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INDICATIVE DRAWINGS
BUILT FORM PRINCIPLES
URBAN DESIGN CONTROLS

Introduction to Indicative Drawings, Built Form Principles + Urban Design Controls

This Chapter provides:

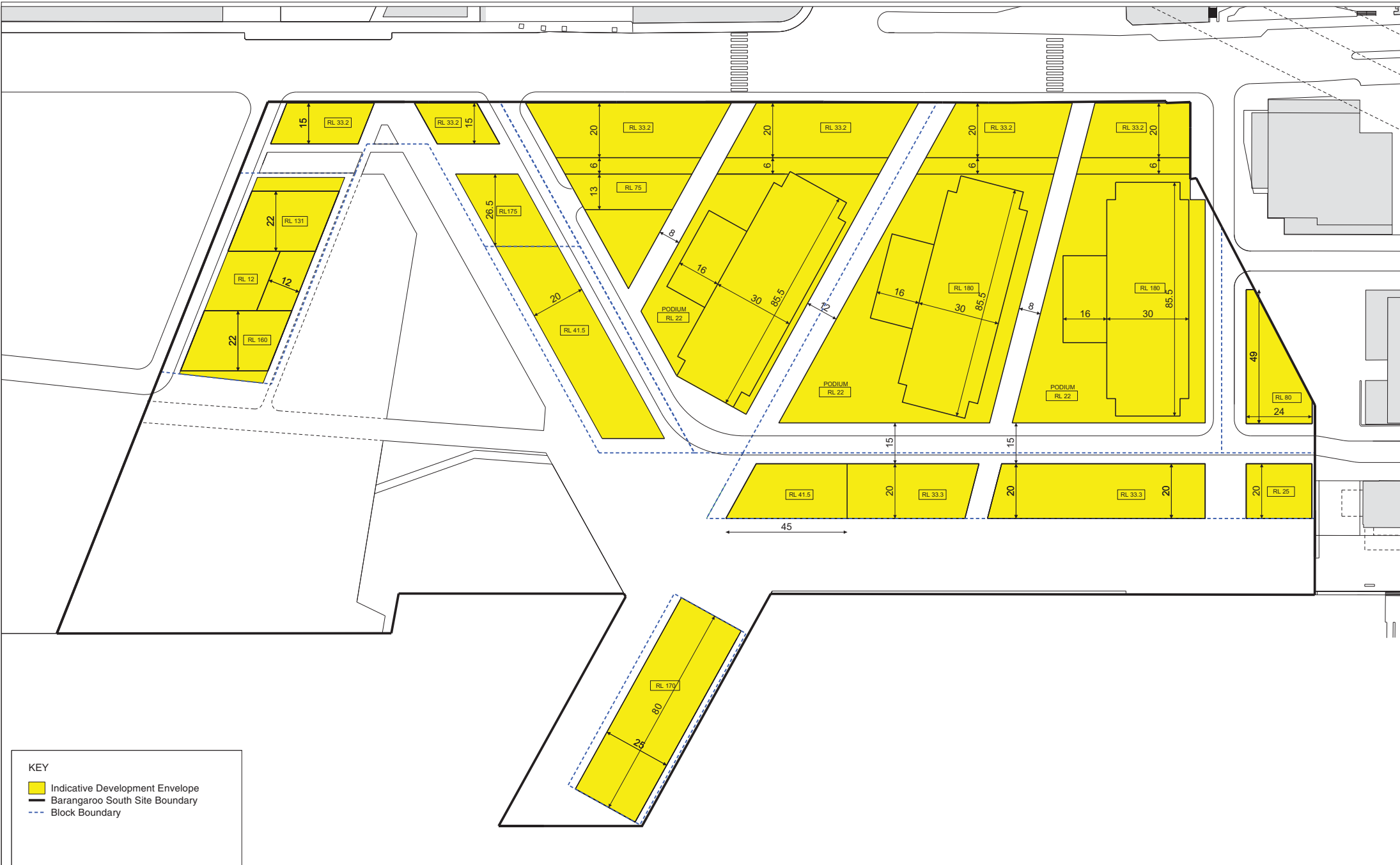
- Indicative Plans and Sections which have informed the new parameters for the proposed maximum height, maximum GFA and zoning; and
- New Built Form Principles and Performance Based Urban Design Controls to guide the built form and allow flexibility for the design of individual buildings and spaces, within the certainty of a structured framework.

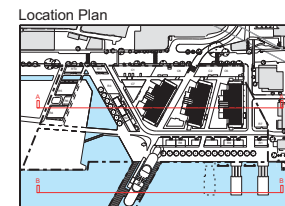
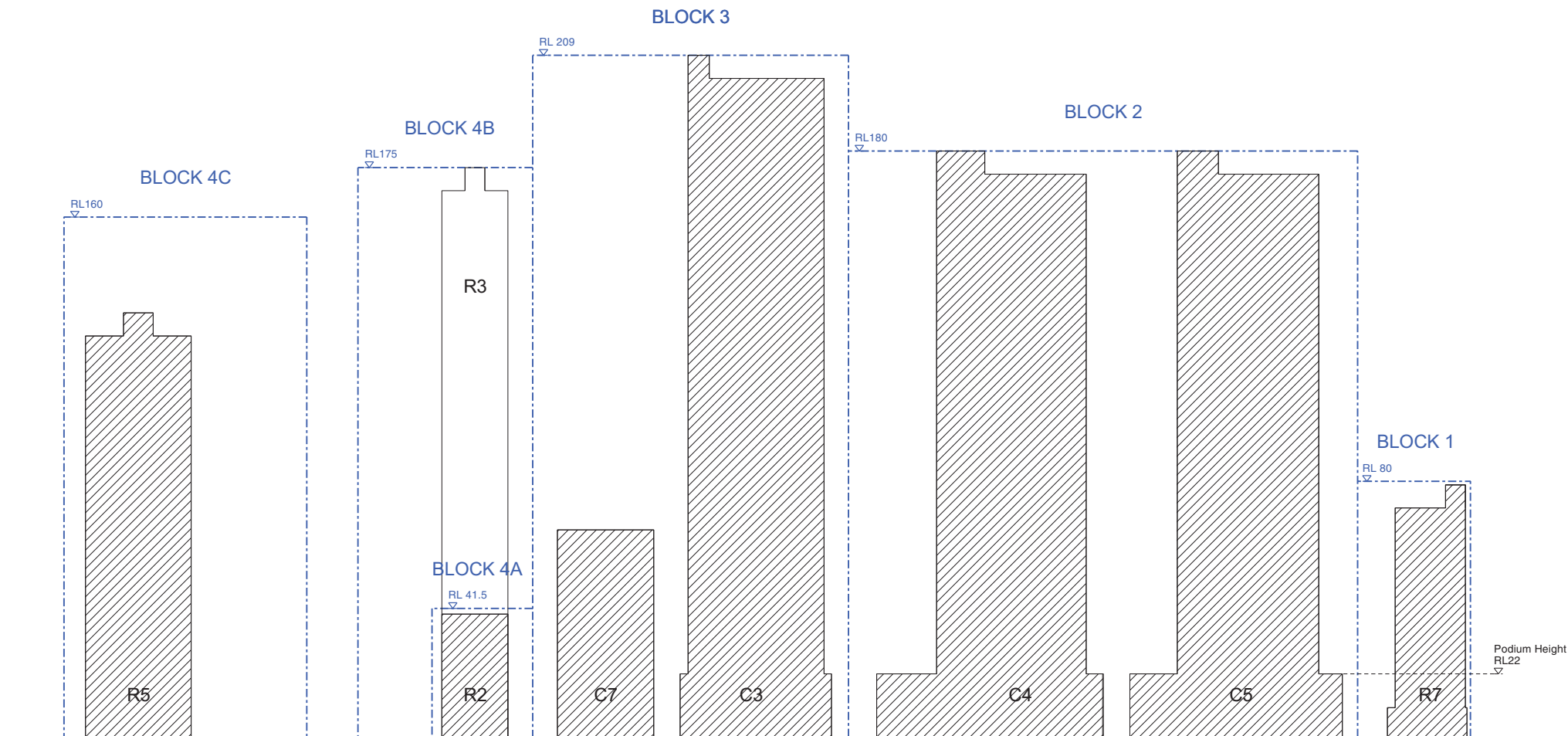
Area Disclaimer

Areas quoted have been measured from plans produced at Concept stage of the design and are approximate and illustrative only. Further development of the design, measurement and construction tolerances and/or further client/tenant requests will inevitably result in changes to these areas [which could involve significant reductions] and RSHP accept no legal responsibility for any decision, commercial or otherwise, made on the basis of these areas.

Notes:

Drawings are depictions of indicative built form only

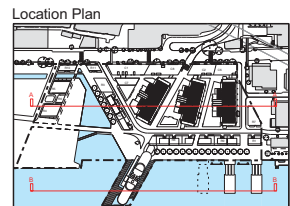
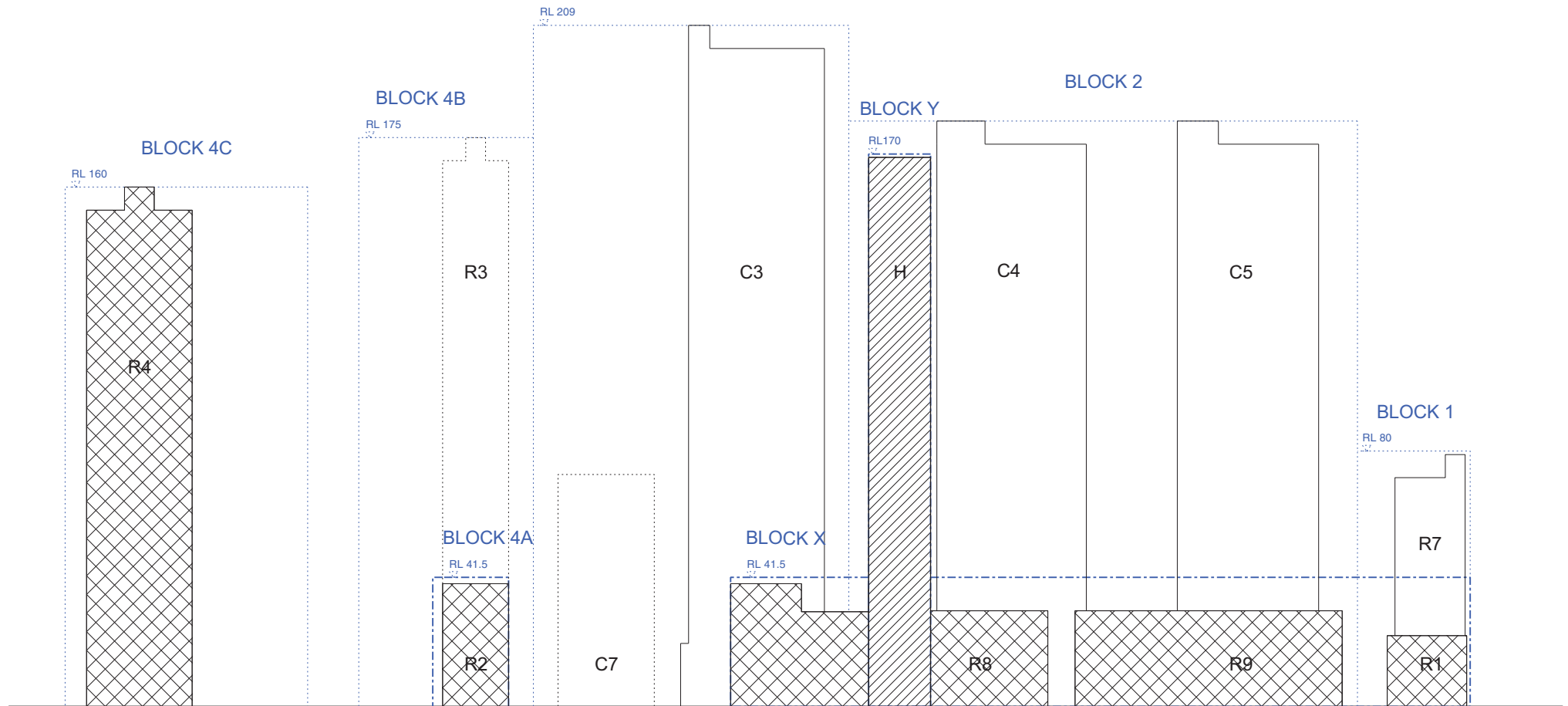




Scale: 1:1250 @ A3

Barangaroo South – Indicative Maximum Height Section AA

BLOCK 3



Scale: 1:1250 @ A3

Barangaroo South – Indicative Maximum Height Section BB

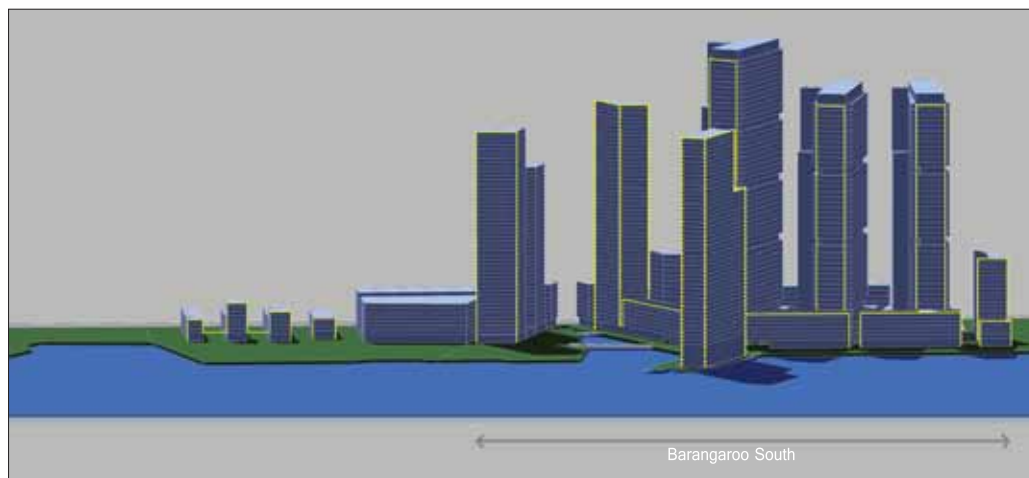
BUILT FORM PRINCIPLES

Built Form Principles



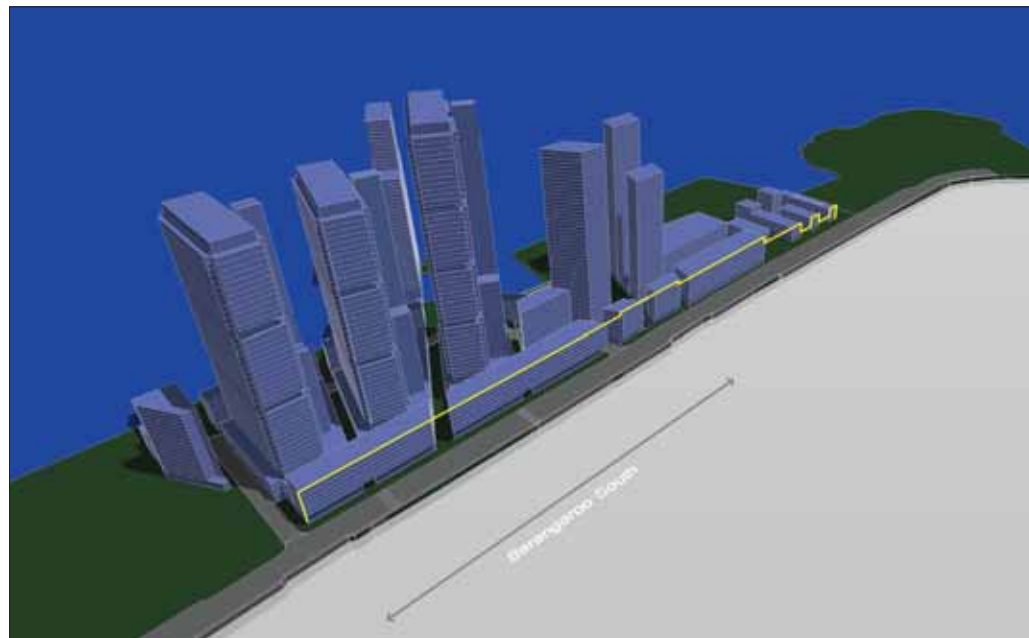
1. City's New Western Façade

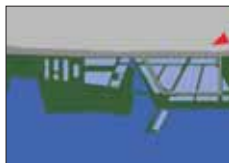
To create an integrated new western frontage to the city centre, the slender ends of buildings (above podium level) are to be oriented to the waterfront to define an open silhouette. A new ribbon of residential units facing the waterfront will mediate the scale between the tower forms and the public promenade on the waterfront.



2. Hickson Road as a Boulevard

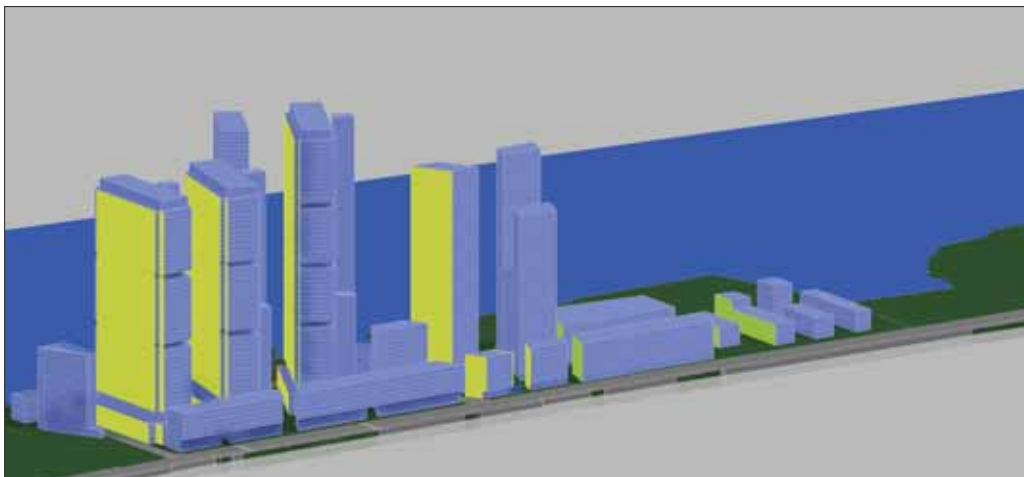
To promote the scale of Hickson Road as a grand boulevard, buildings are to provide a consistent street wall to Hickson Road and use a palette of materials that are complementary to the sandstone nature of the headland.





3. Buildings to Define Streets

To define the public space of the street, building façades are to be set to the street alignment with respect to the differing characters, scales and activation of the streets.

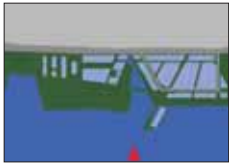


4. North South Pedestrian Connection

To provide for greater pedestrian permeability through the blocks which relate to pedestrian desire lines. On Blocks 2 to 4 a continuous mid-block pedestrian connection [Shelley Lane] at ground level which is not less than 6m wide and not less than 50% open to the sky and has a minimum clear height of 2 storeys. In addition, a sequence of mid block north-south pedestrian links at ground level, which are 4-6m wide and a minimum clear height of one storey and open 18/7.

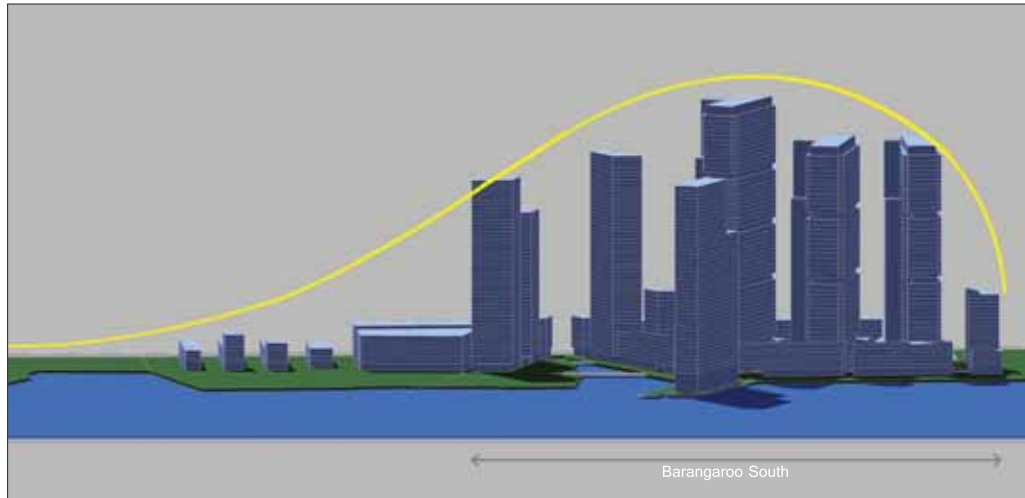


Built Form Principles



5. Tapering Built Form

To continue a built form dialogue with the adjoining city, building heights across the site are in keeping with the rest of the city, with the highest form at the centre of the scheme.



