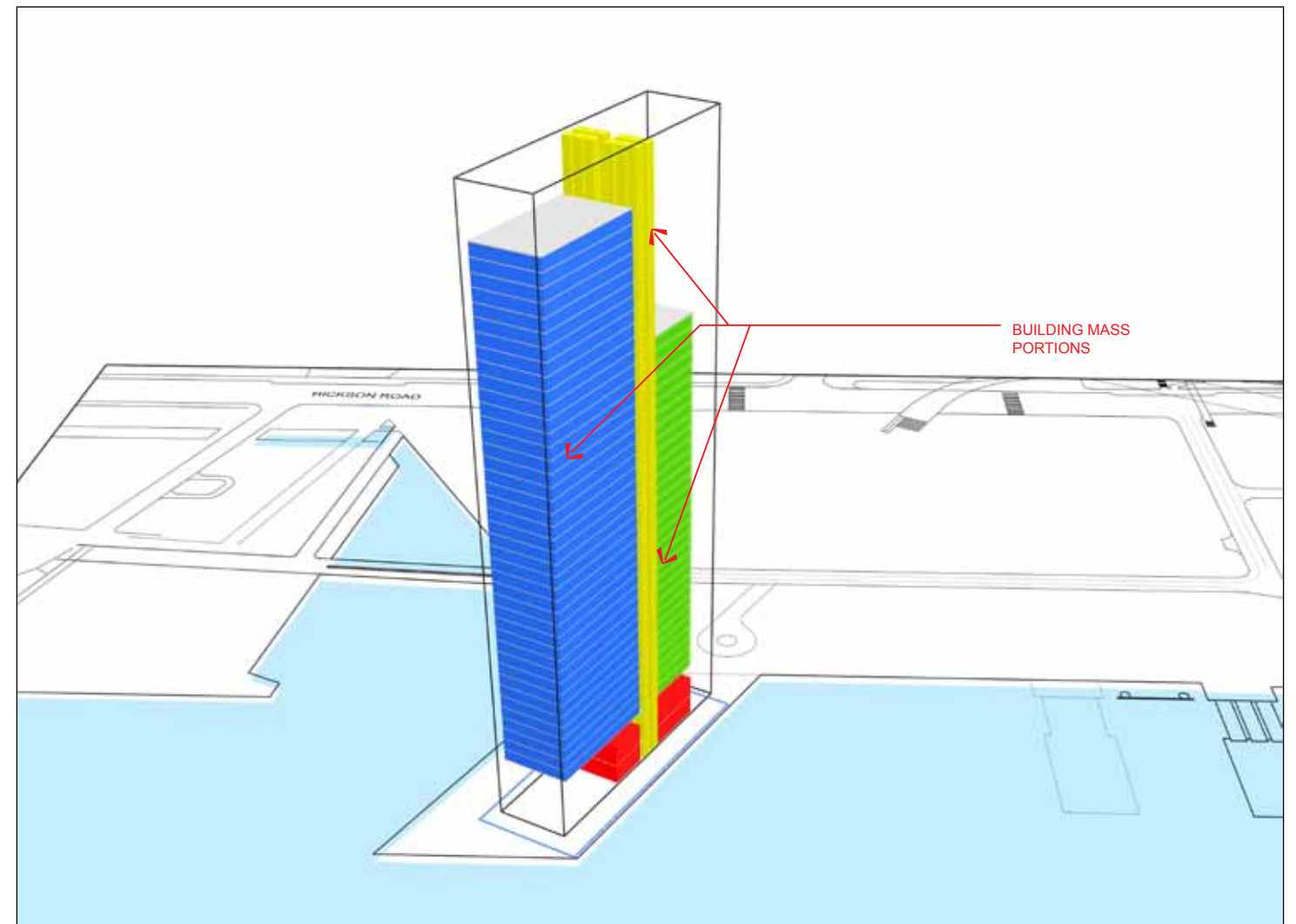
Control 2 Ground Plane & Building Orientation

Objectives:

- Prioritise the access to the public realm around the Hotel.
- Optimise solar access to external public spaces.

Standard:

- Canopies and their support may protrude beyond the block boundary to provide shelter and comfort for visitors and tourists.
- The building orientation is to minimise exposure to western solar gain but maximise daylight.
- The building orientation is to maximise sunlight to external public spaces.
- Uses at the lower levels of the building are to be open and inviting to the general public.
- Design and Structure to be a response to prevailing environmental conditions.



