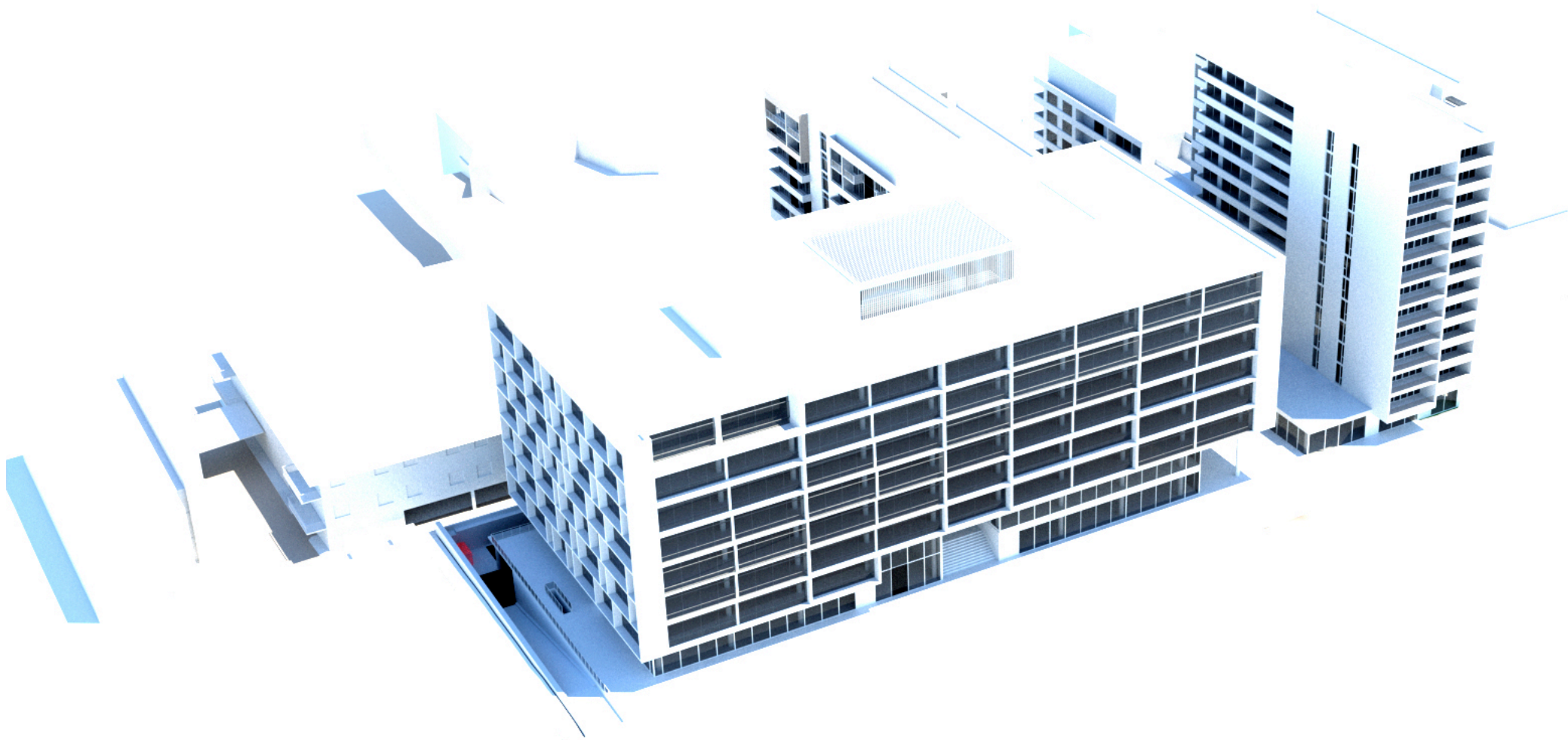


	Drawing No:	Drawing Name	Scale	Revision
PLANS	CP01	Location Plan	1:5000	C
	CP02	Site Analysis Plan	1:500	E
	CP03	Area Schedule		J
	CP04	Parti Diagrams		B
	CP05	Uses Diagrams		B
	CP10	Basement 03		G
	CP11	Basement 02		G
	CP12	Basement 01		G
	CP13	Lower Ground Plan		G
	CP14	Ground Plan		G
	CP15	Level 1		G
	CP16	Level 2		G
	CP17	Level 3		G
	CP18	Level 4		G
	CP19	Level 5		G
	CP20	Level 6		G
	CP21	Level 7		G
	CP22	Level 8 - 11		G
	CP23	Roof Plan		G