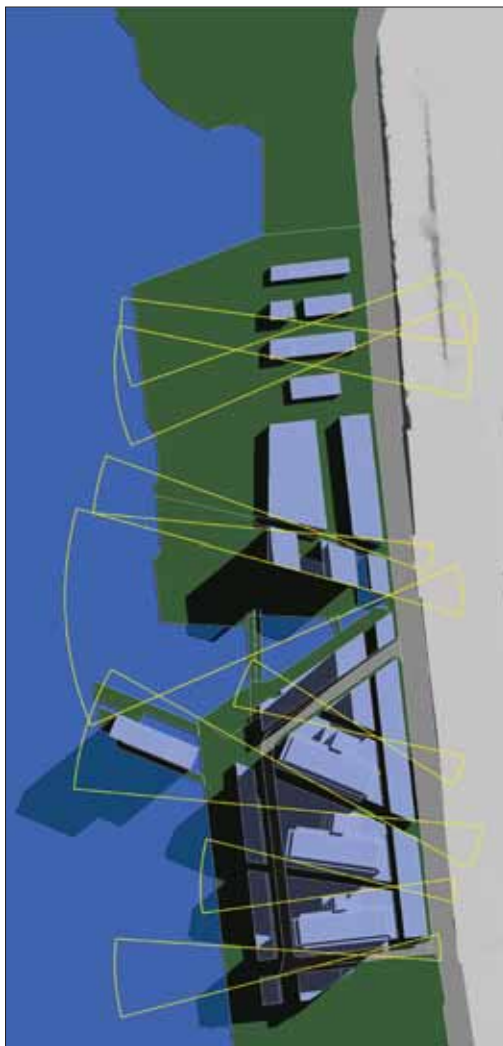
6. Open Space Within Blocks

To create hollow blocks permeated with open space, courtyards, walkways and gardens, the central band of the accessible podium roof interrelate with the ground plane and intermediate levels.

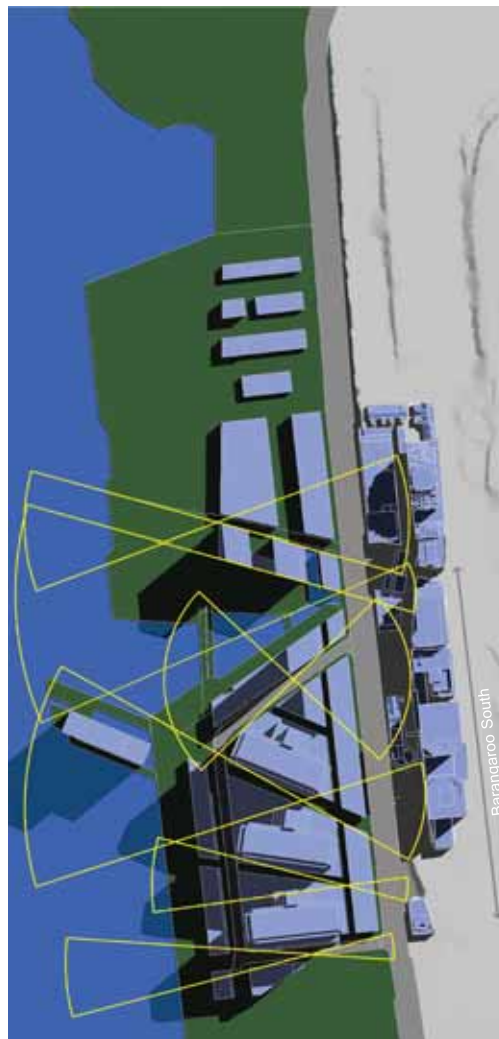
To create a fine grain structure of laneways and streets permeating the blocks, as well as open space at podium level between the tower forms.

7. View Sharing

To promote the equitable access to views towards the harbour, the built form is to be arranged to define the street corridors and to allow view corridors from the existing private buildings to the east.



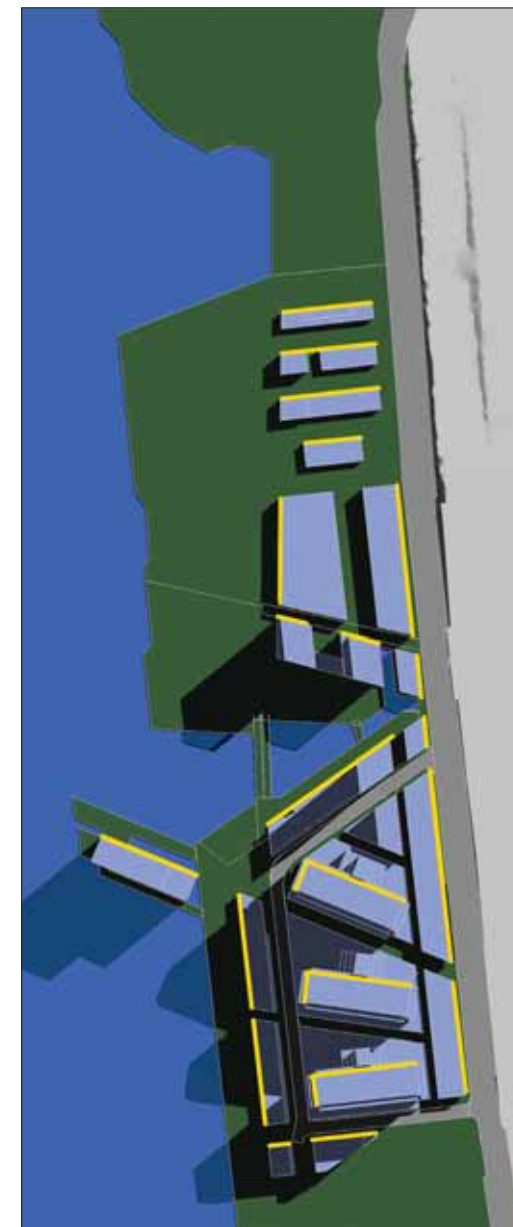
Low Level view cones



High Level view cones

8. Orientation of Buildings

To provide optimum orientation and transparency across the site and to create a silhouette of slender towers to Globe Street, Hickson Road and the waterfront, the long façades of tower forms are to be oriented to the north. However, on Hickson Road and the waterfront promenade, the long façades are to be generally orientated to the east to define the linear nature of this road and promenade,



URBAN DESIGN CONTROLS

Dimension Disclaimer

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These Urban Design Controls have been created to guide the future design and development of the buildings within Barangaroo South. They are intended to be used as a tool to achieve design excellence and a built form that is appropriate within the context of the existing CBD and the human scale. To this end, future project applications should aim to demonstrate consistency with these Objectives and Controls. Where a future design varies an applicable Control or Standard, any such variation will need to be adequately explained and considered in the project application documentation.

The Objectives within this document describe what the relevant Control is seeking to achieve. The Standards provide an example of how the Objective may be achieved through the building design. It is not intended that these Standards, Controls or Objectives become a set of prescriptive design requirements. This has specifically been avoided to allow for innovation, creativity and alternative design solutions to be achieved on each of the development blocks. The diagrams included are to provide a visual representation of how the building form, massing and articulation may be translated into the future designs (they are merely design possibilities and should not be viewed prescriptively).

The Urban Design Controls cover a range of urban design elements that are considered to be appropriate to facilitate the overall success of the mixed use development. The Controls are set out below.

Control 1: Building Mass and Location

By defining the diagrammatic building mass within the limits of a development envelope, this Control illustrates a simplified distribution of mass. The applied GFA is assigned to individual or combined Blocks, along with the bulk of mass located within these.

Control 2: Street Wall Establishment

A Street Wall is the part of a building that faces and defines the street. It functions in collaboration with a grouping of buildings to define the pedestrian environment & provide cohesion to the street experience. A well-defined and active sequence of Street Walls will improve the pedestrian experience and help to promote walking by fostering a sense of safety through passive surveillance. The Street Wall should be human in scale and promote interest and variation at eye level.

Control 3: Building Articulation

Articulated building mass adds visual interest, enhances the play of light and shade, along with scale and proportion to the built environment. The importance of this aspect is explained diagrammatically with this Control.

Control 4: Building Legibility

Emphasises the elements of the building by making them legible in the overall built form. The use of architectural components such as structure, building services, cores, circulation, transparency, and the use of colour are all inherent and valid features of a building.

Control 5: Ground Floor Permeability and Accessibility of Public Realm

Physical permeability and public accessibility through and around buildings enhances the quality of the urban space. Visual permeability allows for orientation, placemaking and helps to bring life to public space. It enhances the perception of security by promoting visual connections between spaces and streets for the users.

Control 6: Ensuring Quality of Rooftops

The relationship of the buildings in Barangaroo South will contribute to the skyline and morphology of the city. Key to this is the spacial relationship of the rooftops and the heights between the buildings.

The roof is a buildings' fifth elevation and the quality of its design is important when it is overlooked by the surrounding city. Much of the built-form in Barangaroo South will be overlooked either from within the site or from existing buildings to the east. Plant and roof equipment should be designed & coordinated to have a positive visual impact.

Control 7: Façades

The quality of facades will be driven by: functional requirements, flexibility, environmental sustainability, proportion, transparency, visual appearance, light and shade, colour, materiality and tactile experience.

Control 8: Active Street fronts

Generating activity around the base of the building is imperative to the public domain. Activating uses may include retail, restaurants and services. Accessibility and openness of buildings are highlighted here.

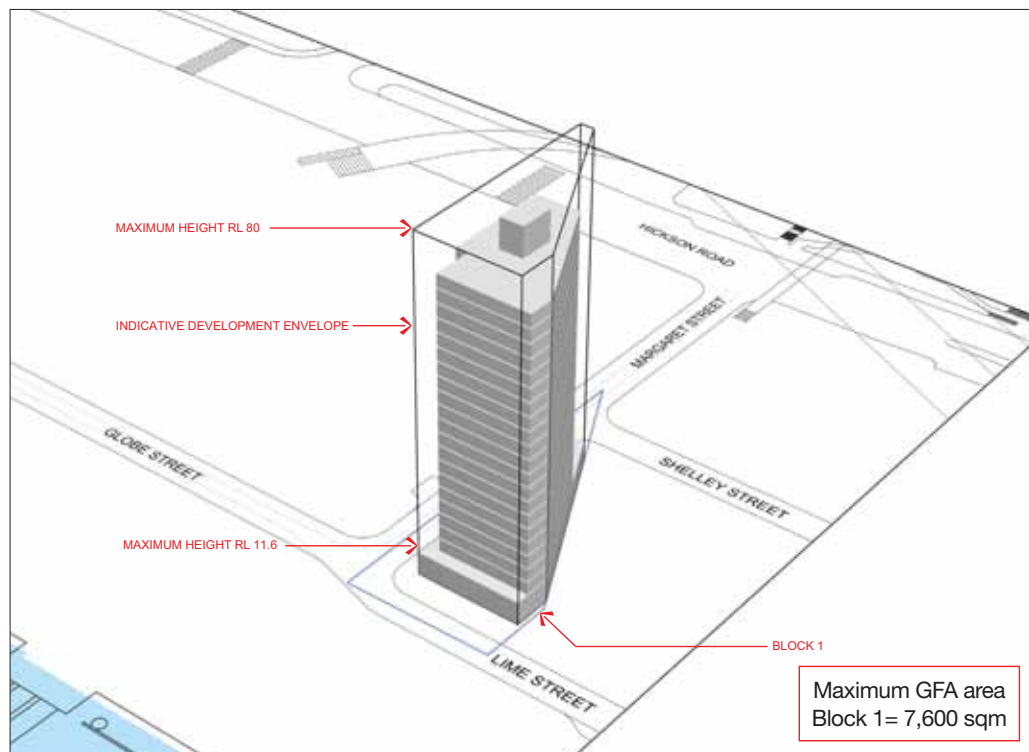
Control 9: Signage

Signage should be integrated into the architecture. The quality of the signage relating to its location, size, materiality and illumination is to be carefully considered.

Control 10: Public Access on Wharf Pier

The importance of public accessibility to the pier around the new landmark building is described with this control.

Urban Design Controls – Block 1



Control 1 – Building Mass and Location

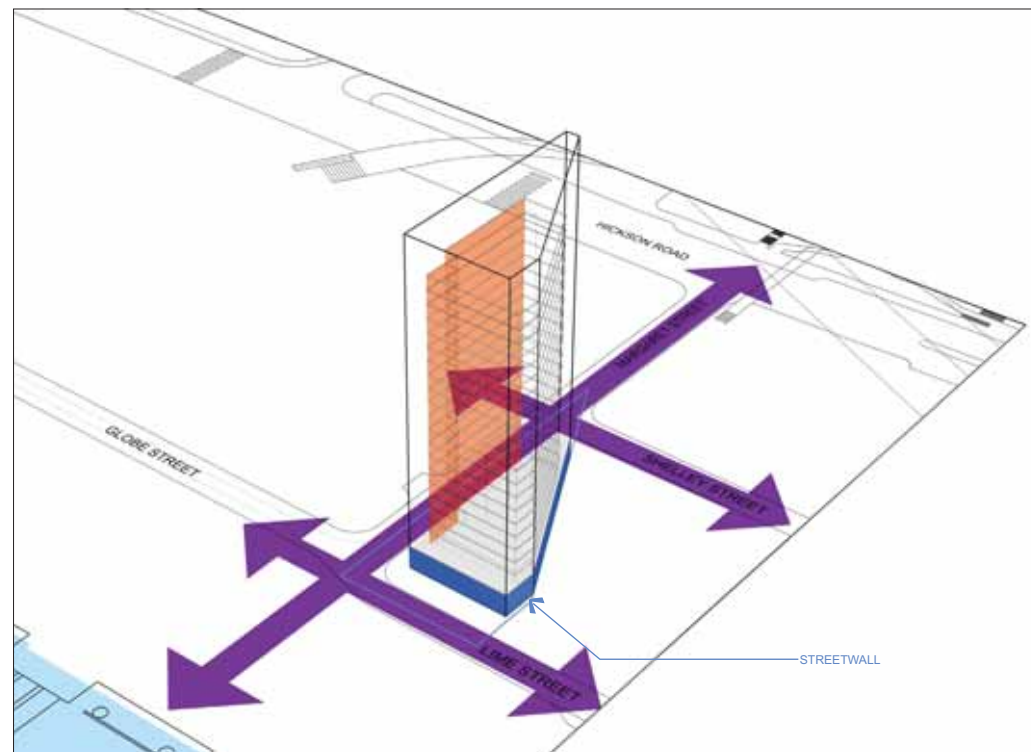
Objectives:

- To ensure building mass is appropriate within the envelope.

(Please note: The illustrated building mass inside the development envelope is a potential distribution of mass shown for illustrative purposes only)

Standard:

- Above street wall on western and eastern façade to have a minimum 3m setback. Balconies are allowed to fill the setback zone.



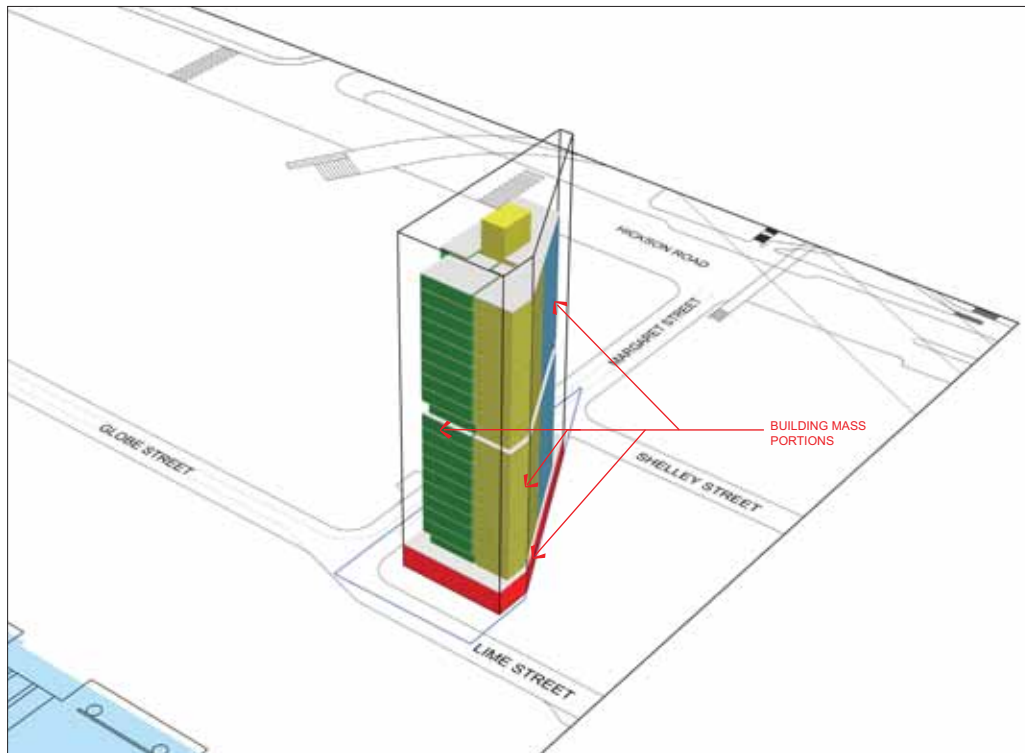
Control 2 – Streetwall Establishment

Objectives:

- Streetwall defines Margaret Street West and the extension of Lime Street.
- To ensure an active streetwall is established around each Block.

Standard:

- The building mass at the podium is to form a continuous street wall around the site with a 1 storey minimum and a 2 storey maximum for a minimum of 85% of the site perimeter.
- Streetwall to be no greater than 11.6m RL.
- Northern Façade is to be primary Streetwall.
- At least a portion of each side of the tower above podium level is to be parallel to the street.



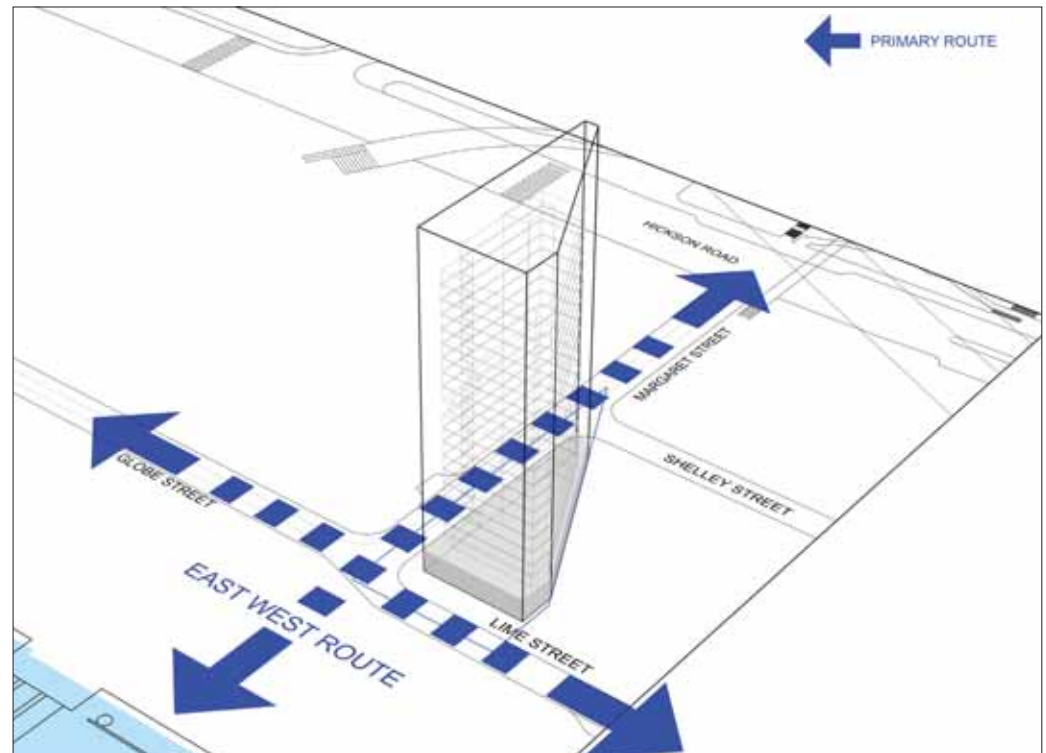
Control 3 – Building Articulation

Objectives:

- To establish an articulated, well proportioned building mass.
- Consistent elements of the building should be articulated.