Control 3 Building articulation

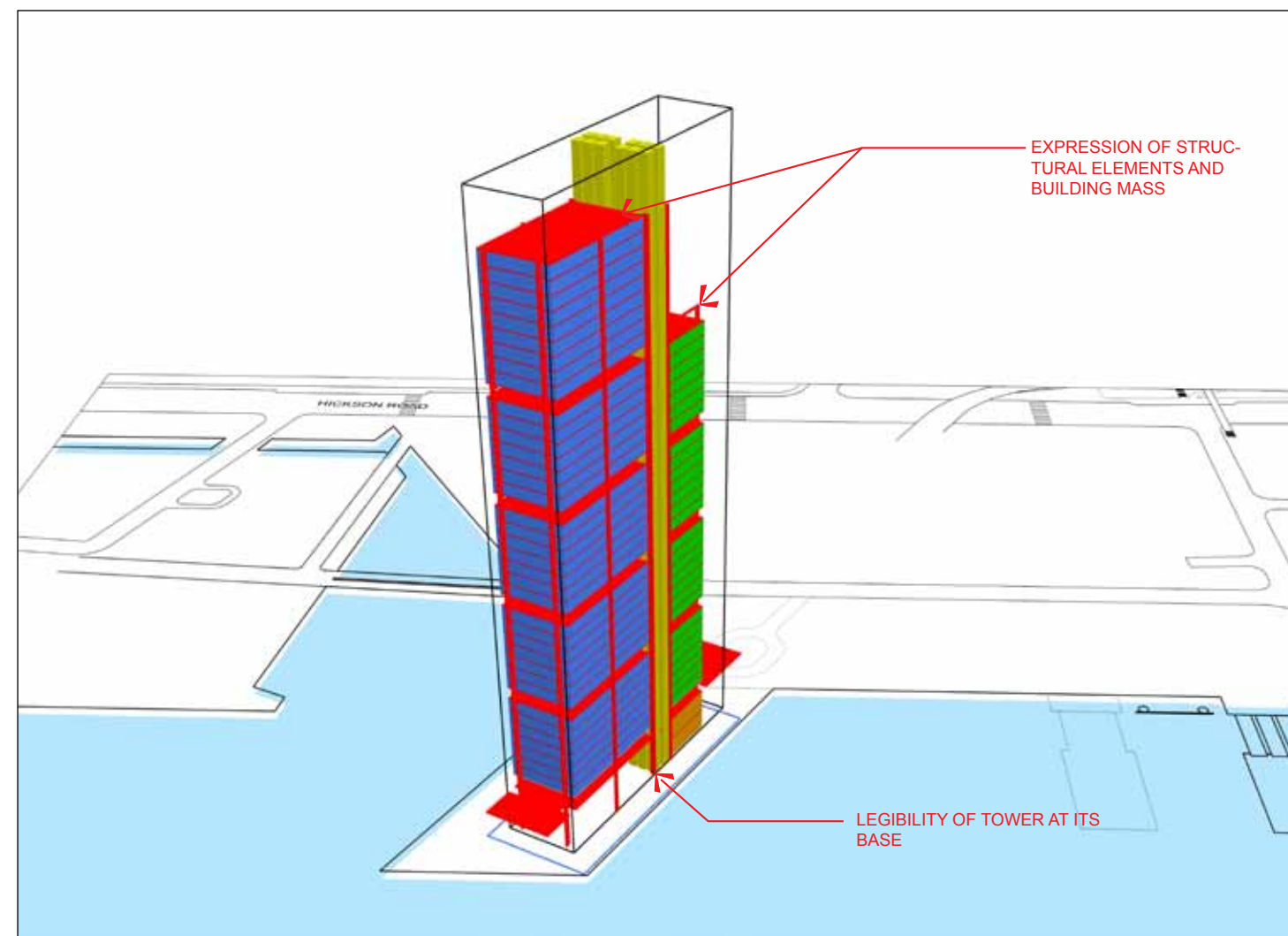
Objectives:

- To establish an articulated, well proportioned building mass.

Standard:

- To reduce the impact of the building's mass, the envelope and floor plates are to be articulated.
- Tower Form to express sustainability features such as access to natural light.
- The building mass needs to be articulated using building uses and functions.
- Building elements are required to moderate environmental conditions and be designed to enliven facades.