ELEVATIONS	CP30	North Elevation	1:250	E
	CP31	South Elevation		E
	CP32	East Elevation		D
	CP33	West Elevation		E
SECTIONS	CP40	Section AA	1:250	E
	CP41	Section BB		E
	CP42	Section CC		E
	CP43	Section DD		E
	CP44	Section EE / West Elevation		D
	CP45	Section FF		E
DIAGRAMS	CP50	December 21	NTS	D
	CP51	June 21		D
PERSPECTIVES	CP60	3D Perspectives	NTS	D




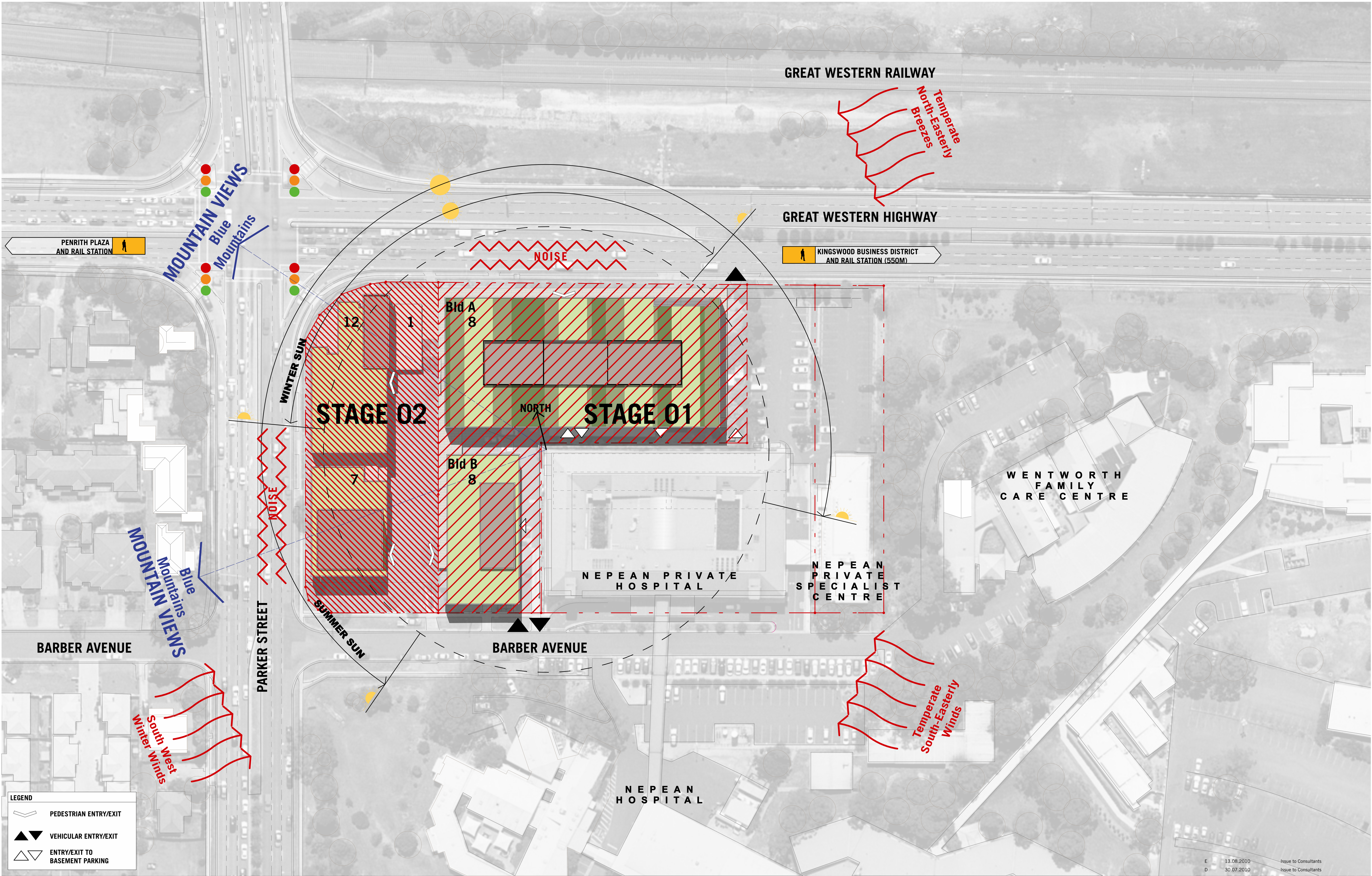


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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Location Plan
Analysis