Standard:

- Above street wall on western and eastern façade to have a minimum 3m setback. Balconies are allowed to fill the setback zone.
- Streetwall to be no greater than 11.6m RL



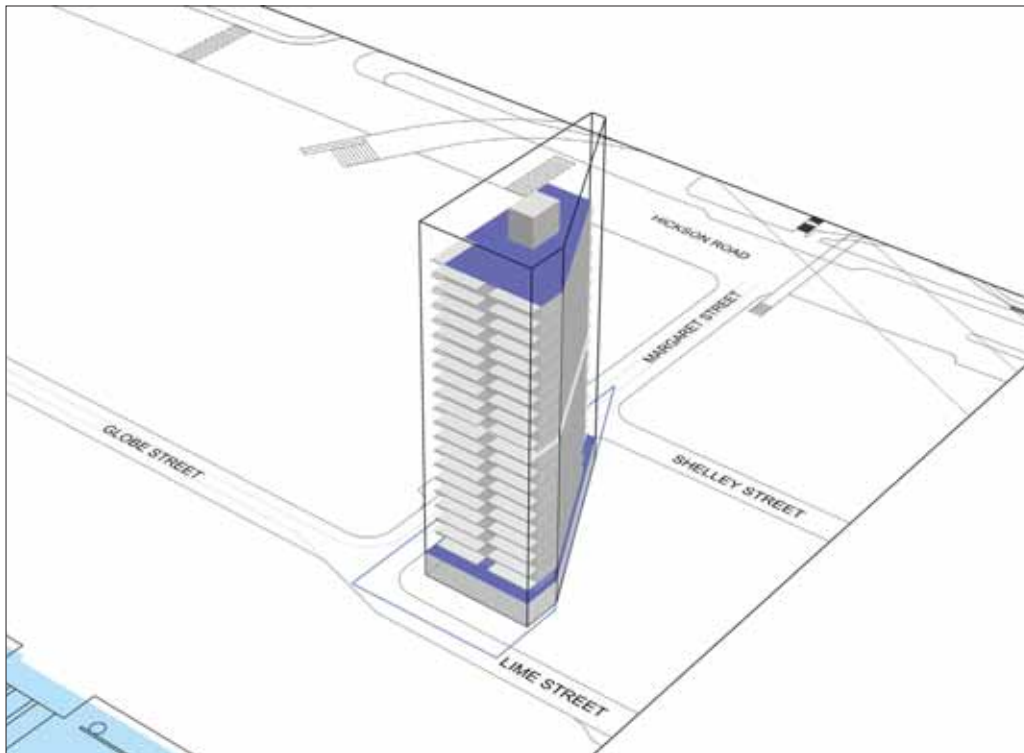
Control 4

Ground Floor Permeability + Accessibility of Public Realm

Objectives:

- To ensure sufficient legible and accessible routes through Barangaroo South.

Urban Design Controls – Block 1



Control 5 Ensuring Quality of Rooftops

Objectives:

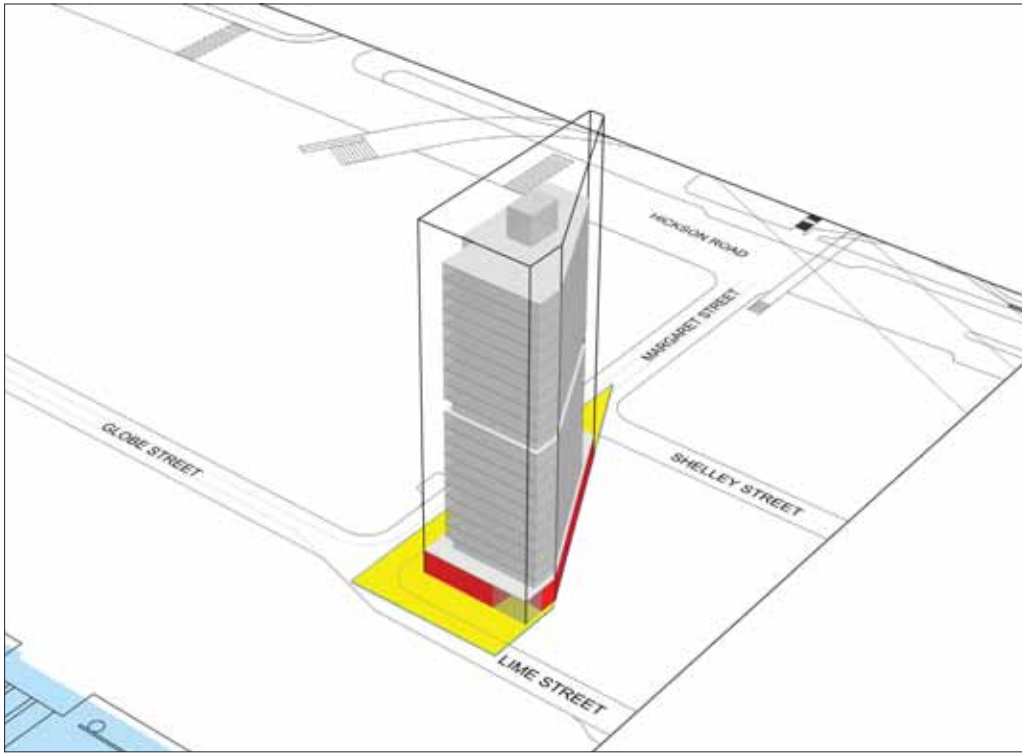
- To ensure an articulated tower volume.
- To ensure architectural quality of the roof.
- To ensure consistency of night time lighting.



Control 6 Articulated Façades

Objectives:

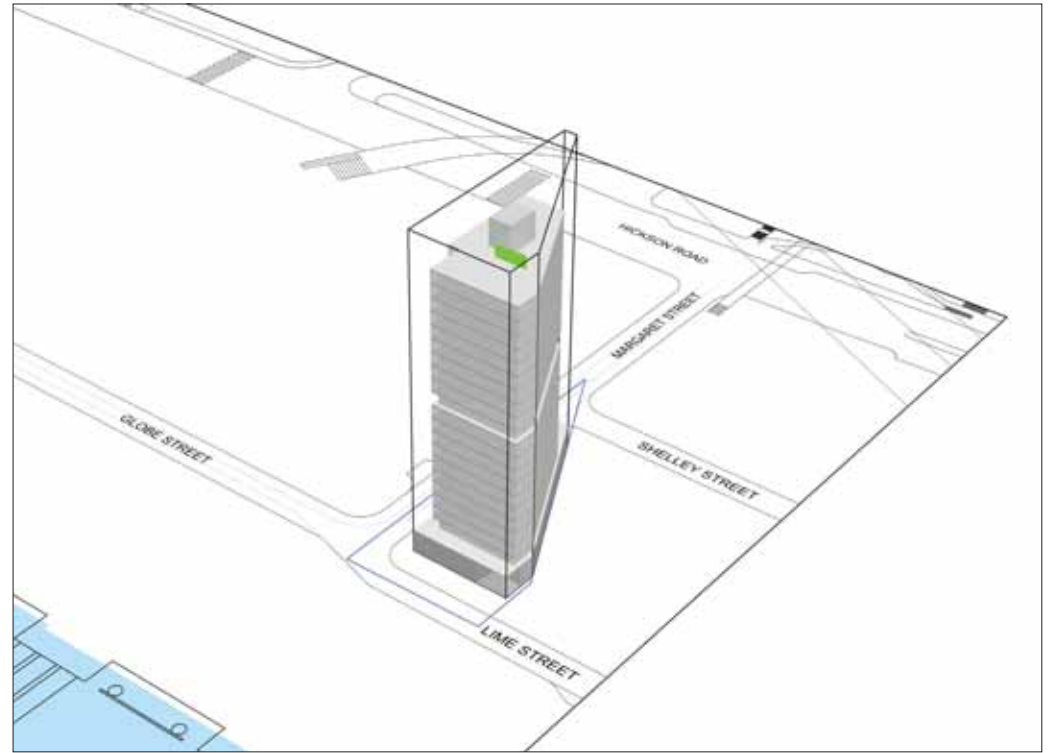
- To ensure quality of façades.
- To articulate building functions and massing with appropriate cladding design and detailing.
- Steel, glass, concrete and aluminium as primary materials for all façades.
- To ensure that building façades are articulated to define building massing.
- Application of external shading devices to ensure depth and interest of visual appearance.



Control 7 Active Streetfronts

Objectives:

- To ensure a vital public domain will be created at street level.
- Building service areas, parking entrances & loading docks will not be located on Lime Street.



Control 8 Signage

Objectives:

- To ensure control over location, size, appearance and quality of signage on buildings.
- Signage is limited to a maximum of 2 opposite faces per building.

Urban Design Controls – Block 2



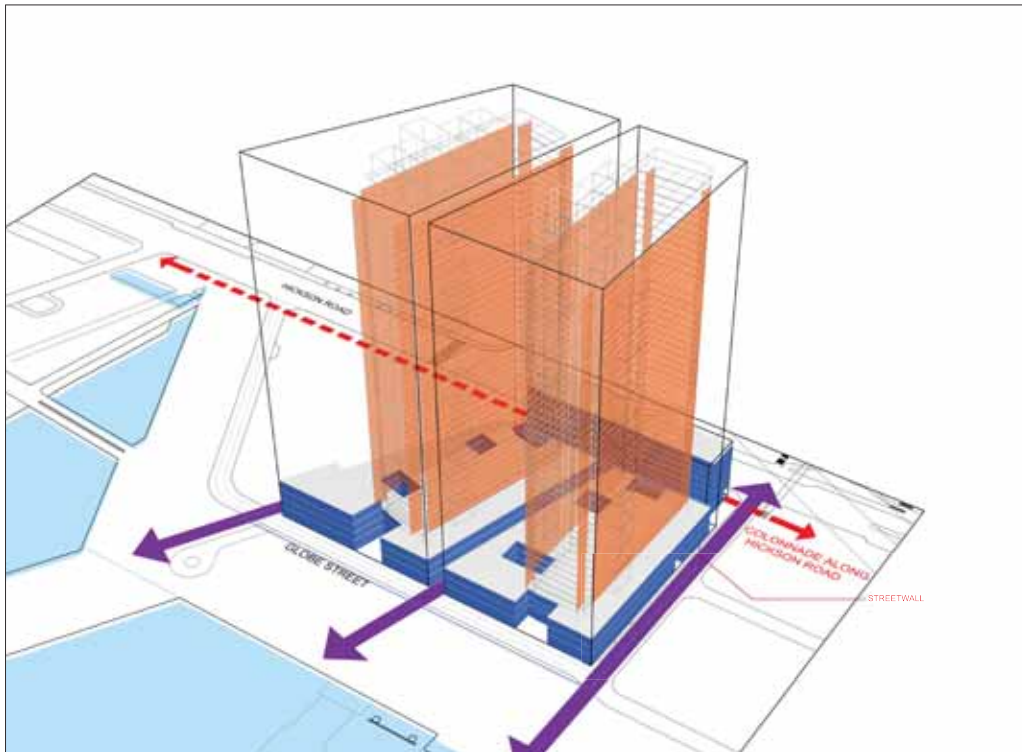
Control 1 Building Mass and Location

Objectives:

- Adoption of “fanning principle” for siting of buildings.
- To ensure building mass is appropriate within the envelope.
- To ensure that the vertical massing of tower form is an integral part of the composition of towers

Standard:

- The length of the horizontal floor plate of the North and South elevation of the tower form is to be no more than 85.5m.
- The bulk of building mass will be set back from Hickson Road alignment at a minimum of 20 and a maximum of 29m.
- The primary floor plate depth, excluding structure and shading devices of each tower form sits between vertical planes (light blue), which establishes a 30 metre zone. Expressed structure and secondary floor plate is allowable outside this dimension.
- Podium to be a minimum of 1 storey height and a maximum of RL27.
- Reduce the height and/or reduce the floor area above RL 160 in one of the towers.



Control 2 Street Wall Establishment

Objectives:

- To establish spaces to articulate and define facades.

Standard:

- Built form to establish a colonnade along Hickson Road.
- Building form to create a street wall with a one storey minimum height for most of the public accessible ground floor facade.
- Building mass to define a street wall on Globe Street, Margaret Street West, City Walk and Hickson Road.
- Shelley Lane to be a minimum of 6m in width with a defined eastern edge parallel to Hickson Road at ground level.



Control 3 Building Articulation

Objectives:

- To establish an articulated, well proportioned building mass.

Standard:

- The building envelope and floor plates are to be articulated and modulated, using a range of architectural components such as prows, corner redents, vertical villages, expressed lift cores, bay windows and other structural expression.
- Tower Form to express sustainability features such as access to natural light.

Urban Design Controls – Block 2



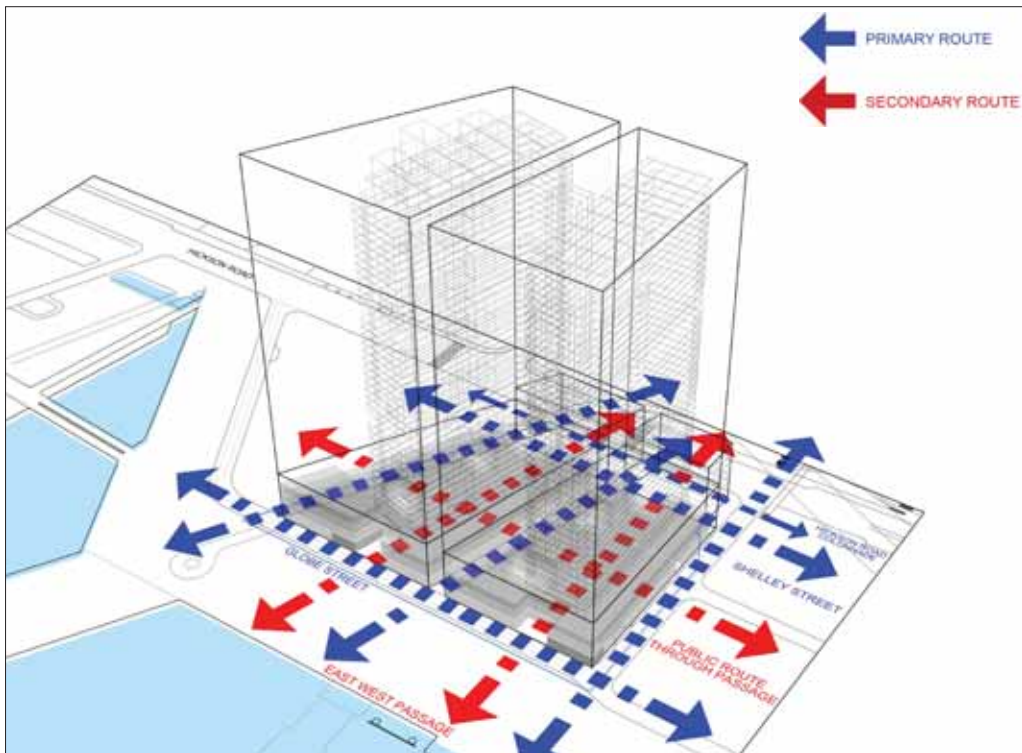
Control 4 Building Legibility

Objectives:

- Constituent elements of the building need to be articulated.
- Elements of the building and structure should be legible at the base.

Standard:

- The separate primary components of the building will be expressed.
- Visible parts of the towers' primary structure are to extend to the ground plane and be expressed as a separate element from the podium.



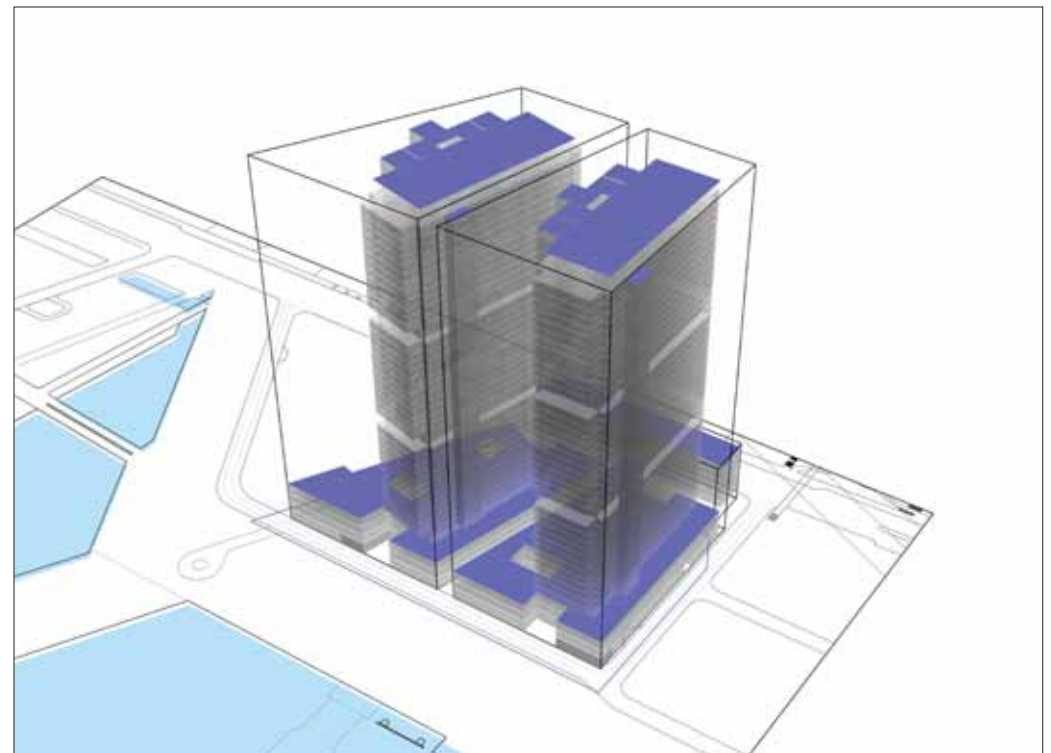
Control 5 Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.
- To maximise safety of the public realm

Standard:

- Public access around the Block is to be maintained on all edges.
- Provide two north to south and one east to west primary connections including the Hickson Road colonnade, through the block.
- Provide one north to south and two east to west secondary public access routes, through the block.
- Shelley Lane must be not less than 50% open to the sky.
- For security purposes the secondary routes may be closed at certain times.



Control 6 Ensuring Quality of Rooftops

Objectives:

- To ensure that the mass of the rooftop is articulated and legible.

Standard:

- Roof forms to incorporate Architectural treatment.
- Lift shafts, overruns and control rooms are to be extruded above the roof line and used to provide architectural articulation to the roof.
- Exposed mechanical equipment is to be avoided.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Good quality materials (ie durable, hardwearing, sustainable) to be used.
- Roof Design to integrate sustainable features.



Control 7

Façades

Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building articulation and mass.
- To contribute to the “carbon neutral” aims for Barangaroo South.

Standard:

- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium.
- Environmentally sustainable design is to be incorporated on all facades.
- Facade components such as external shading shall be used to provide light and shade to the building and to consider and reinforce Control 2+3.
- Facades longer than 60m are to be modulated above podium level by distinctive and significant architectural elements eg vertical villages, cores or external staircases, in the vertical plane.
- The maximum continuous horizontal length of the towers southern elevations should not exceed 60m.



Control 8 Active Streetfronts

Objectives:

- To ensure a vibrant public domain will be created at street level.

Standard:

- At least 60% of the Ground Level is to be active on the primary street wall facades
- Building entrances to internal areas such as office lobbies, exits and service areas or loading docks shall not count toward the 60% requirement.
- Building service areas and loading docks will not be located on Hickson Road or Globe Street.



Control 9 Signage

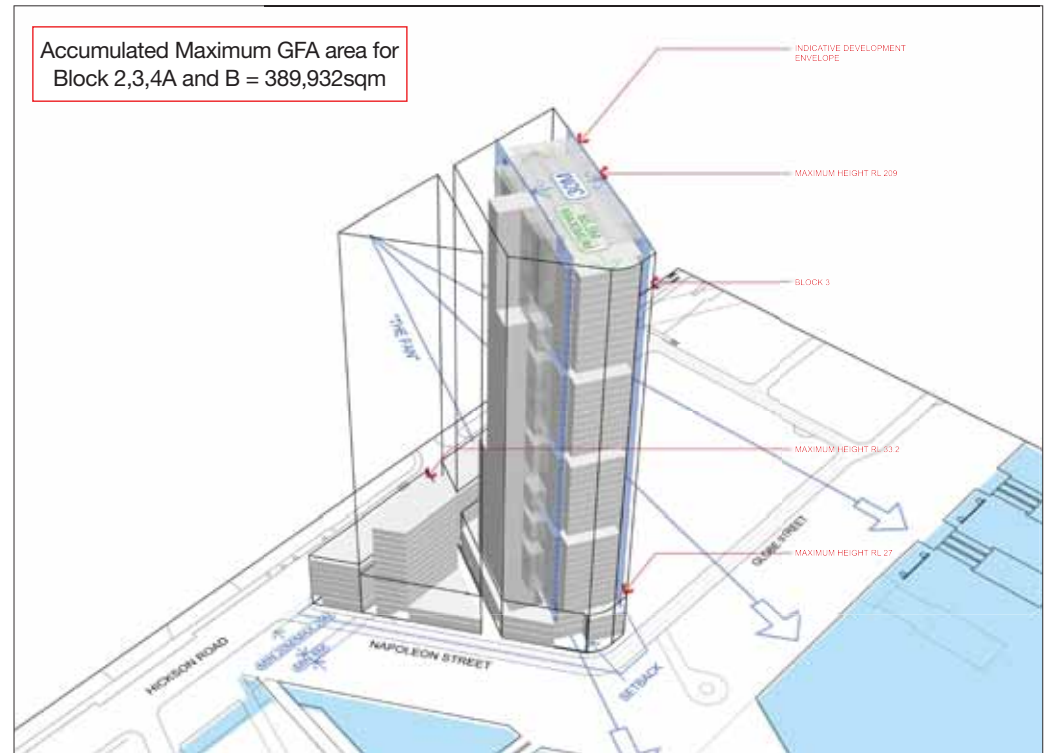
Objectives:

- To ensure that the location, size, appearance and the quality of the signage on the building is appropriate.