Urban Design Controls – Block Y



Control 4 Building Legibility

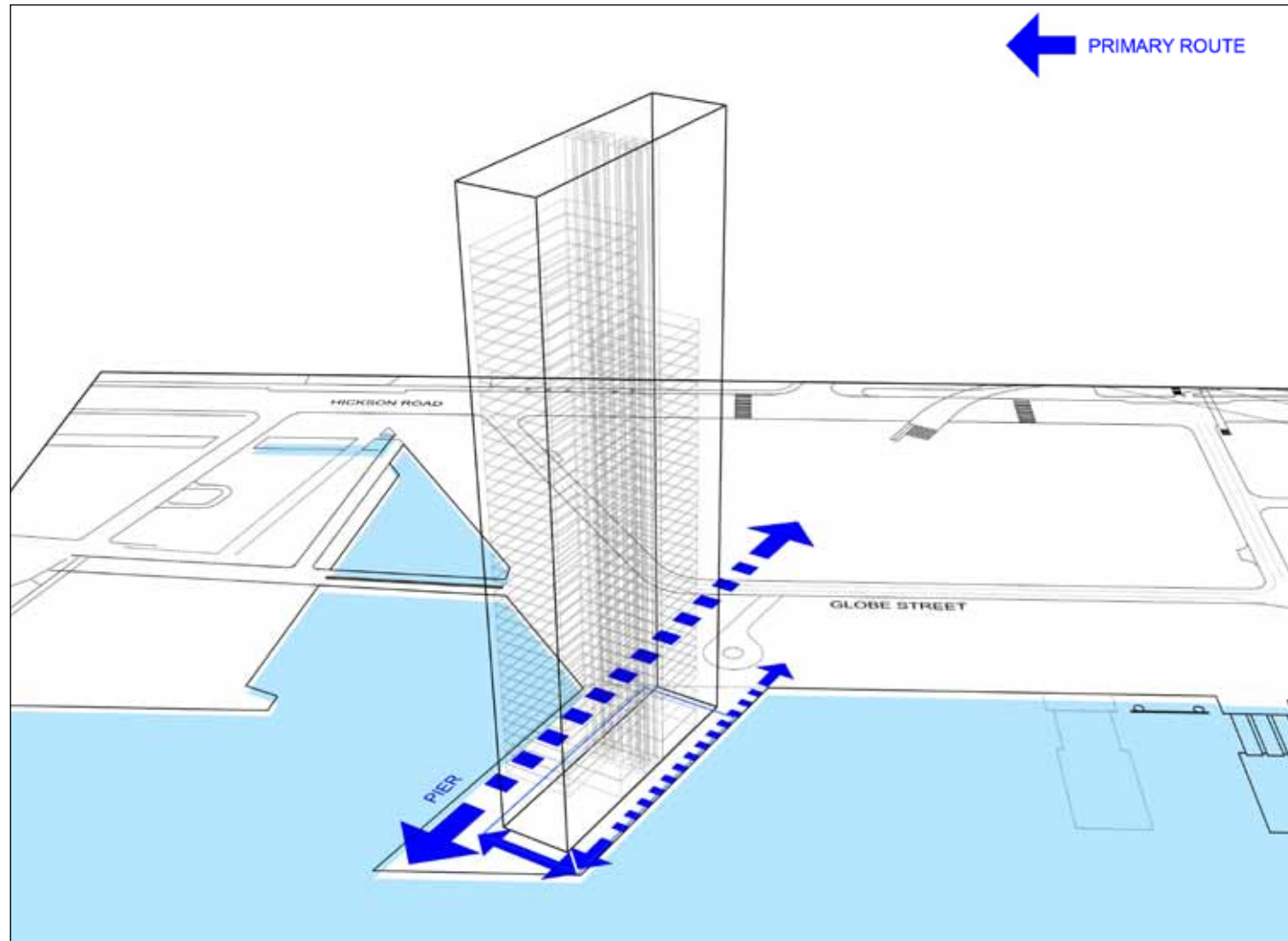
Objectives:

- Constituent elements of the building need to be articulated.
- The building elements and structure should be legible at the base.

Standard:

- The separate primary components of the building will be expressed and may include additional elements such as balconies.
- The exposed elements are to be articulated.
- Elements such as balconies, terraces, sun-shading etc. that create a sense of scale or rhythm on the facade are to be used to add to the richness of the architectural expression.
- The composition of the building envelope will clearly define a base, a middle and a top with well balanced vertical and horizontal proportions.