C	01.02.2010	Concept Plan issue		
Rev.	Date	Approved by	Revision Notes	
SCALE	JOB No.	DRAWN	ML/MH/AH	NORTH
1:5000@A1, 50%@A3	09007			
STATUS	DWG No.	REV		
FOR INFORMATION	CP01	C		
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LEGEND

- PEDESTRIAN ENTRY/EXIT
- VEHICULAR ENTRY/EXIT
- ENTRY/EXIT TO BASEMENT PARKING

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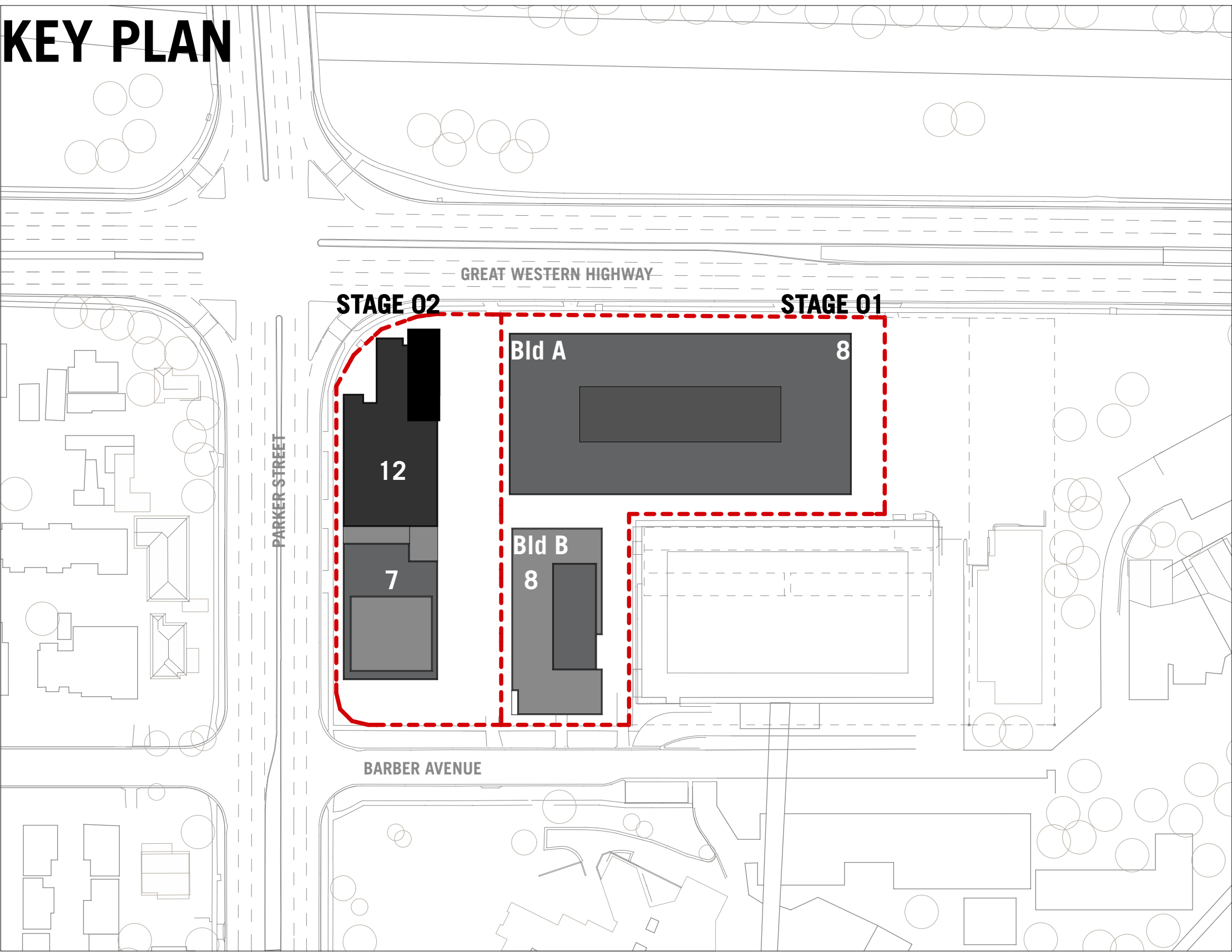
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Site Analysis Plan
Analysis