Standard:

- High level signage is to be limited to a maximum of 2 separate faces per building.
- Signage is not to exceed 60sqm per sign.
- Identity signage only to be incorporated within the building facades/structure.
- Details of signage to be considered as part of the overall design of the building for the purposes of Design Excellence.

Urban Design Controls – Block 3



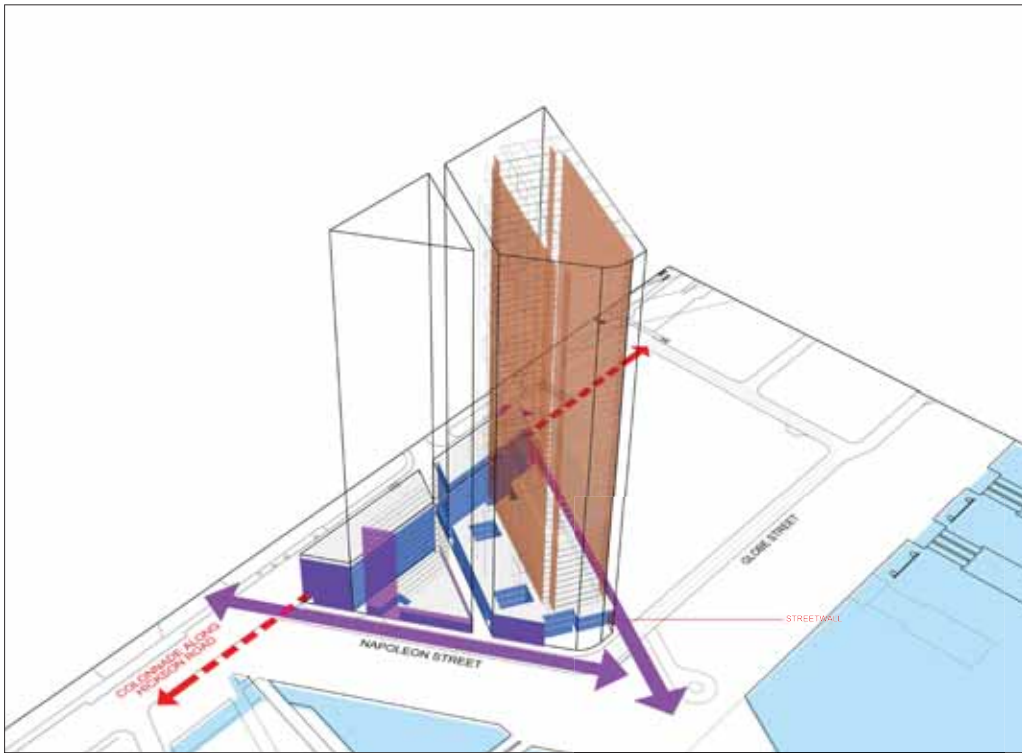
Control 1 Building Mass and Location

Objectives:

- Adoption of “fanning principle” for siting of buildings.
- To ensure building mass is appropriate within the envelope.

Standard:

- The length of the horizontal floor plate of the North and South elevation of the tower form is to be no more than 85.5m.
- The bulk of building mass is to be set back from the Hickson Road alignment by a minimum of 20m and a maximum of 29m.
- The primary floor plate depth, excluding structure and shading devices of each tower form sits between vertical planes (light blue), which establishes a 30m zone. Expressed structure and secondary floor plate is allowable outside this dimension.
- Podium to be a minimum of 1 storey height and a maximum of RL27.



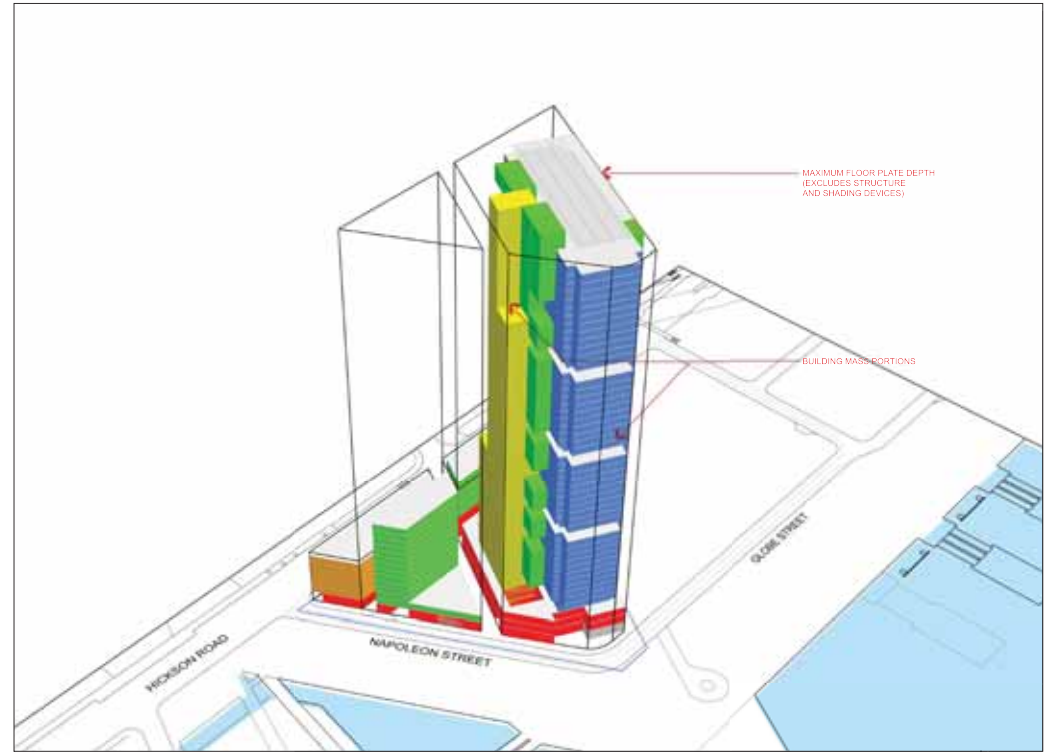
Control 2 Street Wall Establishment

Objectives:

- To establish spaces to articulate and define facades.
- Building mass at podium to form a continuous Street Wall with a 1 storey minimum height.
- Street Wall to define Globe Street and East-West laneways.

Standard:

- To establish a colonnade along Hickson Road.
- Building form to create a Street Wall with a one storey minimum height for most of the public accessible ground floor facade.
- Building mass to define a Street Wall on Globe Street, City Walk and Hickson Road.
- Shelley Lane to be a minimum of 6m in width with a defined eastern edge parallel to Hickson Road at ground level.



Control 3 Building Articulation

Objectives:

- To establish an articulated, well proportioned building mass.
- To reduce the impact of the building mass,

Standard:

- The building envelope and floor plates are to be articulated and modulated, using a range of architectural components such as prows, corner redents, vertical villages, expressed lift cores, bay windows and other structural expression.
- Tower Form to express sustainability features such as access to natural light.

Urban Design Controls – Block 3



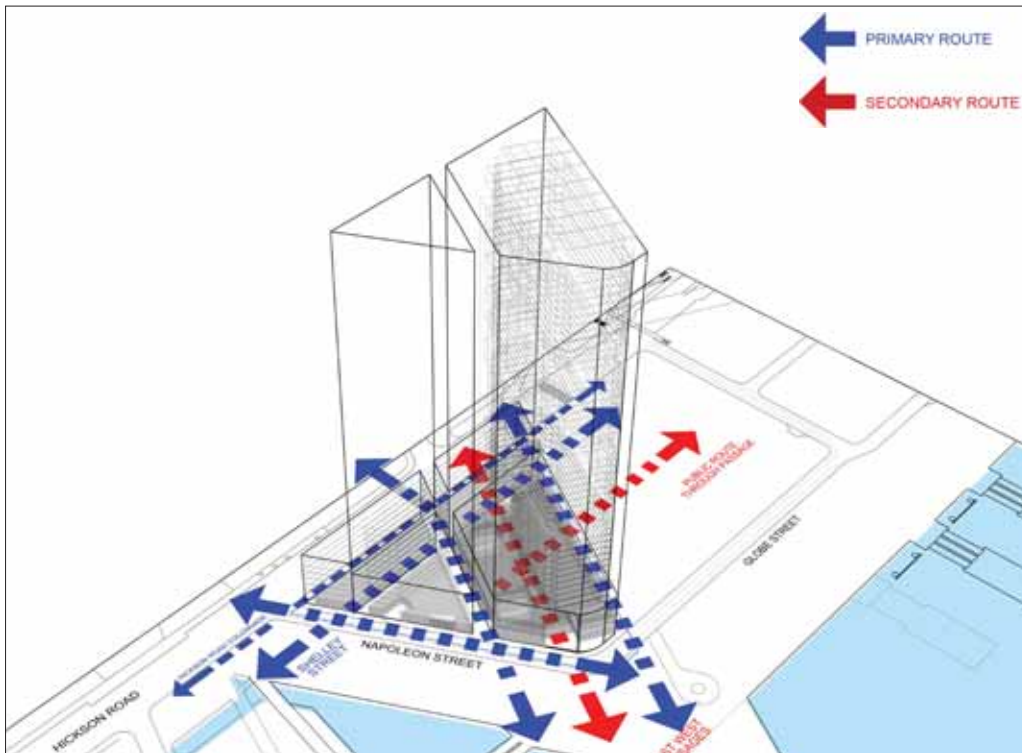
Control 4 Building Legibility

Objectives:

- Constituent elements of the building need to be articulated.
- The elements and structure should be legible at the base of the building.

Standard:

- The separate primary components of the building will be expressed.
- Visible parts of the towers primary structure are to extend to the ground plane and be expressed as a separate element from the podium.



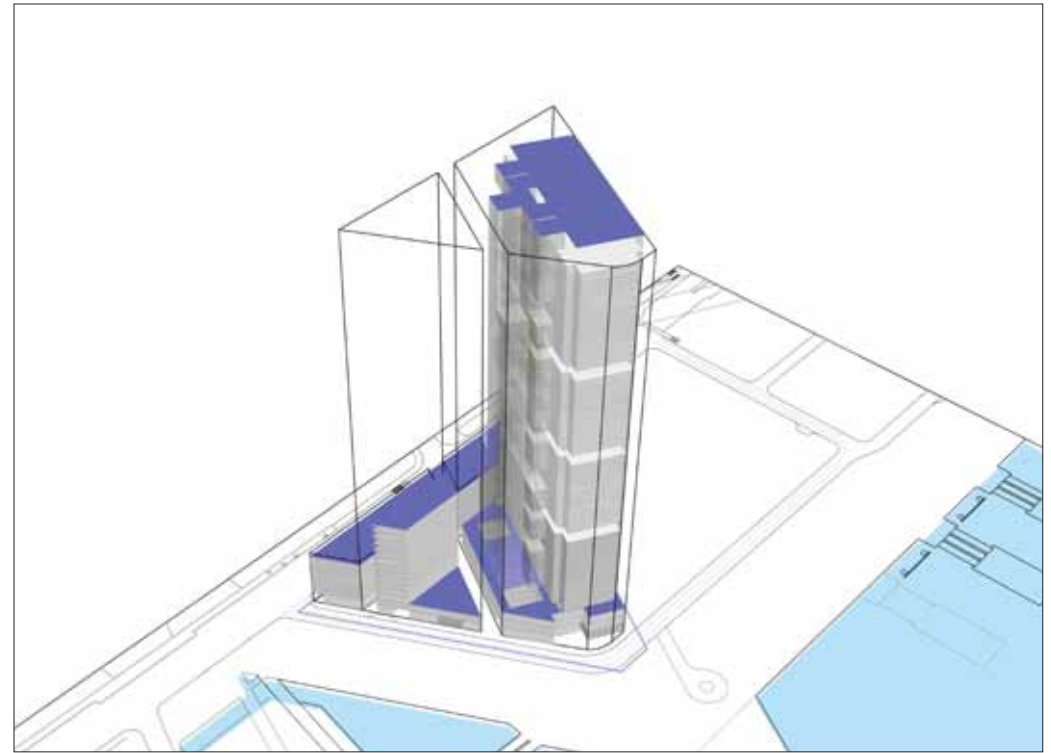
Control 5 Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.
- To maximise safety in the public realm.

Standard:

- Public access around the Block is to be maintained on all edges.
- Provide two north to south primary connections, including the Hickson Road colonnade, and two east to west connections through the block.
- Provide one east to west and one north to south secondary public access routes through the block.
- Shelley Lane must be not less than 50% open to the sky.
- For security purposes the secondary routes may be closed at certain times.



Control 6 Ensuring Quality of Rooftops

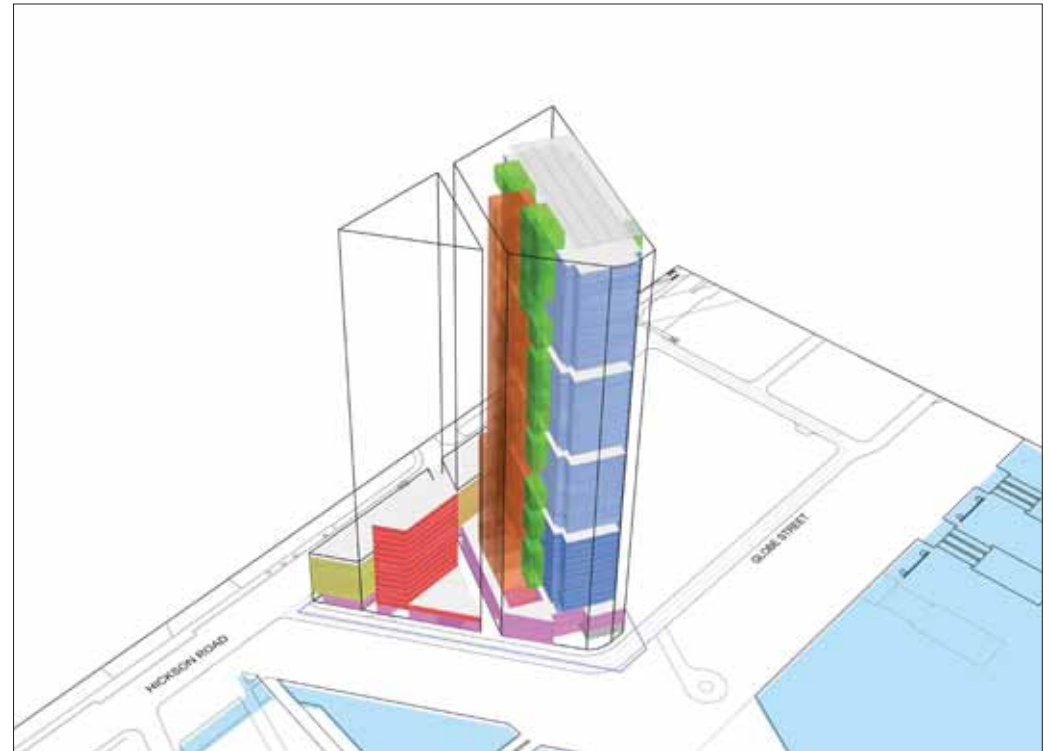
Objectives:

- The mass at the rooftop shall be articulated and legible.

Standard:

- Roof forms to incorporate architectural elements.
- Lift shafts, overruns and control rooms are to be extruded above the roof line and used to provide architectural articulation to the roof.
- Exposed mechanical equipment is to be avoided.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Good quality materials (ie durable, hardwearing, sustainable) to be used.
- Roof Design to integrate sustainable features.

Urban Design Controls – Block 3



Control 7 Facades

Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building's functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to the "carbon neutral" aims for Barangaroo South.

Standard:

- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium.
- Environmentally sustainable design is to be incorporated on all facades.
- Facade components such as external shading shall be used to provide light and shade to the building and to consider and reinforce Control 2+3.
- Facades longer than 60m are to be modulated above podium level by a distinctive and significant architectural elements eg as vertical villages, cores or external staircases, in the vertical plane.
- The maximum continuous horizontal length of the tower's southern elevation should not exceed 60m.



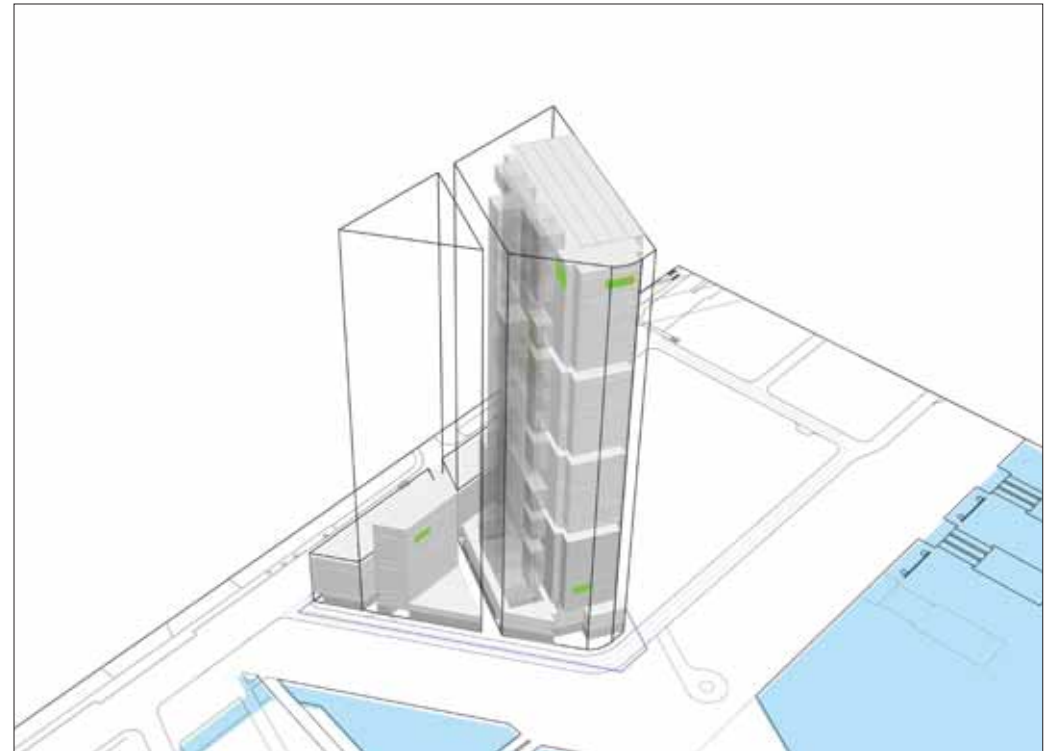
Control 8 Active Streetfronts

Objectives:

- To ensure a vibrant public domain will be created at street level.

Standard:

- At least 60% of the Ground Level is to be active on the primary Street Wall facades
- Building entrances to internal areas such as office lobbies, exit ways and service areas or loading docks shall not count toward to 60% requirement.
- Building service areas, parking entrances & loading docks will be located on Napoleon Street.



Control 9 Signage

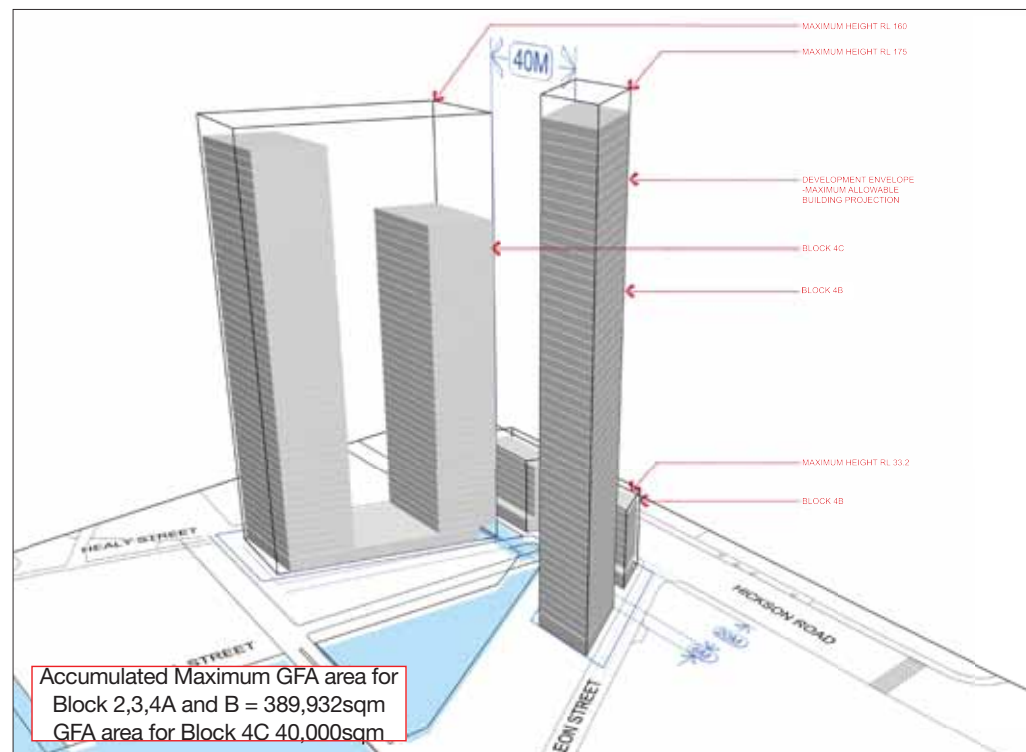
Objectives:

- To ensure that the location, size, appearance and the quality of the signage on the building is appropriate.