Urban Design Controls – Block Y



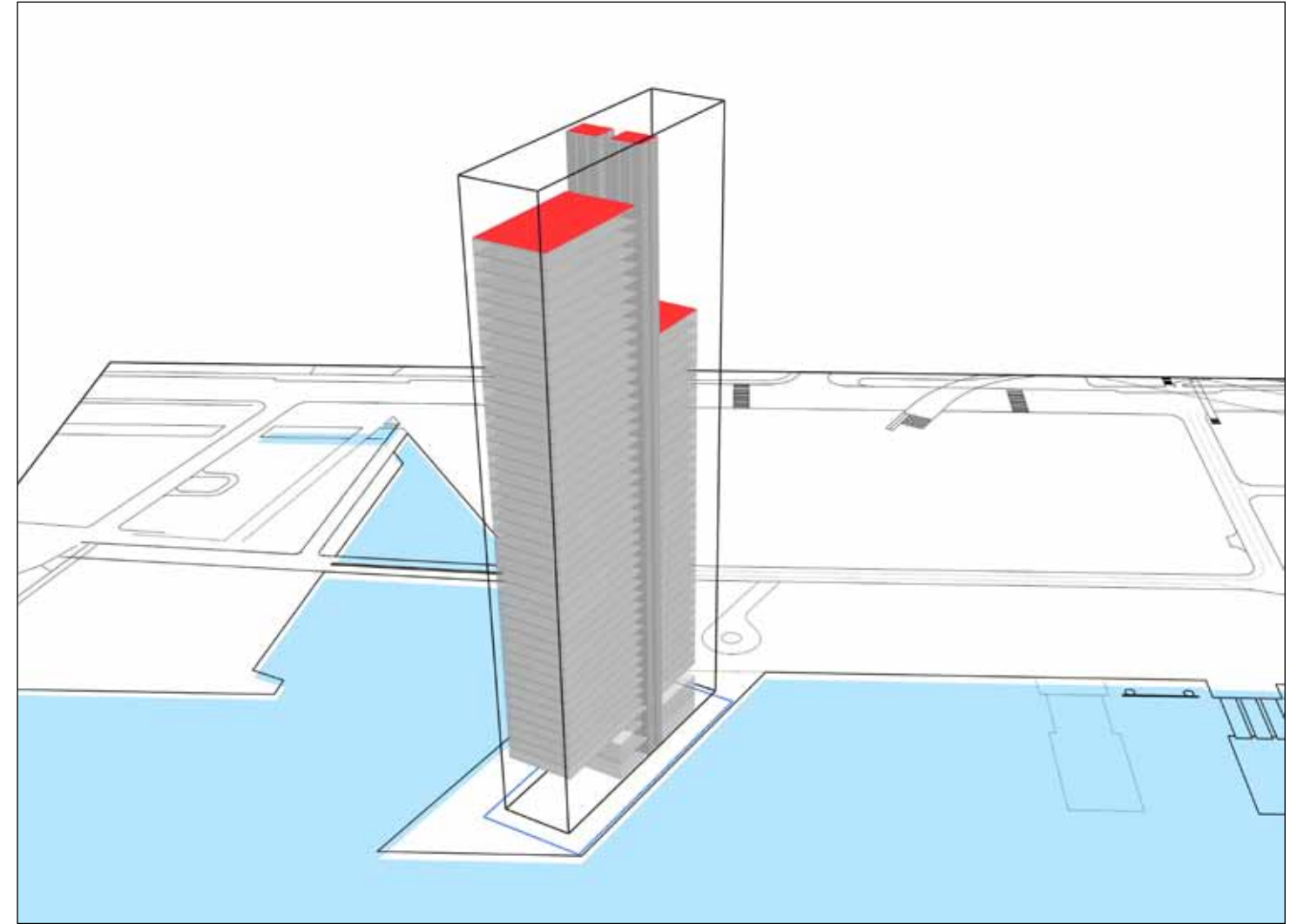
Control 5 Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.
- Continuation of Sydney harbour foreshore walk embracing the pier as a connecting piece along the journey.

Standard:

- Public access around the Block is to be maintained on all edges.
- Uninterrupted Public Access around the entire building to be provided.
- Building entries must be clearly articulated and be visible from the public domain.
- Building entries to establish a sense of arrival.