Rev.	Date	Approved by	Revision Notes
E	13.08.2010		Issue to Consultants
D	30.07.2010		Issue to Consultants
C	01.02.2010		Concept Plan issue
Rev.	Date	Approved by	Revision Notes
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FOR INFORMATION			
JOB No.	09007	DRAWN	ML/MH/AH
EDWG No.	CP02	REV	E
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KEY PLAN



Penrith Local Environmental Plan 2008:
gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:
(a) the area of a mezzanine, and
(b) habitable rooms in a basement or an attic, and
(c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:
(d) any area for common vertical circulation, such as lifts and stairs, and
(e) any basement;
(f) storage, and
(g) any area for common vertical circulation, such as lifts and stairs, and
(h) any space used for the loading or unloading of goods (including access to it), and
(i) terraces and balconies with outer walls less than 1.4 metres high, and
(j) voids above a floor at the level of a storey or storey above.

Area Schedule_STAGE01		
Zone Category	Zone Name	Area (GFA)
COMMERCIAL		
	BldA_COMMERCIAL	19,222
	BldA_COMMERCIAL - FOYER	400
	BldB_COMMERCIAL	567
		20,189 m2
RESIDENTIAL		
	BldB_LOBBY	80
	SERVICED APARTMENTS	4,511
		4,592 m2
RETAIL		
	BldA_RETAIL	1,509
	BldA_RETAIL - COURT	719
	BldB_RETAIL	461
	SUPERMARKET	961
	SUPERMARKET_ANCILLARY	570
		4,220 m2
TOTAL GFA (STAGE 01)		29,001 m2
SITE AREA (Stage 01)		5853 m²
FSR (Stage 01)		4.96:1

Area Schedule_STAGE02		
Zone Category	Zone Name	Area (GFA)
RESIDENTIAL		
	Stage 02_RESIDENTIAL	10,154
		10,156 m2
RETAIL		
	Stage 02_RETAIL	3,139
		3,138 m2
		13,294 m2

TOTAL GFA (STAGE 01 & 02)		42,295 m²
TOTAL SITE AREA (STAGE 01 & 02)		9,571 m²
FSR		4.42:1

Barber Avenue Kingswood Carpark Schedule

Issue: F Date: 21.09.2010 Approved: AH

STAGE 1 (Amended)				
LEVEL	RETAIL (sq metre)	COMMERCIAL (sq metre)	SERVICE APARTMENTS	
			1 Bedroom	2 Bedrooms
Parking Rates	1:26 / Nett Floor Area	1:40 / Gross Floor Area	1 / Apt + 1:10 Visitor	
Lower Ground	1377.00	0 (Bldg A/B)		
Ground	1554	567 (Bldg A/B)		
Level 1		2404 (Bldg A/B)	14	2
Level 2		2876 (Bldg A)	14	2
Level 3		2872 (Bldg A)	11	2
Level 4		2875 (Bldg A)	11	2
Level 5		2878 (Bldg A)	11	2
Level 6		2875 (Bldg A)	11	2
Level 7		2844 (Bldg A)		
Total	2931	20191 (Bldg A)	72	12
Required Car Spaces	112.73	504.78	72	12
Total Car Spaces	113	505	93 (including 9 visitors)	
Total Car Spaces Required	711	Total Car Spaces Provided	449	

STAGE 2				
LEVEL	RETAIL (sq metre)	COMMERCIAL (sq metre)	RESIDENTIAL	
			1 Bedroom	2 Bedrooms
Parking Rates	1:26 / Nett Floor Area	1:40 / Gross Floor Area	1 / Apt + 1:5 Visitor	
Lower Ground	1633.00	N/A		
Ground	1505.50	N/A		
Level 1	N/A	N/A	4	9
Level 2	N/A	N/A	4	9
Level 3	N/A	N/A	4	9
Level 4	N/A	N/A	4	9
Level 5	N/A	N/A	4	8
Level 6 –11	N/A	N/A	12	30
Total	3138.50		32	74
Required Car Spaces	120.71	0	32	74
Total Car Spaces	121	0	128 (including 22 visitors)	
Total Car Spaces Required	249	Total Car Spaces Provided	312	