Standard:

- High level signage is limited to a maximum of 2 separate faces per building.
- Signage is not to exceed 60sqm per sign.
- Identity signage only to be incorporated within the building facades/structure.
- Details of signage to be considered as part of the overall design of the building for the purposes of Design Excellence.

Urban Design Controls – Block 4B + 4C



Control 1

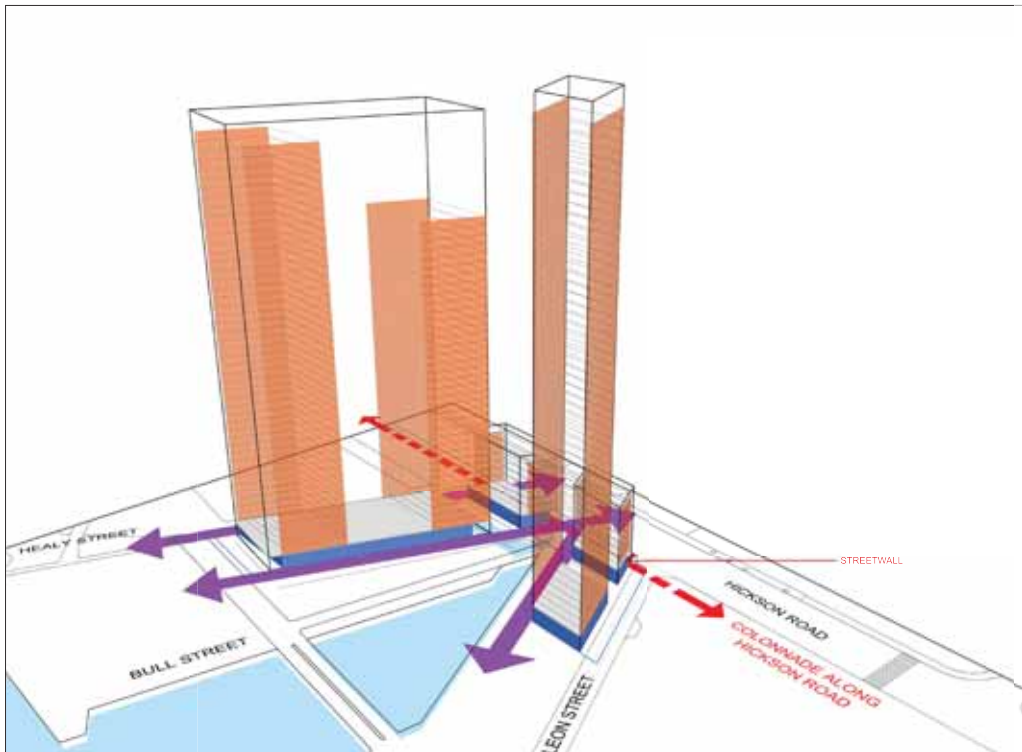
Building Mass and Location

Objectives:

- To ensure building mass is appropriate within the envelope.

Standard:

- Hickson Road Buildings on western facade have a setback of minimum 2m, the eastern facade have a set back of 1m above podium level. Balconies are allowed within the setback zone.
- Block 4C GFA to be limited to 40,000sqm.
- Height of towers within the block are to be varified.
- Tower forms within blocks 4B and 4C will be separated by a minimum distance of 40m.
- Hickson Road buildings will be separated by a minimum distance of 15m.



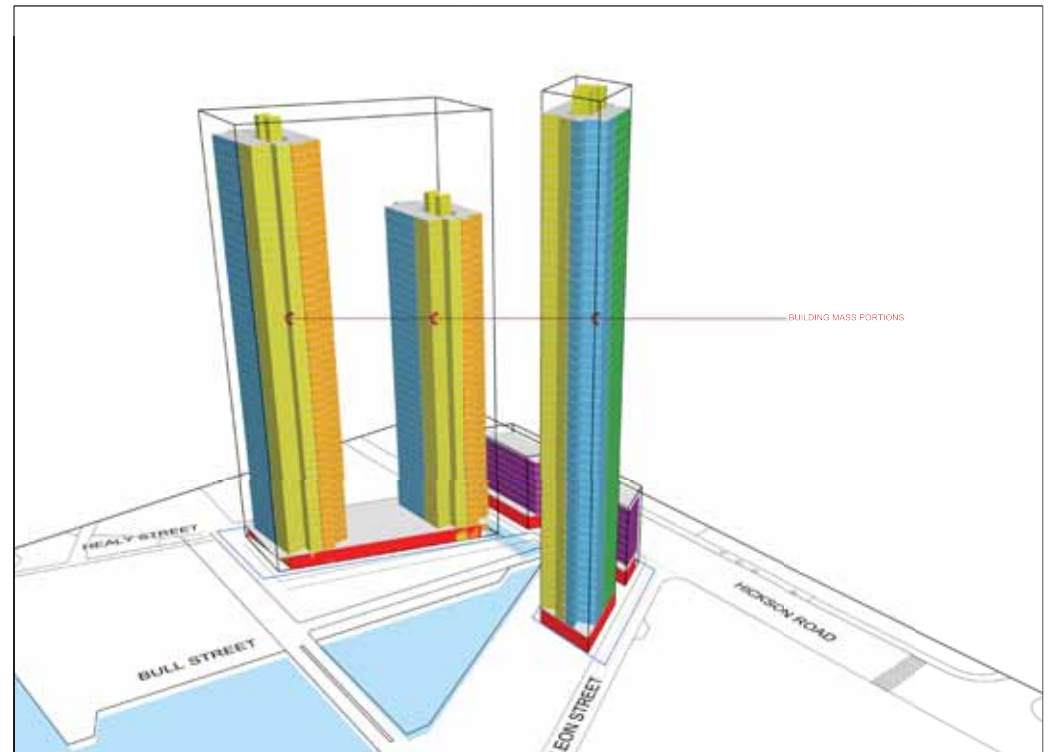
Control 2 Street Wall Establishment

Objectives:

- Ensure that the Street Wall defines Bull Street and Healy Street.
- To establish a colonnade along Hickson Road.

Standard:

- Building Form to create a Street Wall with a one storey minimum height for most of the public accessible ground floor facade.
- Building mass is to create a Street Wall that is a minimum of 1 storey and a maximum of 6m in height.
- All Street Walls to define Globe Street, Healy Street, Napoleon Street and Hickson Road
- Hickson Road Street Wall will maintain the vernacular of the Street Wall for Blocks 2 & 3 up to 6m.
- Building Mass at ground floor level to form a Street Wall with a 1 storey minimum height.



Control 3 Building Articulation

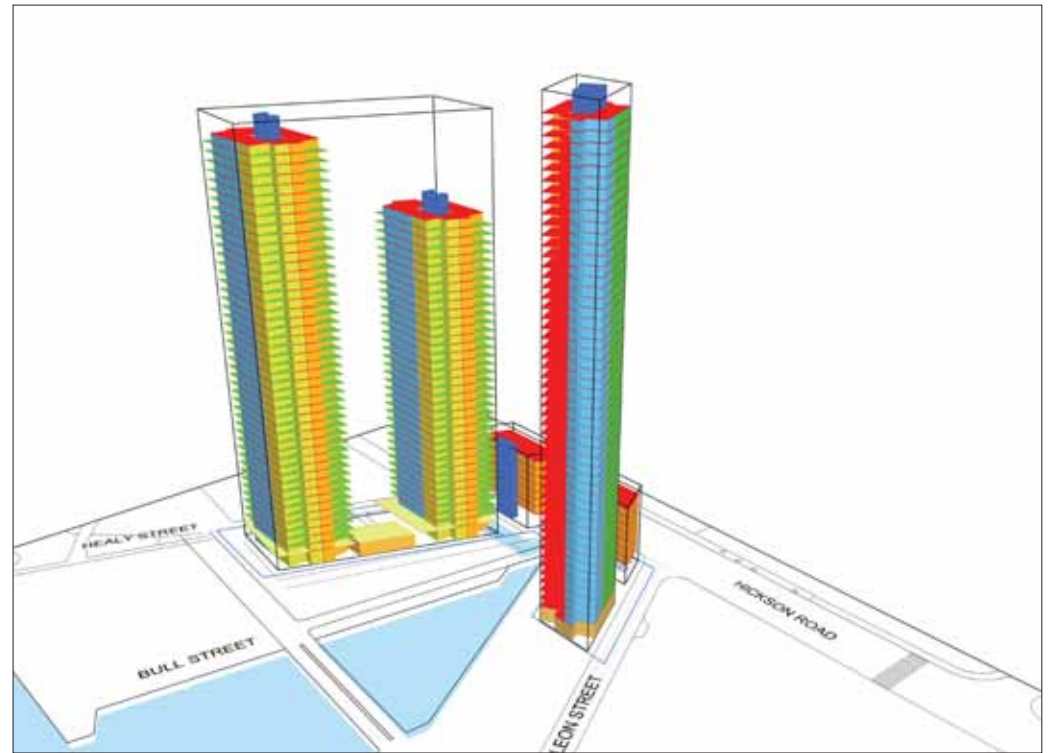
Objectives:

- To establish an articulated, well proportioned building mass.
- To reduce the impact of the building's mass.

Standard:

- The building envelopes and floor plates are to be articulated.
- Tower Form is to express sustainability features e.g. access to natural light, ventilation and solar shading.

Urban Design Controls – Block 4B + 4C



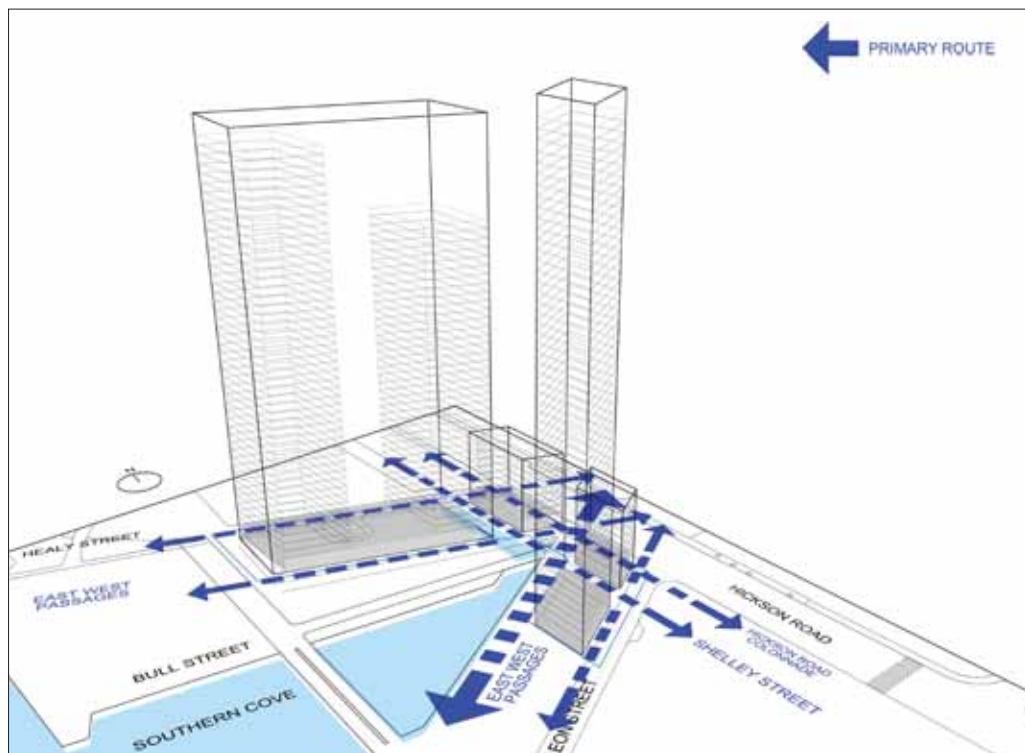
Control 4 - Building Legibility

Objectives:

- Constituent elements of the building need to be legible.
- To ensure that building elements and structure is legible at the base.

Standard:

- The separate primary components of the building will be expressed and include additional elements such as the balconies.
- Every tower should be articulated with a different selection of elements, in particular the ones not adjacent Hickson Road.



Control 5

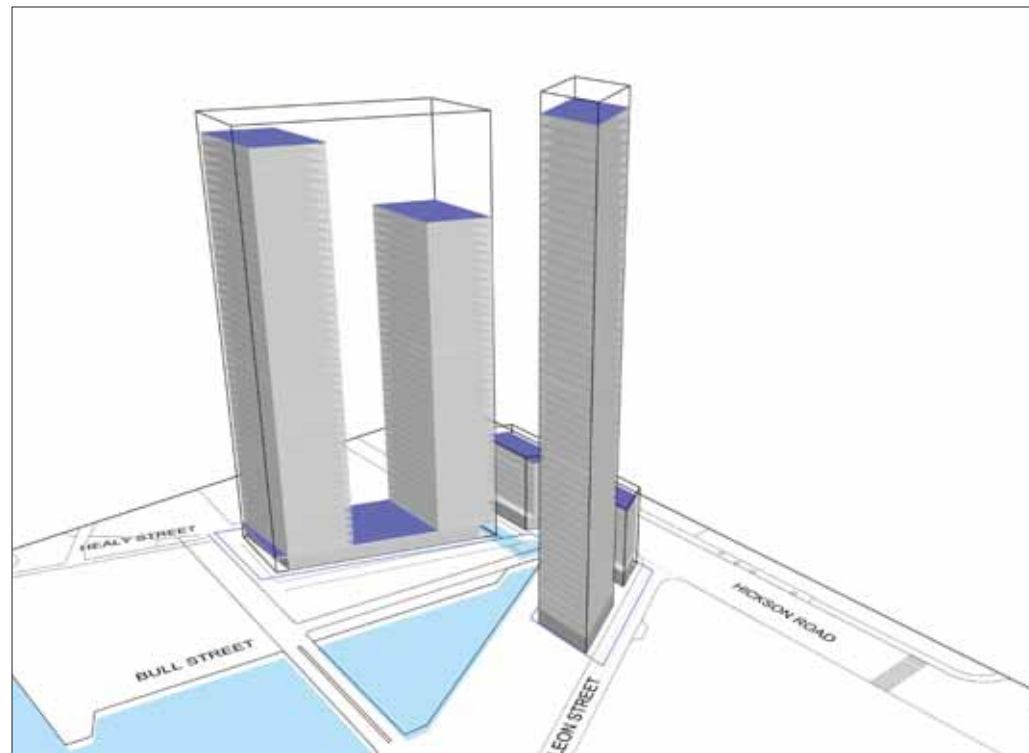
Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.

Standard:

- Public access around the Block is to be maintained on all edges.
- To provide two north to south primary connections across the block including the Hickson Road colonnade
- To provide two east to west primary connections across the block.



Control 6

Ensuring Quality of Rooftops

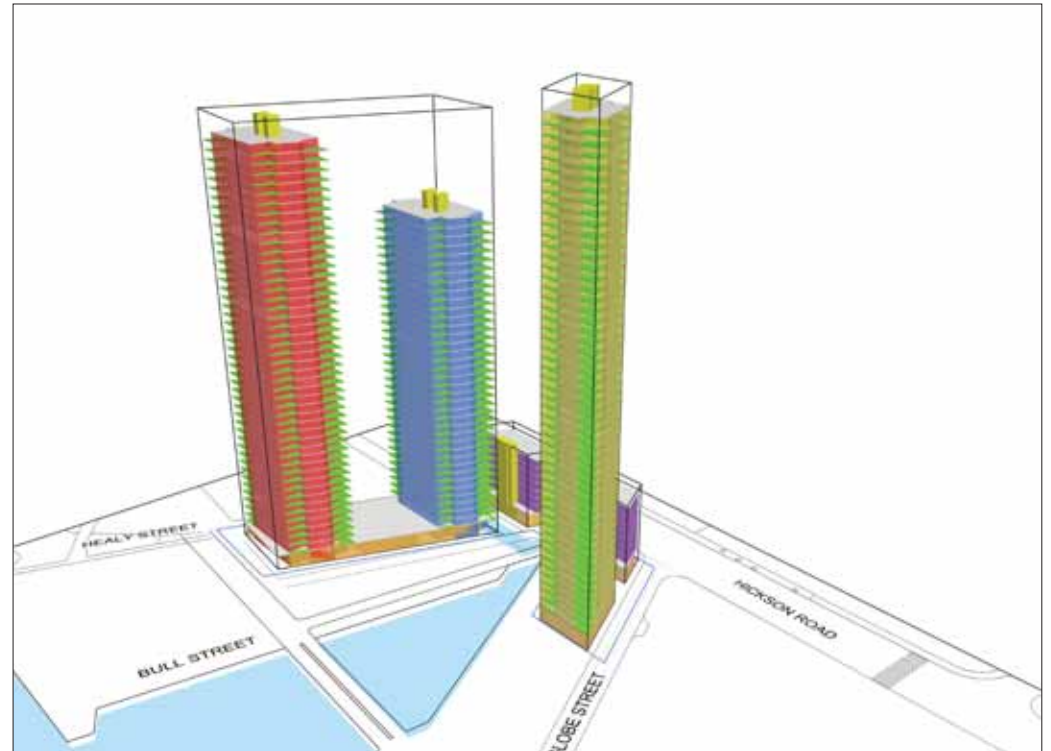
Objectives:

- To ensure that the mass of the rooftop is articulated and legible.

Standard:

- Roof forms to incorporate Architectural treatment.
- Architectural treatment of exposed elements such as lift shafts, overruns control rooms and any sustainability features.
- Exposed mechanical equipment is to be avoided.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Good quality materials (ie durable, hardwearing, sustainable) to be used.
- Roof Design to integrate sustainable features.

Urban Design Controls – Block 4B + 4C



Control 7

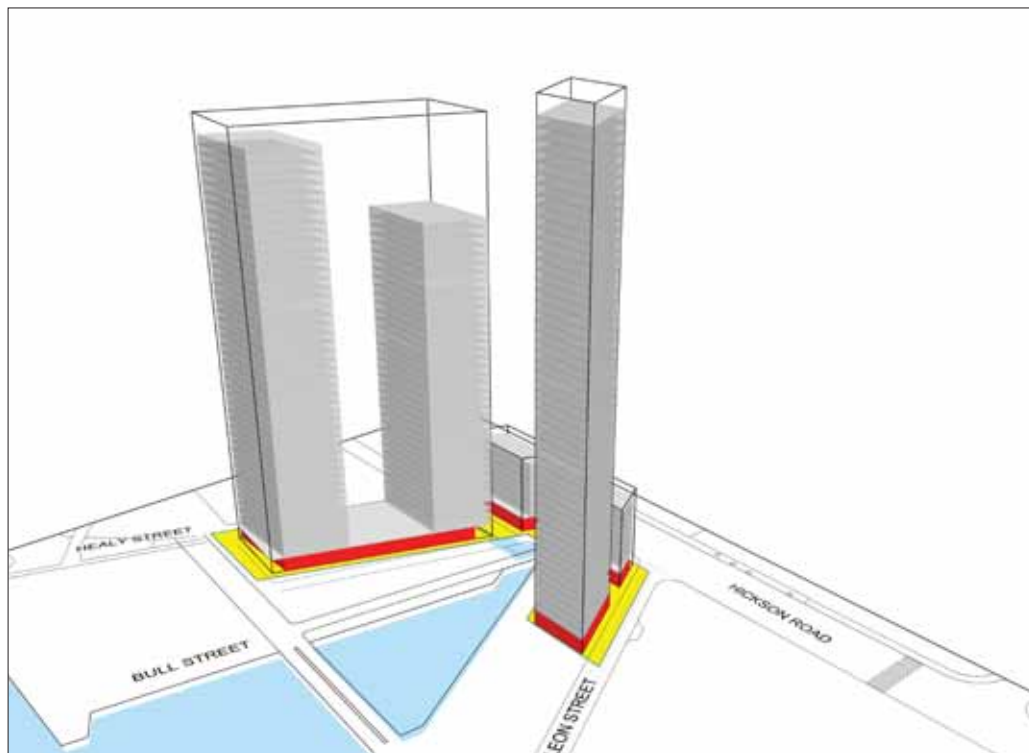
Facades

Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building's functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to the "carbon neutral" aims for Barangaroo South.