Control 6 Ensuring Quality of Rooftops

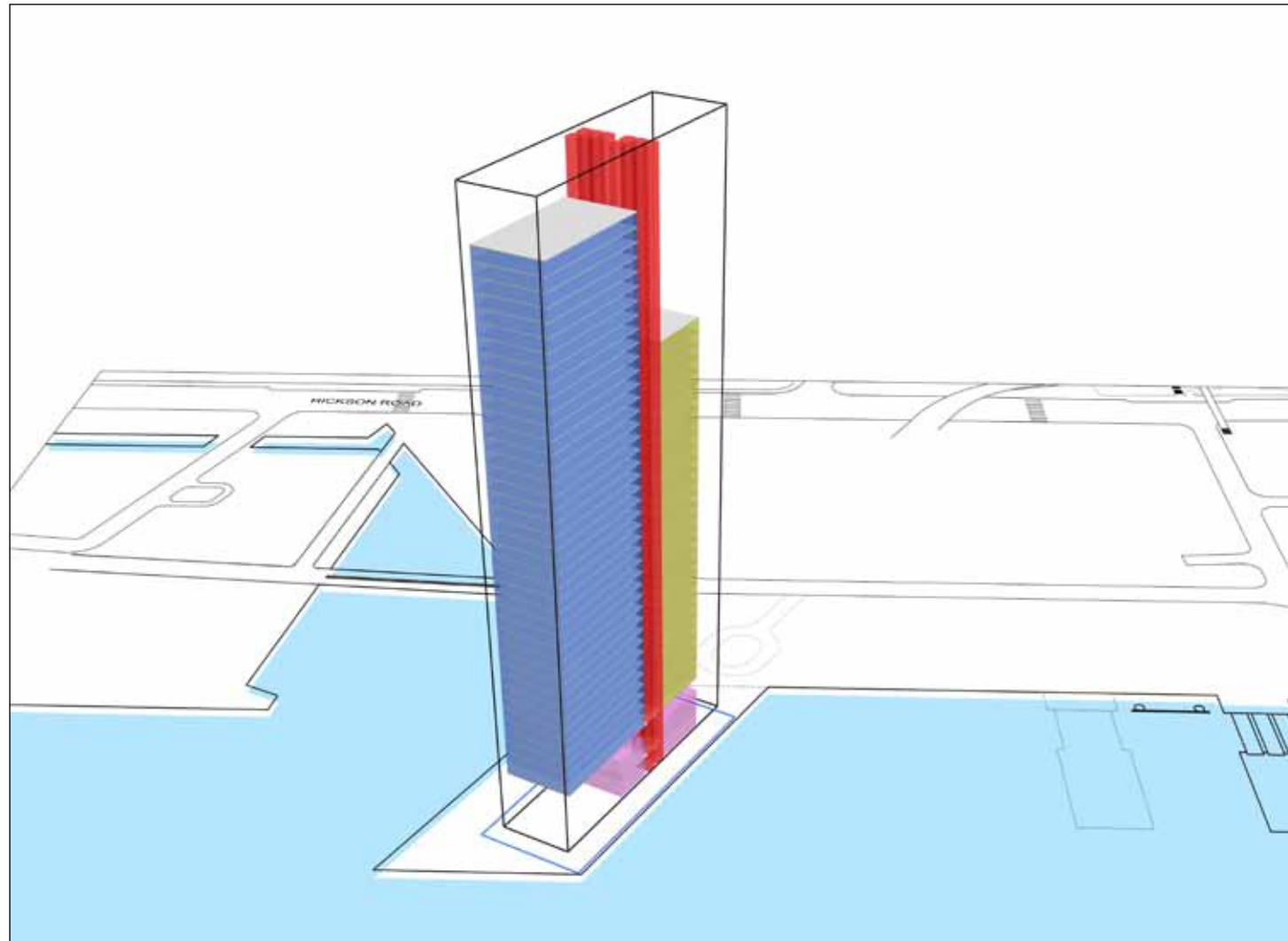
Objectives:

- The mass at the rooftop shall be articulated and legible.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Roof Design to integrate sustainable features.
- Public Access will be provided to the top of the building.

Standard:

- Architectural treatment of exposed elements such as lift shafts, overruns control rooms and any sustainability or architectural features shall add to the articulation of the roof.
- Roofs and terraces are to be landscaped and habitable where appropriate.
- Plant rooms to be architectural design elements or be concealed.
- Use of good quality materials (ie durable, hardwearing, sustainable).