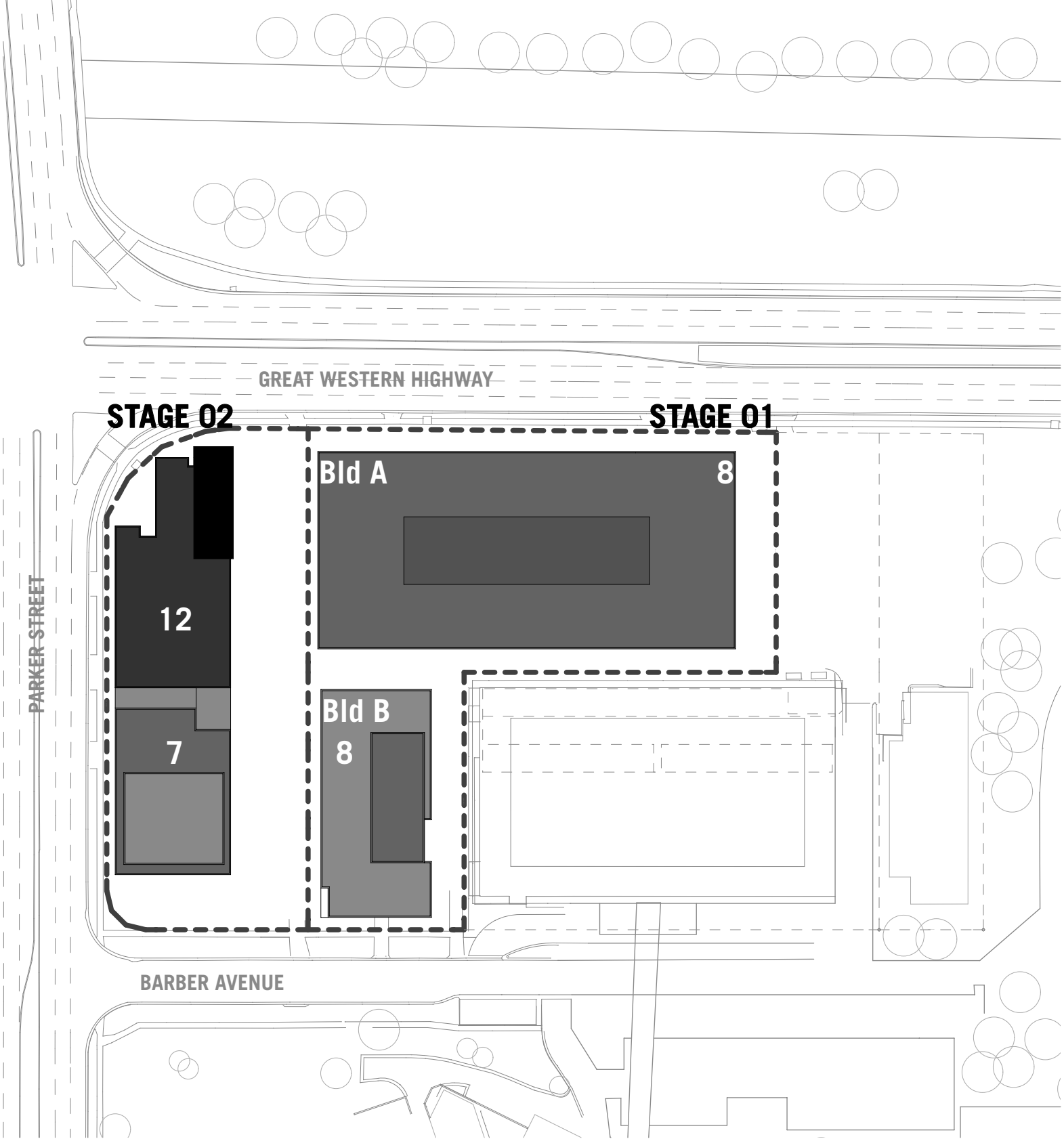
SUMMARY	
Total Carparking Required Stage 1 + 2	960
Total Carparking Provided Stage 1 + 2	761