Standard:

- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium shall be considered.
- Environmentally sustainable design is to be incorporated on all facades.
- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- Facade components such as external shading shall be used to provide light and shade to the building.



Control 8 Active Streetfronts

Objectives:

- To ensure an activated public domain at street level.

Standard:

- At least 60% of the Ground Level is to be active on the primary Street Wall facades
- Building entrances to internal areas such as office lobbies, exit ways and service areas or loading docks shall not count towards the 60% requirement.
- Building service areas, parking entrances and loading docks may be accessed from Healy or Napoleon Street.



Control 9 Signage

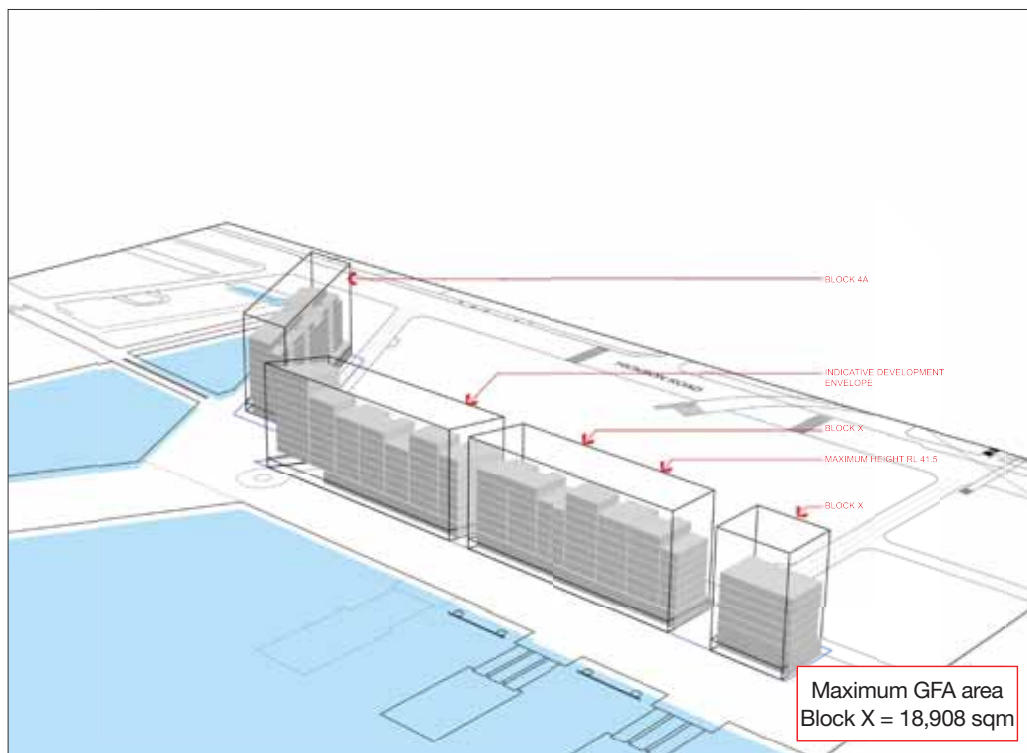
Objectives:

- To ensure that the location, size, appearance and the quality of the signage on the building is appropriate.

Standard:

- The signage is to be limited to one sign at roof level per building.
- Signage is not to exceed 15sqm per sign.
- Allowance for building name at Street Level, i.e. "Gateway Apartments"
- Illuminated signs will be set back from facades to eliminate glare.
- Details of signage to be considered as part of the overall design of the building for the purposes of Design Excellence.

Urban Design Controls – Block X + 4A



Control 1 Building Mass and Location

Objectives:

- To ensure building mass is appropriate within the envelope.

Standard:

- Above Ground floor level the westerly oriented facades to have a minimum 3m setback. Open and enclosed balconies are allowed to protrude into the setback zones.
- The building mass height will be between maximum and minimum heights of RL41.5 and RL25 respectively.
- On the easterly oriented facades a minimum of 1m setback is required.



Control 2 Street Wall Establishment

Objectives:

- Street Wall defines promenade and Globe Street.
- To ensure an active Street Wall is established around each Block.

Standard:

- The building mass at the podium is to form a continuous Street Wall around the site for a minimum of 85% of the site perimeter.



Control 3 Building Articulation

Objectives:

- To establish an articulated, well proportioned building mass.

Standard:

- To reduce the impact of the buildings mass, the envelope and floor plates are to be horizontally and/or vertically articulated, in particular at upper levels.
- Building Form is to express sustainability features such as for example access to natural light, ventilation and solar shading.



Control 4 Building Legibility

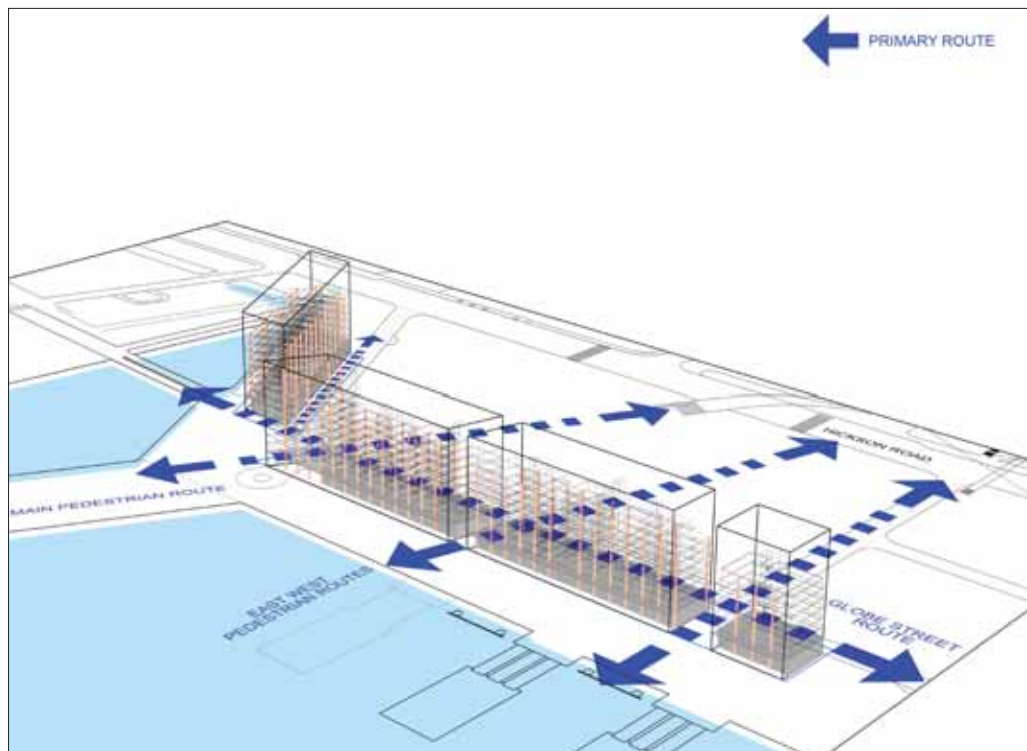
Objectives:

- To ensure that constituent elements of the building are legible.
- To ensure that building elements and structure at the base are legible.

Standard:

- The separate primary components of the building will be expressed and include additional elements such as the open and enclosed balconies.
- Building form is to be reinforced using modulation of open and enclosed balconies, building elements, etc. to avoid monotony.

Urban Design Controls – Block X + 4A



Control 5

Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.

Standard:

- Public access around the Blocks is to be maintained on all edges.
- To provide one north to south and four east to west primary connections.



Control 6

Ensuring Quality of Rooftops

Objectives:

- The mass at the rooftop shall be articulated and legible.
- The architectural treatment of the roof and its form is to be designed, coordinated and remain sympathetic to adjacent context.
- Roof Design to integrate sustainable features.

Standard:

- Roof forms to incorporate architectural treatment.
- Architectural treatment of exposed elements such as lift shafts, overruns control rooms and any sustainability features.
- Exposed mechanical equipment is to be avoided.
- Good quality materials (ie durable, hardwearing, sustainable) are to be used.
- Roof to incorporate no more than 60% accessible terraces.



Control 7 Facades

Objectives:

- To ensure the architectural quality of the facades.
- To articulate the building's functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the buildings' articulation and mass.
- To contribute to the "carbon neutral" aims for Barangaroo South.

Standard:

- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium shall be considered.
- Environmentally sustainable design is to be incorporated on all facades.
- Depth and layering of facades is to be achieved through relief and protrusions. Mirrored facades should be avoided.
- Facade components such as external shading shall be used to provide light and shade to the building.



Control 8 Active Streetfronts

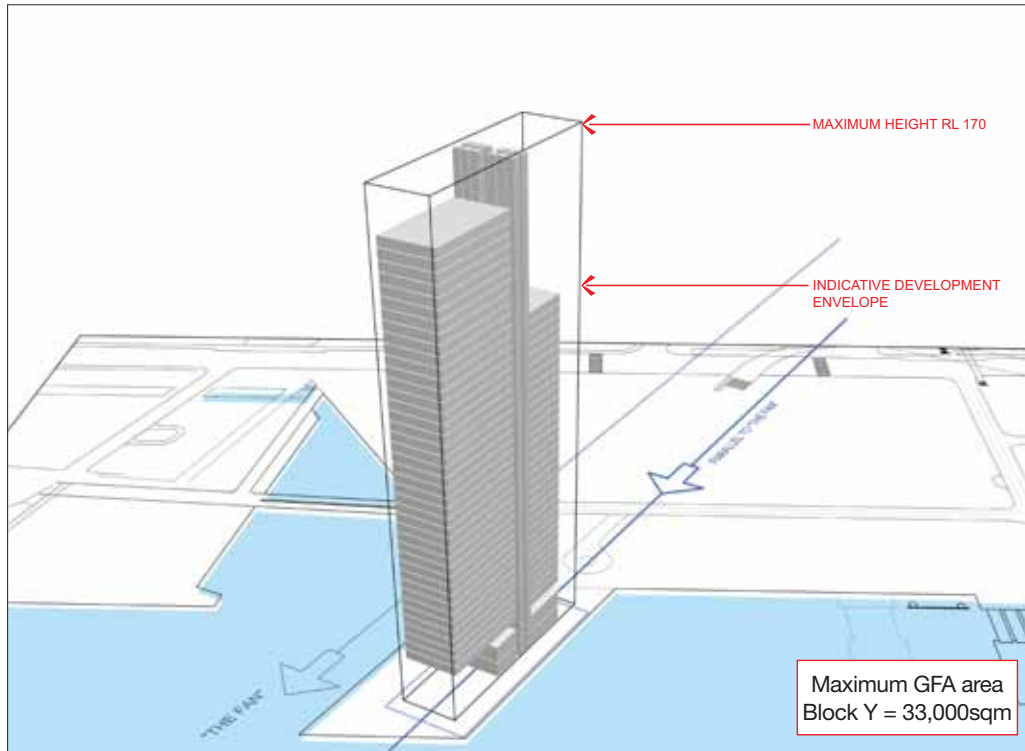
Objectives:

- Ensure an activated domain at street level with access to shops, lobbies, etc.
- Ensure that Ground Floor retail uses activate the waterfront.

Standard:

- At least 85% of the Ground Level is to be active on the primary Street Wall facades (North & West)
- Building entrances to internal areas such as residential lobbies, exit ways and service areas or loading docks shall be considered as part of the 85% active requirement.
- Building service areas, parking entrances and loading docks will not be located on the promenade with the majority of servicing occurring from the basement.

Urban Design Controls – Block Y



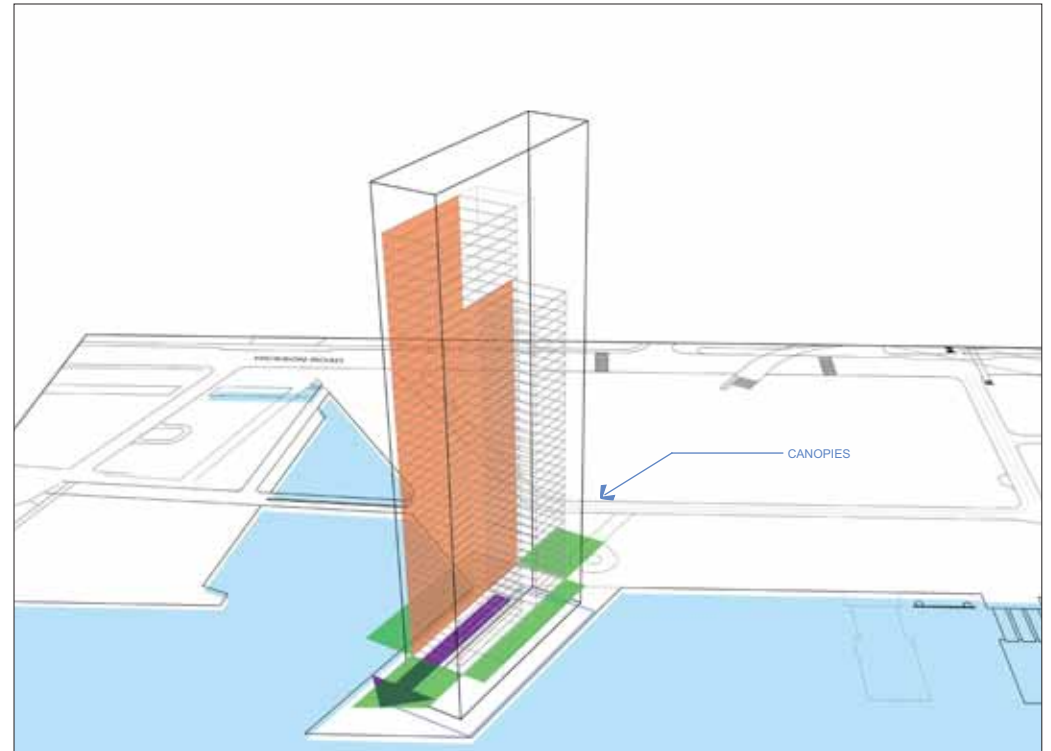
Control 1 Building Mass and Location

Objectives:

- To ensure building mass is appropriate within the envelope.
- To ensure that a separate building mass is created below the primary hotel room floor plate component

Standard:

- The South and North elevation will not exceed 80m in length or a width of 30m.
- The maximum footprint of the hotel is not to exceed 2,400sqm.
- Guest rooms will not be lower than RL 20.
- General building orientation to respond to sustainability aspects.



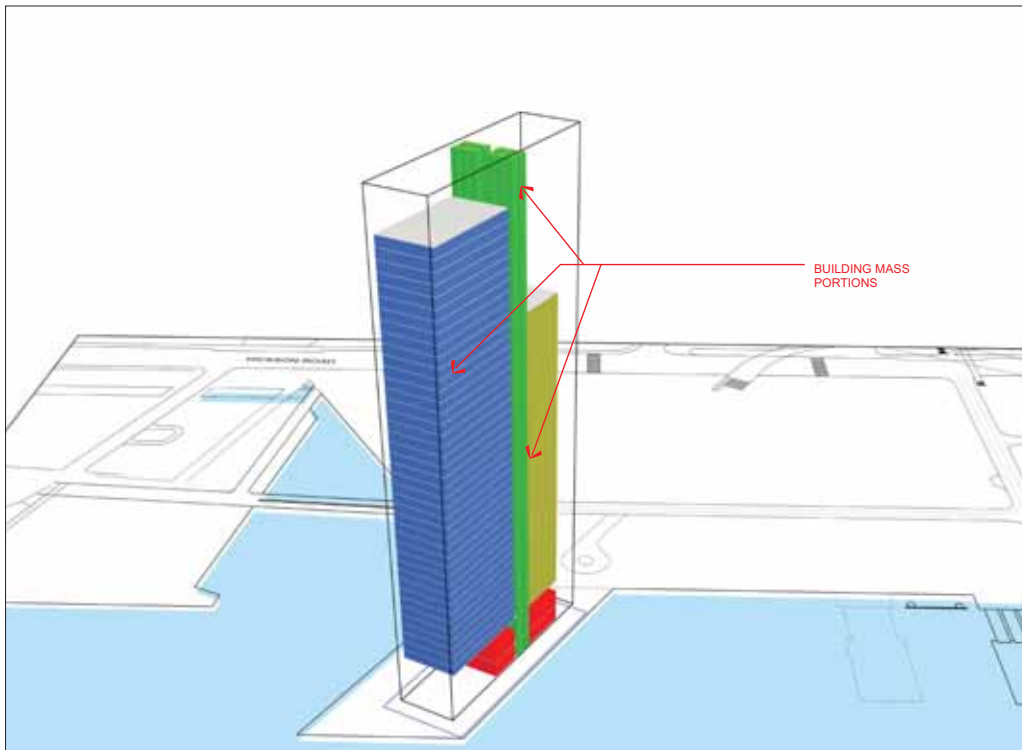
Control 2 Ground Plane & Building Orientation

Objectives:

- The orientation of the building relates to the "fanning principle".
- Optimise solar access to external public spaces.
- The emphasis of the accessibility of the public realm in and around the Hotel.

Standard:

- Canopies and their support structures may protrude beyond the block boundary to provide shelter and comfort for visitors and tourists.
- The building orientation is to minimise exposure to western solar gain but maximise daylight.
- The building orientation is to maximise sunlight to external public spaces.
- Functions at the lower levels of the building are to be open and inviting to the general public.
- Design and Structure to be a response to prevailing and environmental conditions.



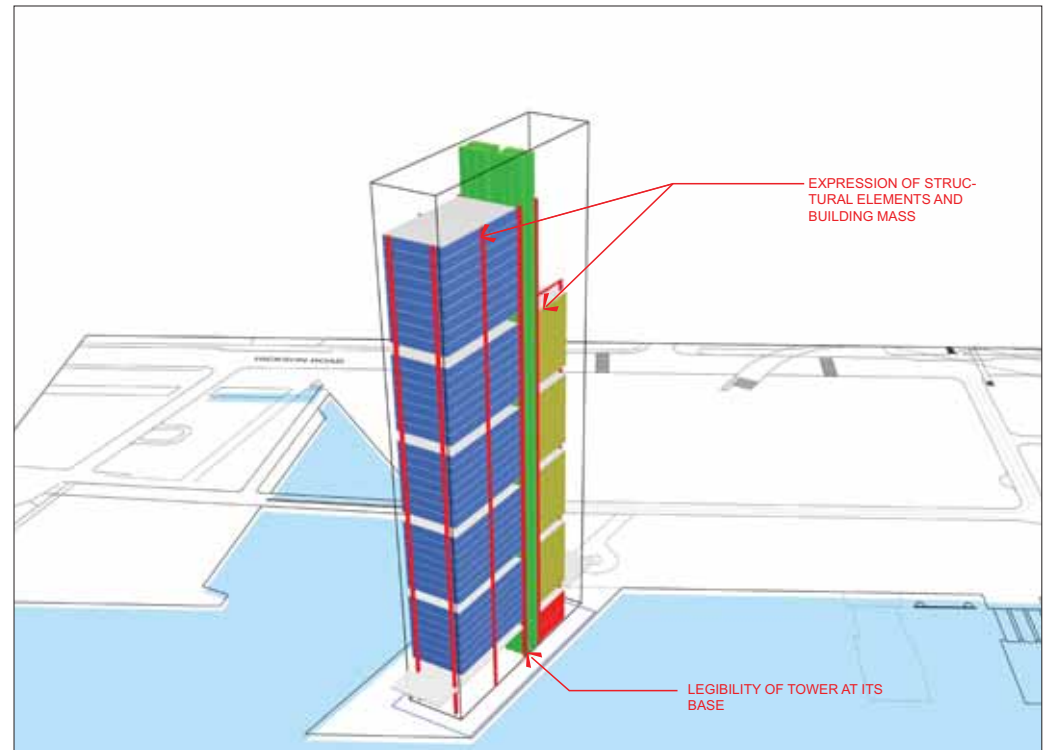
Control 3 Building articulation

Objectives:

- To establish an articulated, well proportioned building mass.
- To reduce the impact of the building's mass.
- The building mass and articulation is to follow the "fanning principle".

Standard:

- The building envelope and floor plates are to be articulated.
- Tower form to express sustainability features such as access to natural light.
- The building mass needs to be articulated using building uses and functions.
- Building elements are required to moderate environmental conditions and be designed to enliven facades.