Urban Design Controls – Block Y



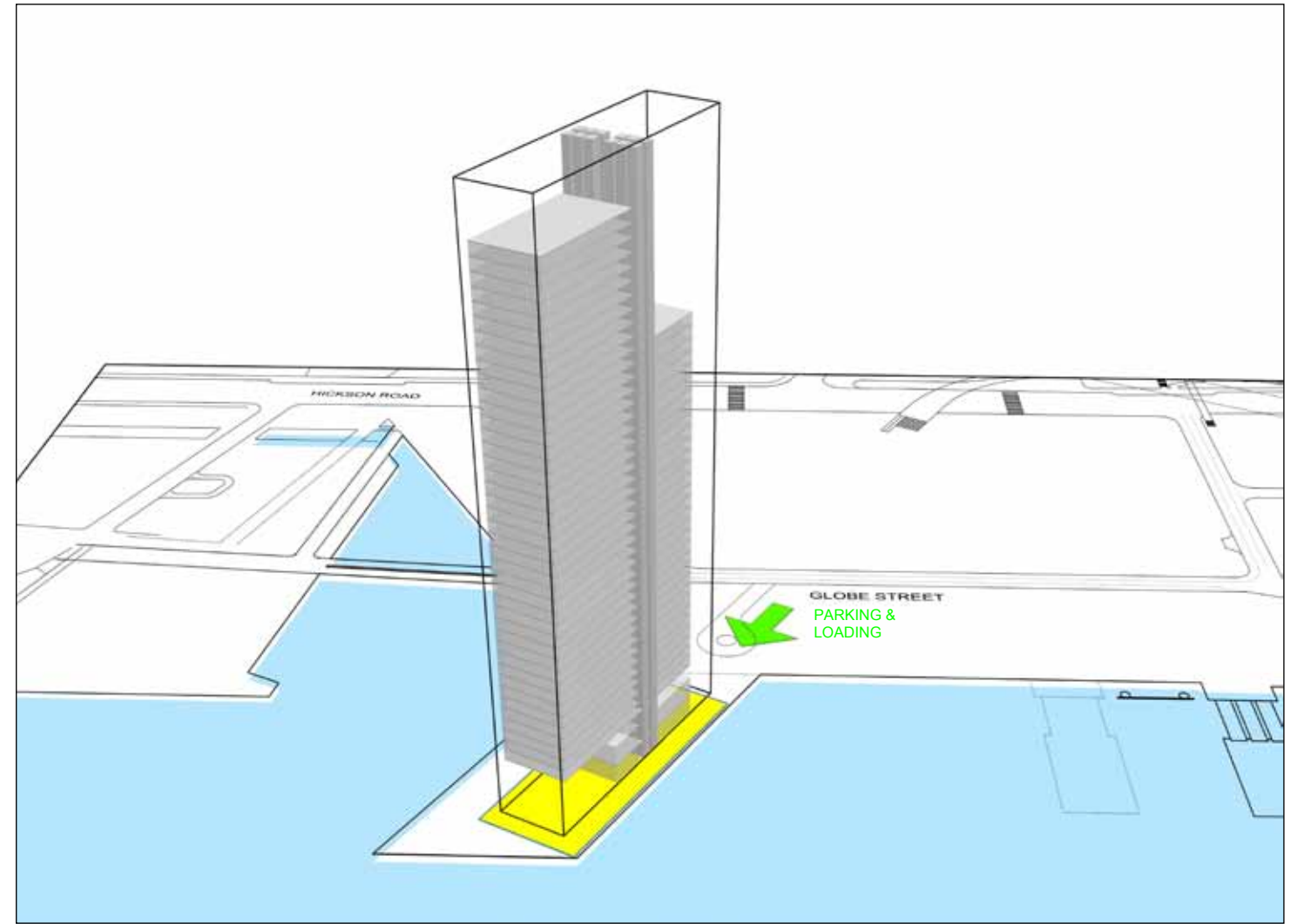
Control 7 Facades

Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to “carbon neutral” for Barangaroo South.

Standard:

- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium.
- Environmentally sustainable principles are to be incorporated into the design of all facades.
- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- Facade components such as external shading shall be used to provide light and shade to the building.