Control 4 Building Legibility

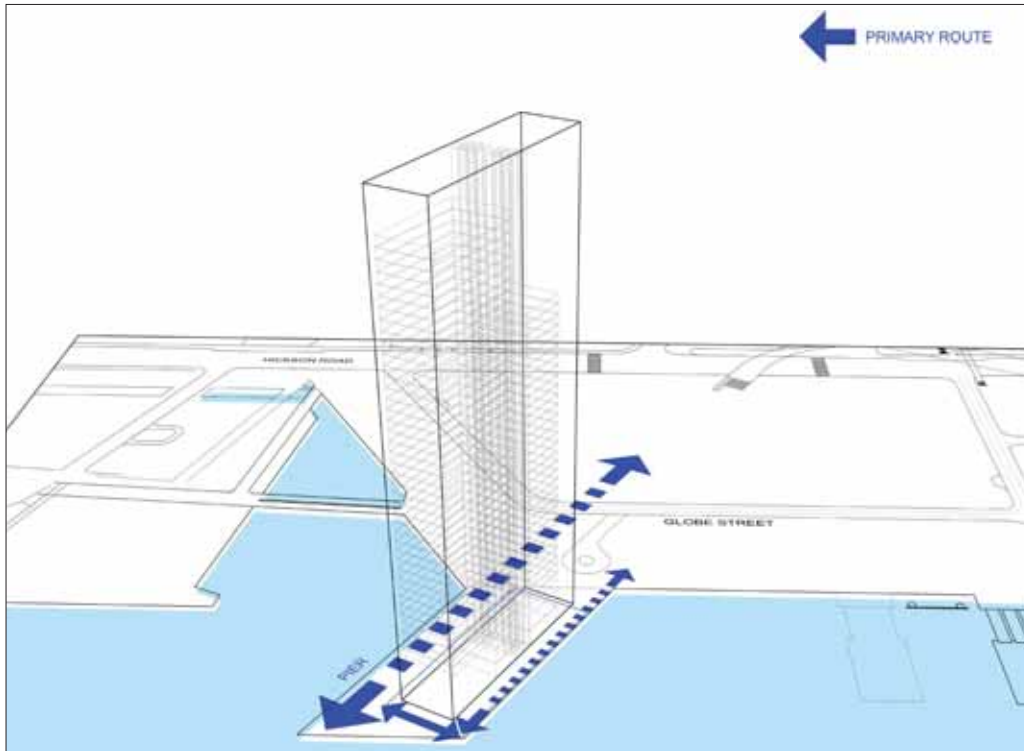
Objectives:

- To ensure that constituent elements of the building are appropriately articulated.
- To ensure that the building elements and structure is legible at the base.

Standard:

- The separate primary components of the building will be expressed and include additional elements, for example balconies, solar shading.
- The exposed elements are to be articulated.
- Elements such as balconies, terraces, sun-shading etc. that create a sense of scale or rhythm on the facade are to be used to add to the richness of the articulated expression.
- The composition of the building envelope will clearly define a base, a middle and a top with well balanced vertical and horizontal proportions.

Urban Design Controls – Block Y



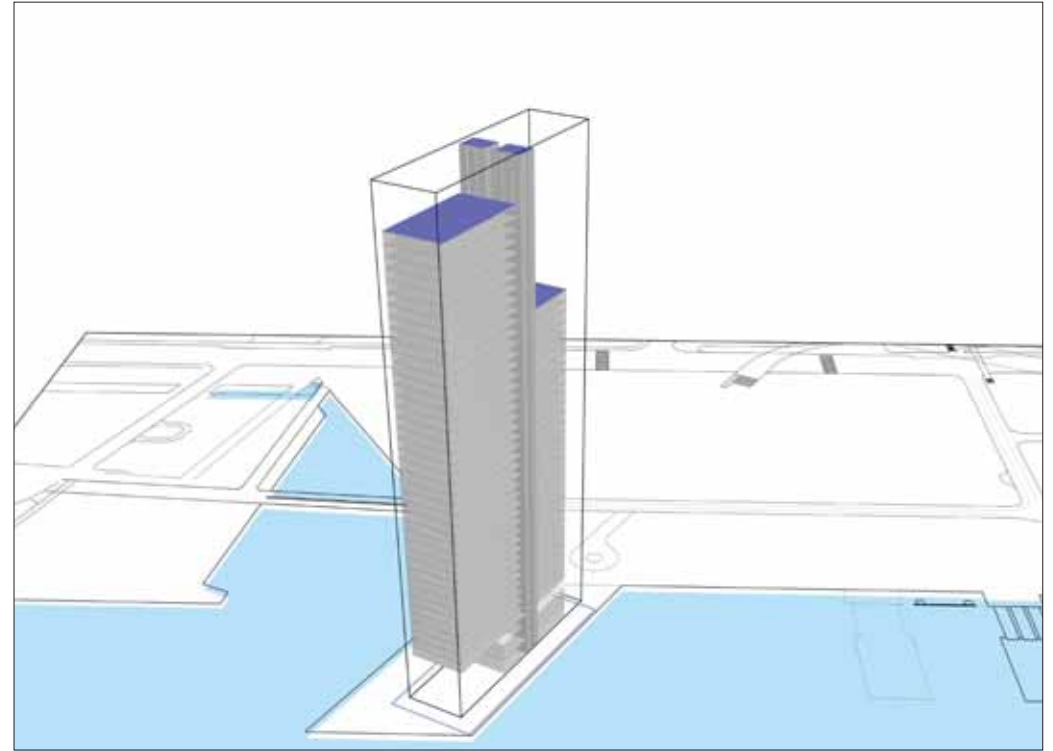
Control 5 Ground Floor Permeability and Accessibility of Public Realm

Objectives:

- To provide permeability and accessibility through Barangaroo South.
- Continuation of Sydney Harbour Foreshore Walk embracing the pier as a connecting piece along the journey.

Standard:

- Public access around the Block is to be maintained on all edges.
- Uninterrupted Public Access around the entire building.
- Building entries must be clearly articulated and be visible from the public domain.
- Building entries to establish a public sense of arrival.



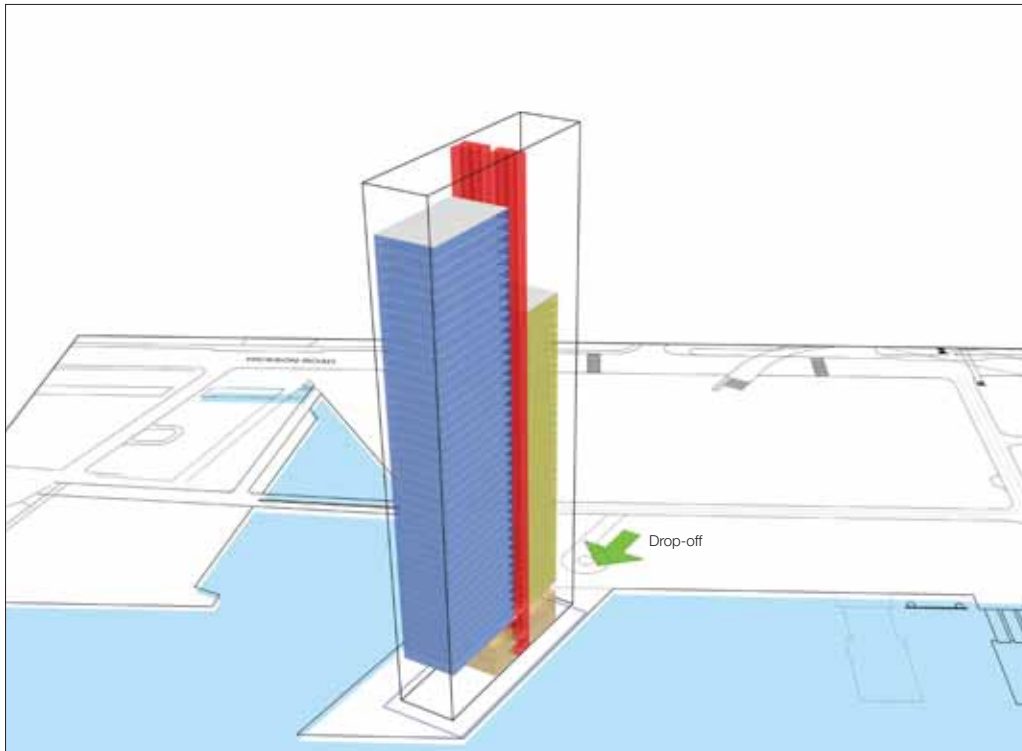
Control 6 Ensuring Quality of Rooftops

Objectives:

- To ensure that the mass at the rooftop shall be articulated.
- The architectural treatment of the roof and its form is to be designed, coordinated and sympathetic to the adjacent context.
- To ensure that Public access will be provided to the top of the building.

Standard:

- Architectural treatment of exposed elements such as lift shafts, overruns control rooms and any sustainability or architectural features shall add to the articulation of the roof.
- Exposed mechanical equipment is to be avoided.
- Roofs and terraces are to be landscaped and habitable where appropriate
- Public Access will be provided to the top of the building which can include terraces, food and beverage / dining.
- Roof Design to integrate sustainable features.



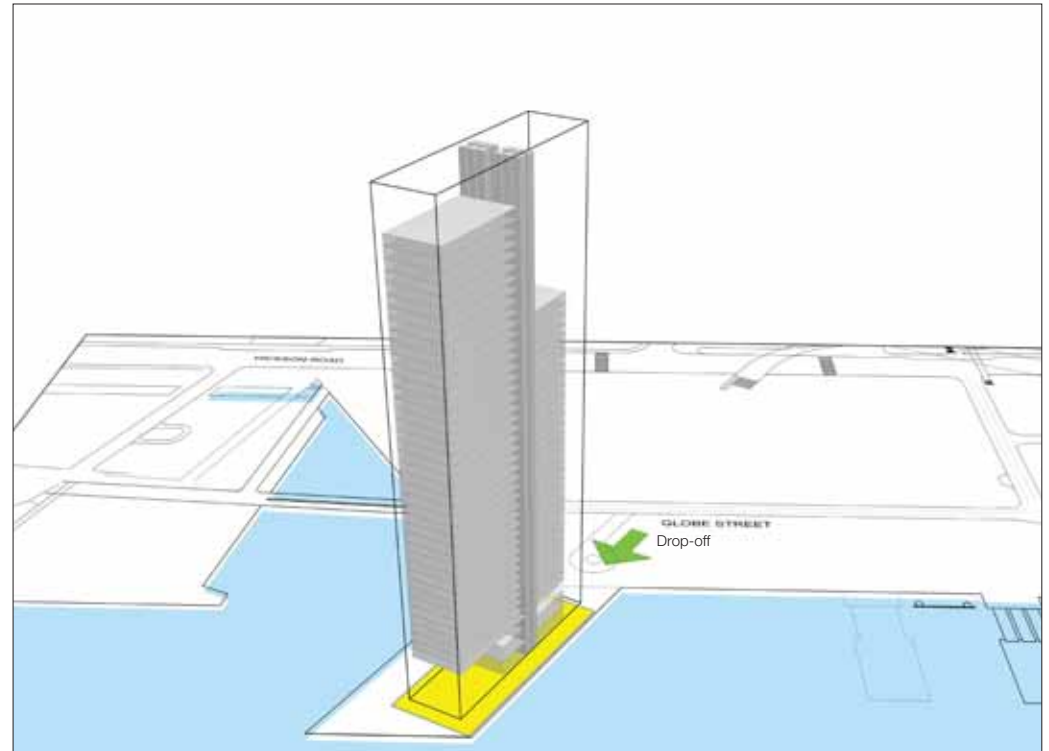
Control 7 Articulated Facades

Objectives:

- To ensure the architectural quality of the facades.
- To articulate the buildings functions and massing with appropriate facade design and detailing.
- To ensure the facades contribute to the building's articulation and mass.
- To contribute to the "carbon neutral" aims for Barangaroo South.

Standard:

- The choice of appropriate materiality for longevity, durability and flexibility. Materials such as steel, glass, concrete, timber and aluminium.
- Environmentally sustainable design is to be incorporated on all facades.
- Depth and layering of facades is to be achieved through relief and protrusions.
- Facade components such as external shading shall be used to provide light and shade to the building.



Control 8 Active Ground Plane

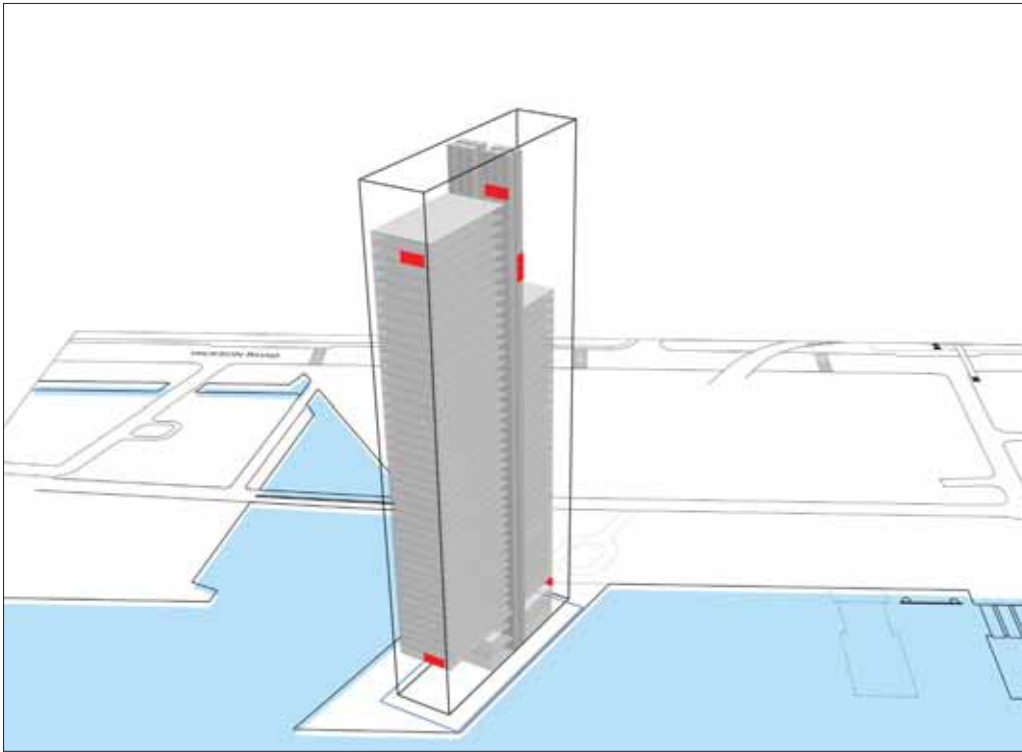
Objectives:

- Ensure an activated domain at street level.
- Ensure the Openness and accessibility of building.
- Ensure the pedestrian access to the waterfront between Globe street and the Hotel has priority over the drop off.
- Maximise natural light penetration to ground level public spaces

Standard:

- Public uses, eg: food and beverage / dining to be located on the Ground Floor of the building with access to the public domain and pier.
- Building services areas and loading docks will only be located in the basements. No loading or deliveries will be provided at ground level.
- The public gallery will be located at the base of the building.
- Public uses at the base can be enclosed or open spaces
- Hotel drop off will maintain a minimum distance of uninterrupted waterfront access of 10m.
- Publicly accessible space at the base of the hotel that is not enclosed shall have a height of not less than a third of the dimension of its depth to a maximum height of 15m.

Urban Design Controls – Block Y



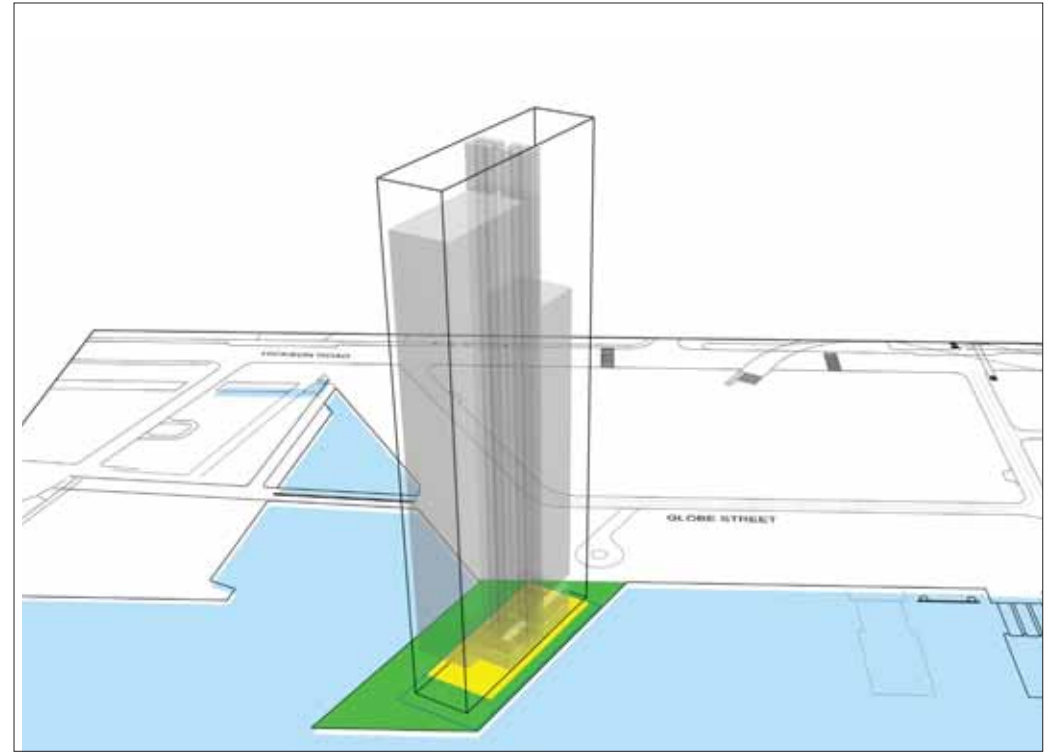
Control 9 Signage

Objectives:

- To ensure that the location, size, appearance and the quality of the signage on the building is appropriate.

Standard:

- High level signage is limited to four, each on a separate face of the building.
- Signage is not to exceed 30sqm per sign.
- Signage is to be limited to hotel name/brand.
- Design excellence is to be provided and achieved for the signage and the signage strategy.