Control 8 Active Ground Plane

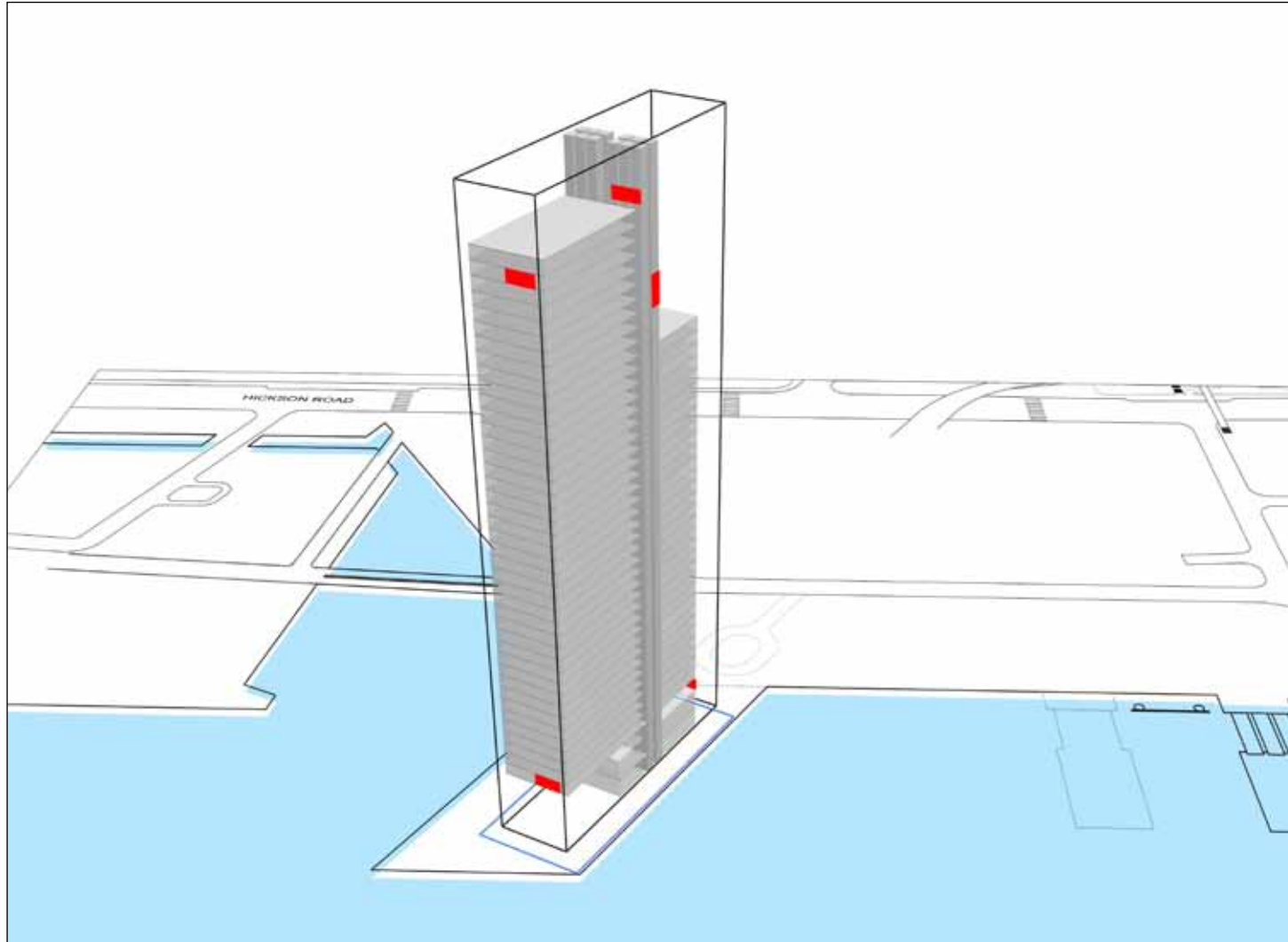
Objectives:

- Ensure an activated domain at street level.
- Openness and accessibility of building.
- Public uses at the base can be as enclosed or open spaces.
- Maximise natural light penetration to ground level public spaces

Standard:

- Public uses, including food and beverage/ dining that are located on the Ground Floor of the building are to provide access to the public domain and pier.
- Building services areas and loading docks will only be located in the basements. No loading or deliveries will be provided at ground level.
- The public gallery will be at the base of the building.
- Publicly accessible space at the base of the hotel that is not enclosed shall have a height of not less than a third of the dimension of its depth to a maximum of height of 15m.

Urban Design Controls – Block Y



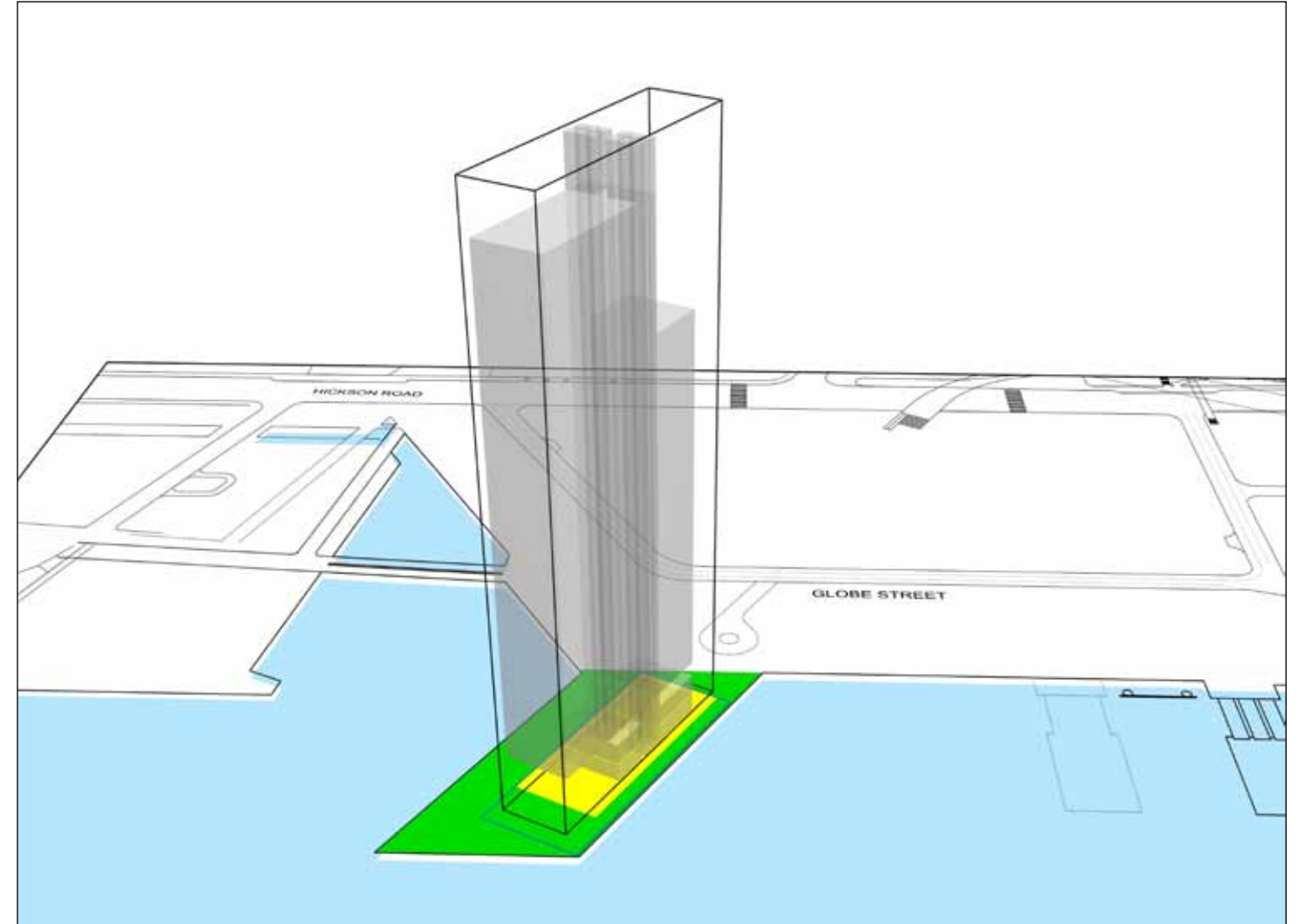
Control 9 Signage

Objectives:

- To ensure control over location, size, appearance and the quality of the signage on the building.

Standard:

- High level signage is limited to a maximum of four - one on each separate face of the building.
- Signage is not to exceed 30sqm per sign.
- Signage content is to be limited to hotel name and be incorporated in to the overall design of the facade.
- Details of signage to be considered as part of the overall design of the building for the purposes of Design Excellence.



Control 10 Public Access on Wharf Pier

Objectives:

- To control area and location of public accessible space on the new Pier.
- Public access to roof ensures social relevance of building

Standard:

- The public accessible area (green in diagram) will be at least 51% of the Wharf Pier.
- Provision of Public access to roof level.
- Ground Floor uses in the hotel are to be public uses which can include food and beverage / dining.
- The public/gallery space will be located at the western edge of the Block under the hotel.