Control 10 Public Access

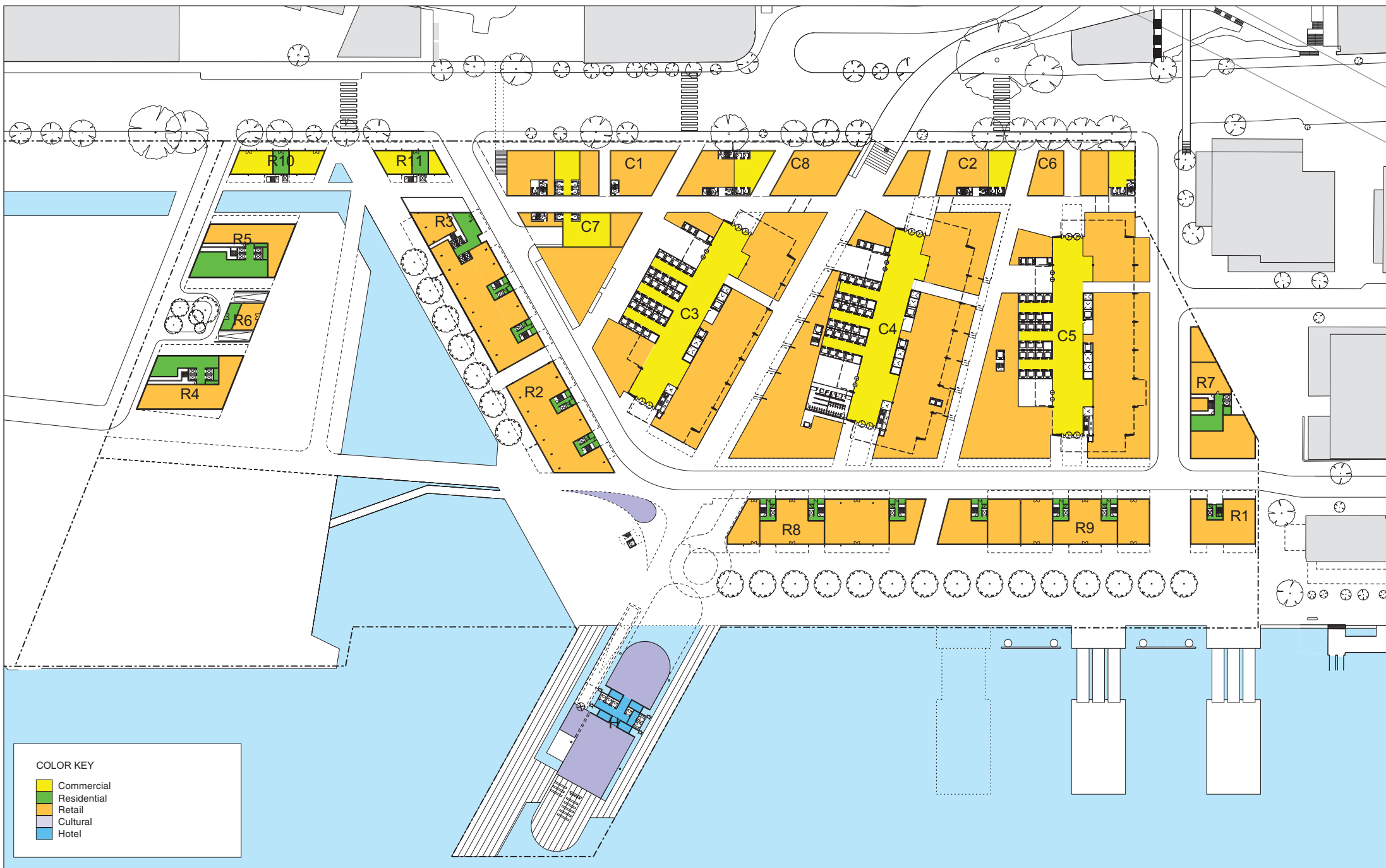
Objectives:

- To ensure control over area and location of public accessible space on the new Pier.
- Public access to the top of the building ensures social relevance of building

Standard:

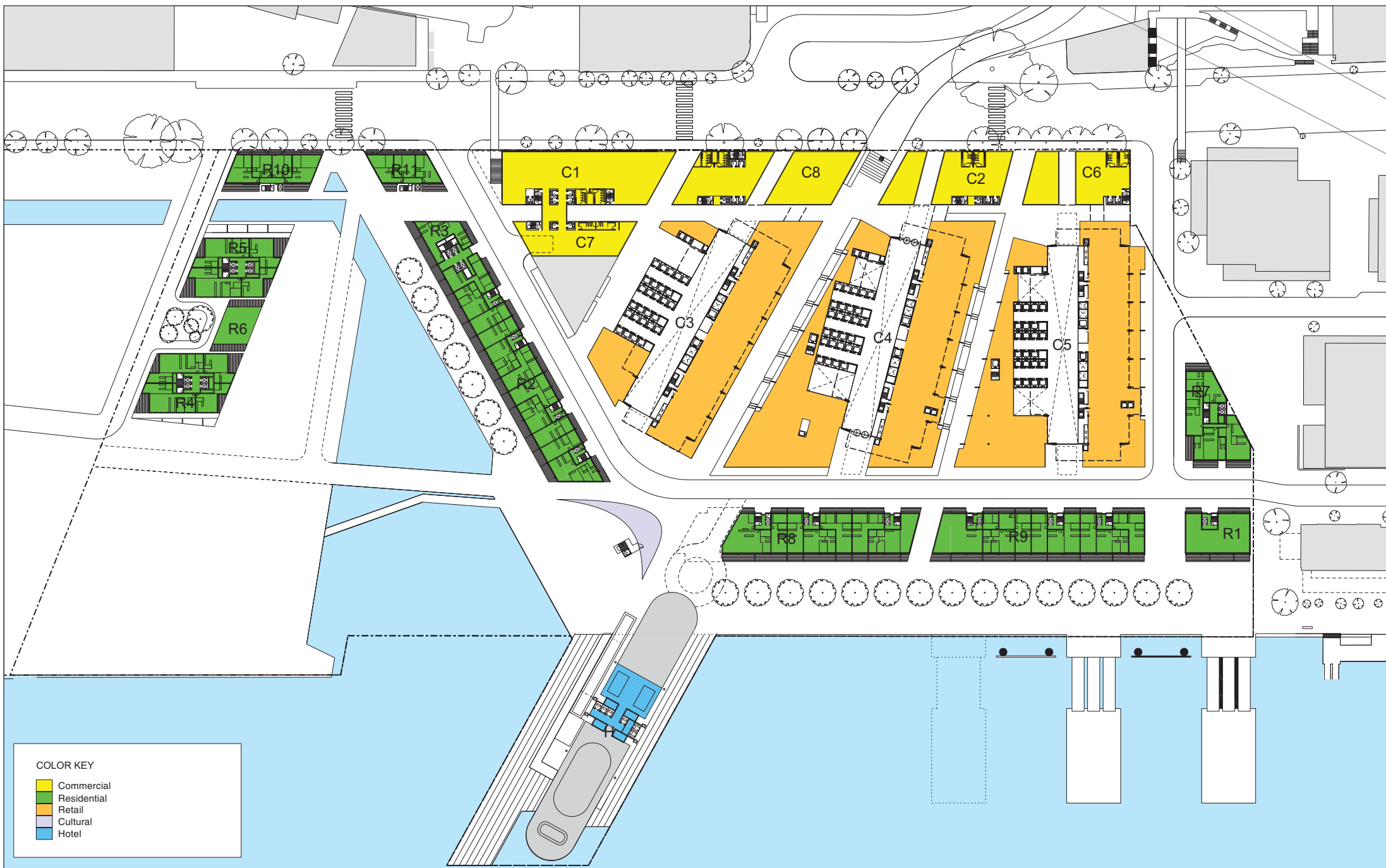
- The public accessible area (green in diagram) will be at least 51% of the Wharf Pier.
- Provision of Public access to the top of the building.
- Ground Floor uses in the hotel are to be accessible to the public which can include food and beverage / dining.
- The public/gallery space to be located at the most westerly end within the overall block envelope maximising public access.

INDICATIVE DESIGN DRAWINGS



Scale: 1:1250 @ A3

Indicative Design - Ground Level



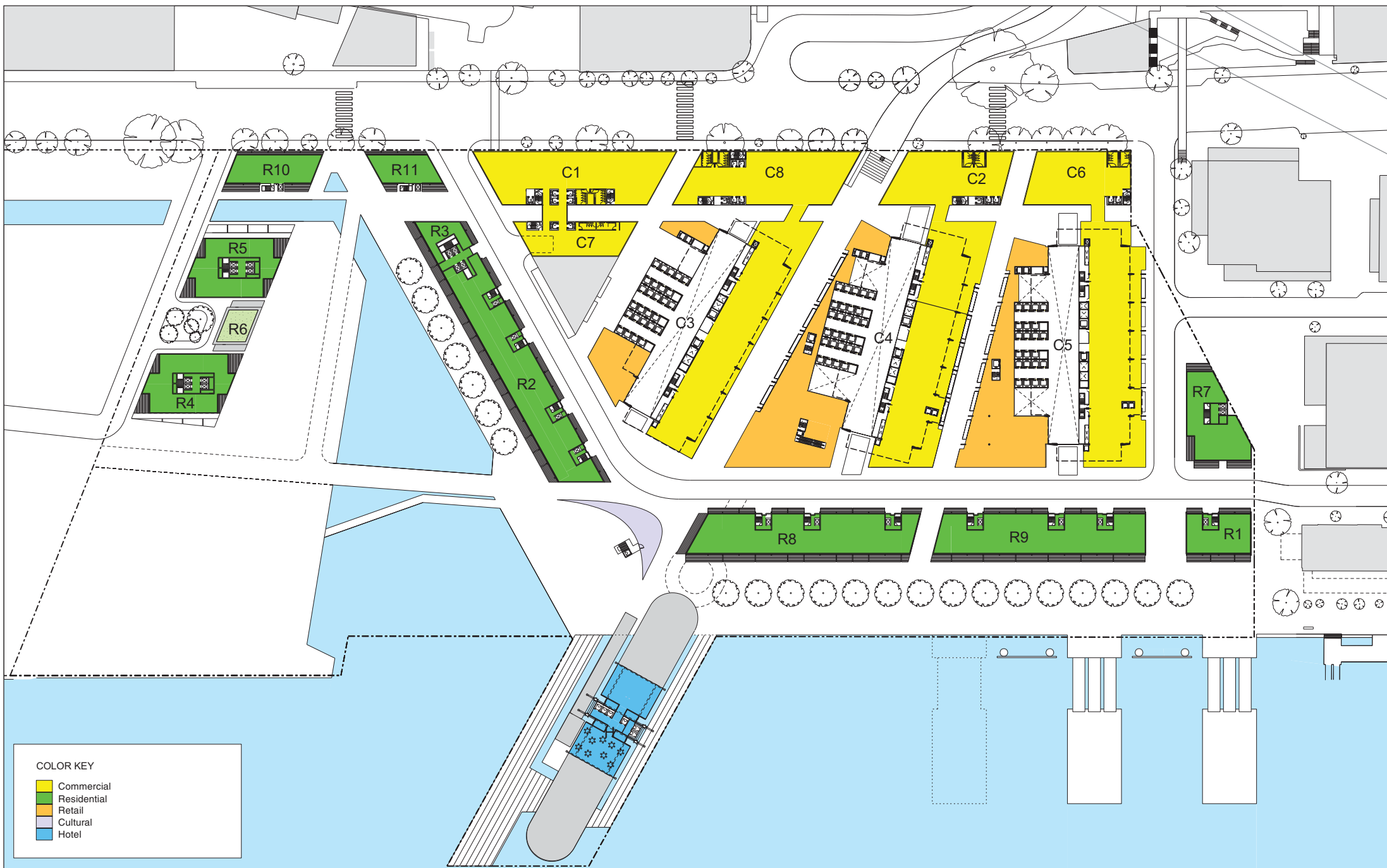
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Indicative Design - Level 1

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Note: Images are illustrative depictions of design concepts only



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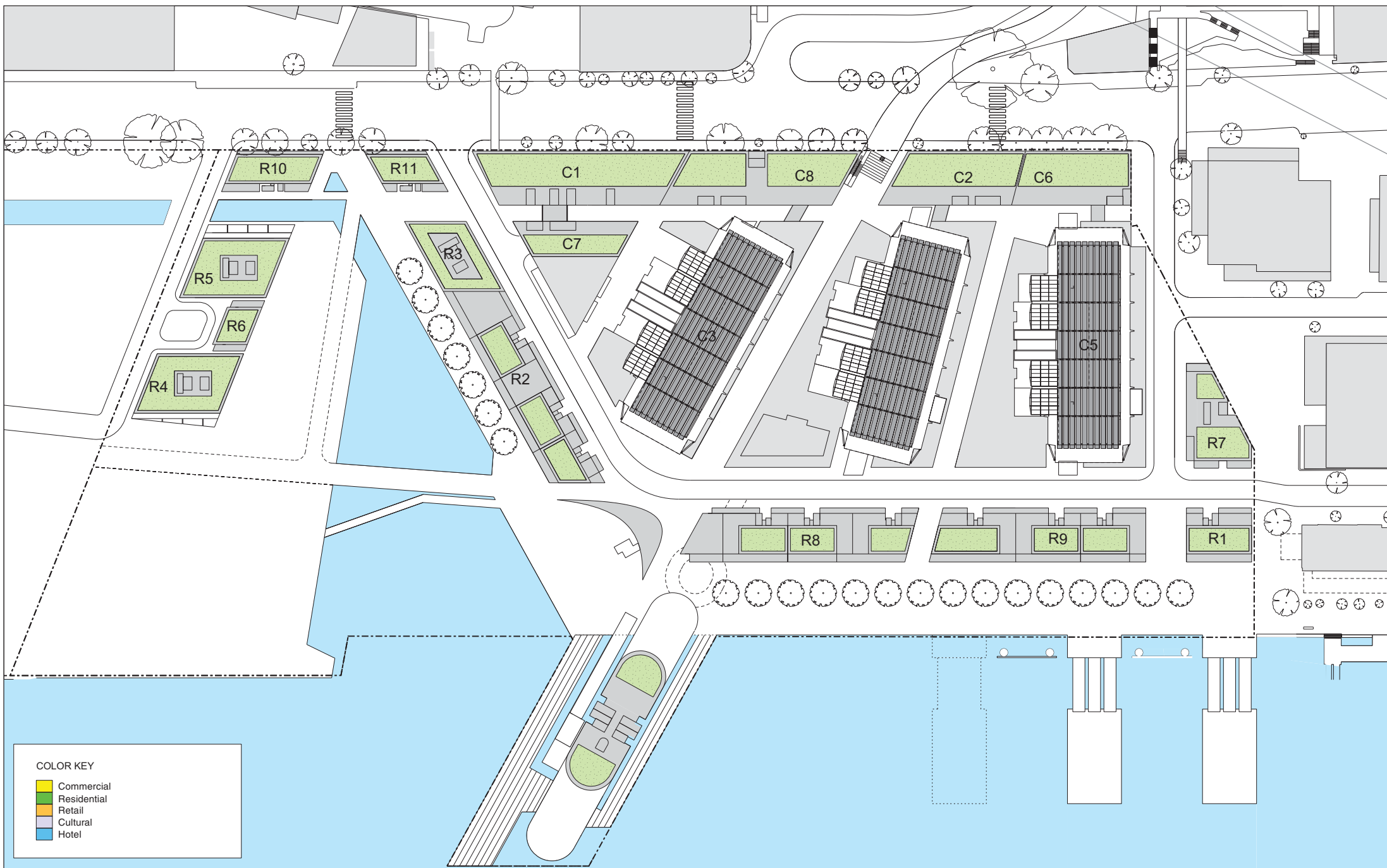
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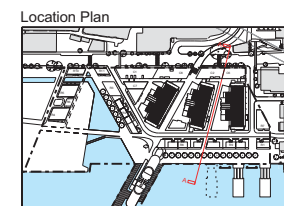
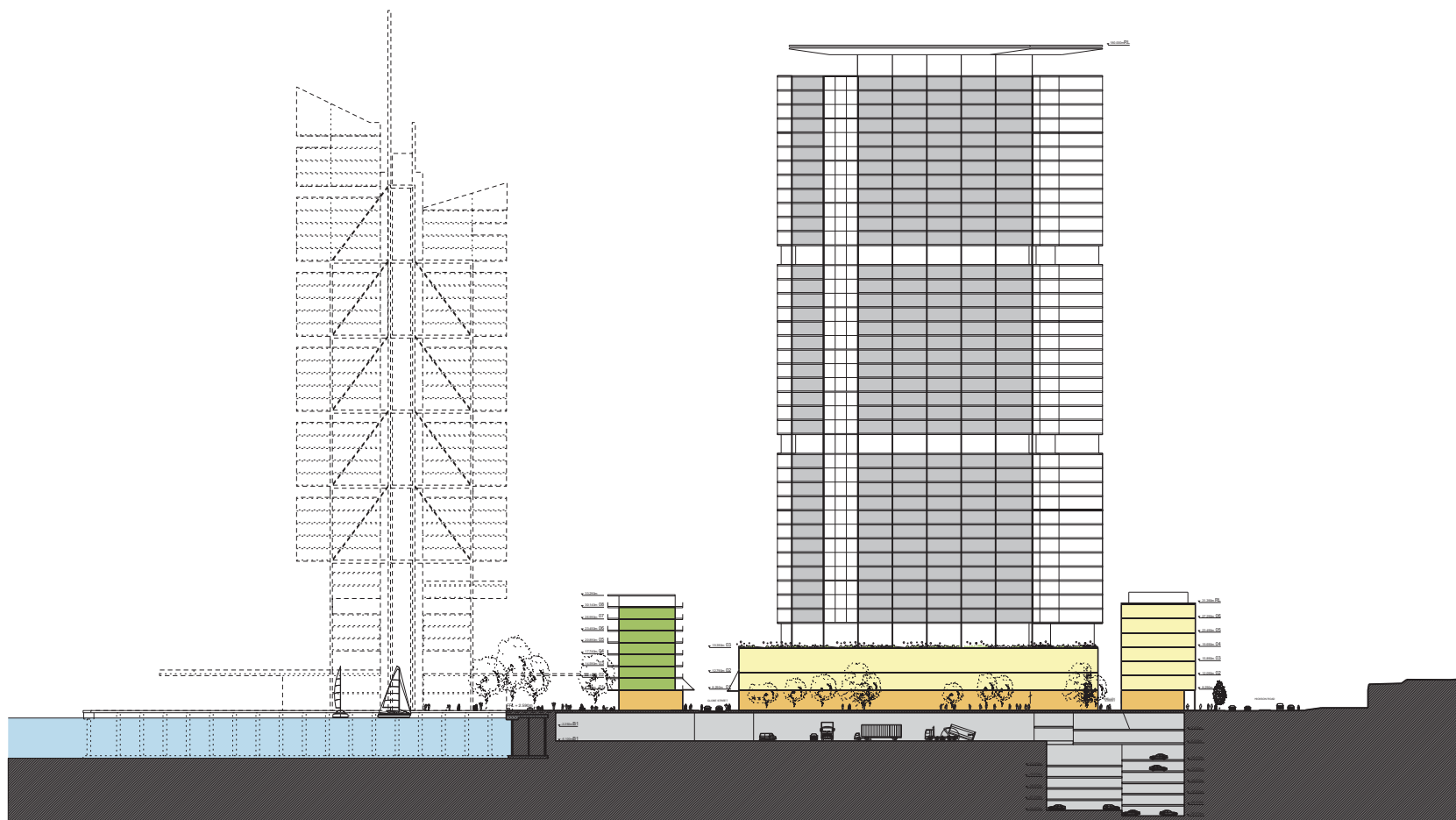
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Indicative Design - Level 3

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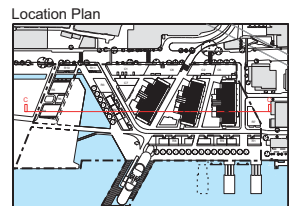
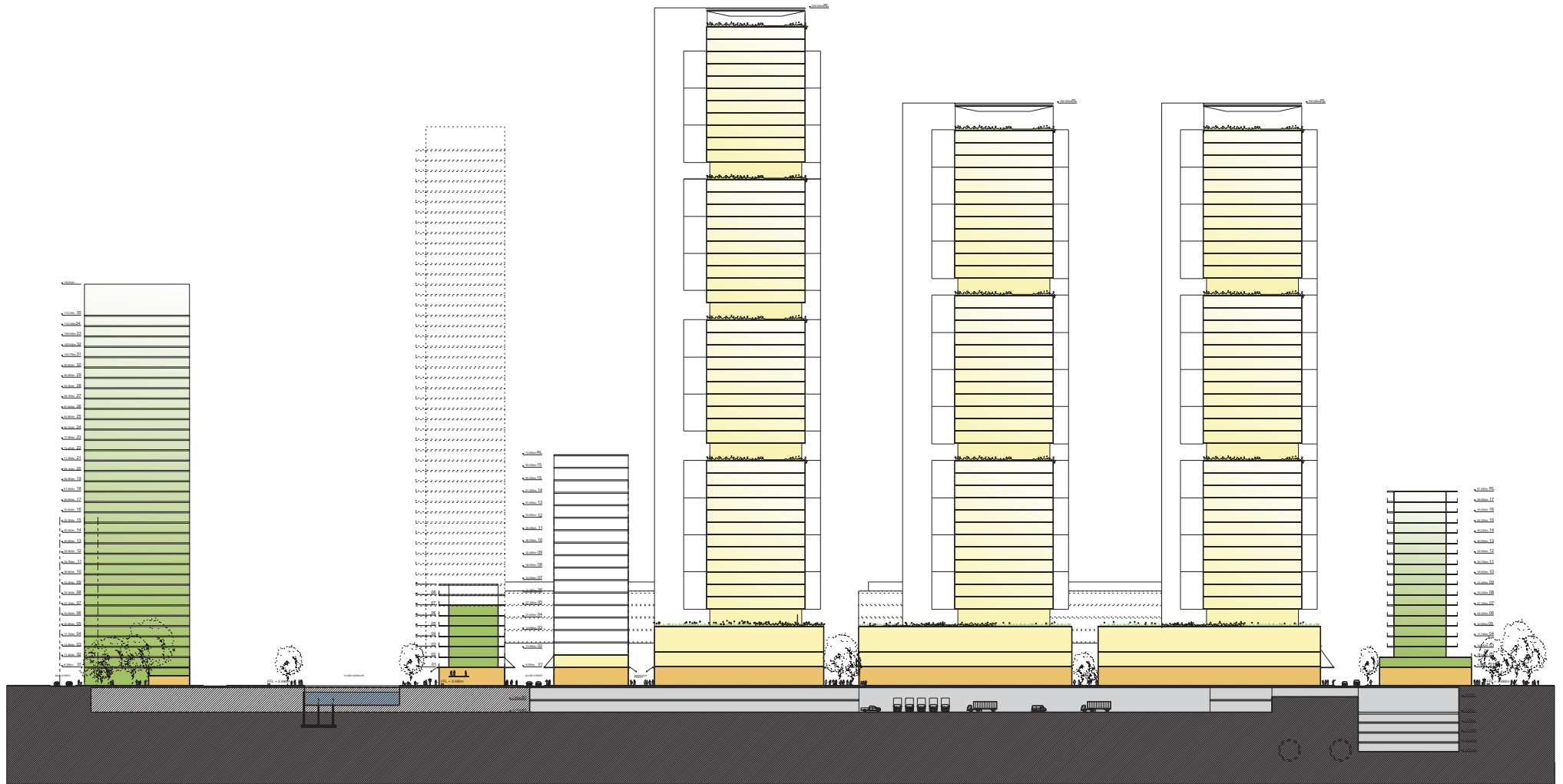
Note: Images are illustrative depictions of design concepts only





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Indicative Design - Site Section AA



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Indicative Design - Site Section CC

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