J	21.09.2010	Issue to Consultants
H	20.09.2010	Issue to Consultants
G	13.08.2010	Issue to Consultants
F	04.08.2010	Consultant issue
E	20.07.2010	Consultant issue
D	01.02.2010	Concept Plan issue

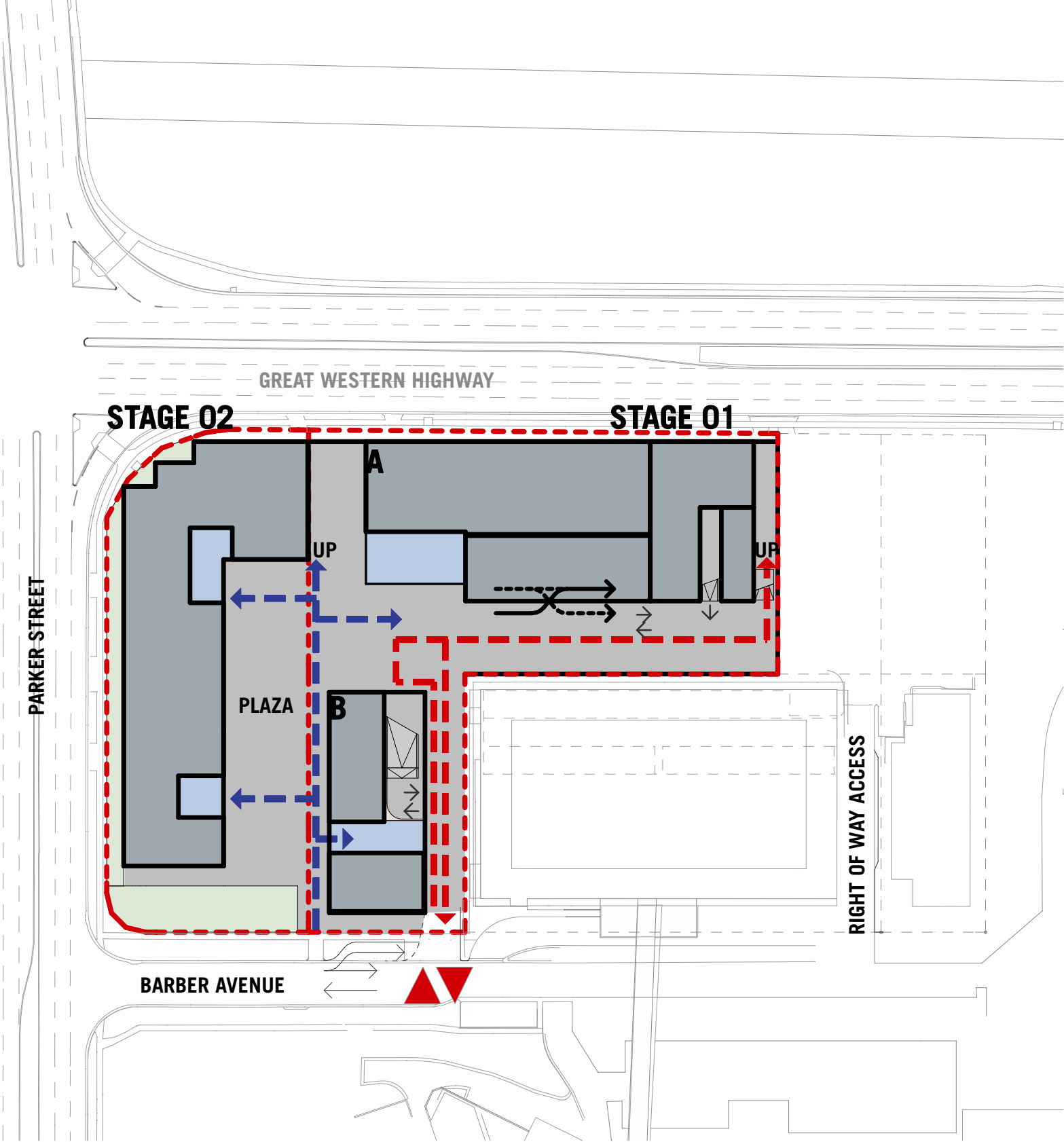
Rev.	Date	Approved by	Revision Notes
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OPEN/BUILT



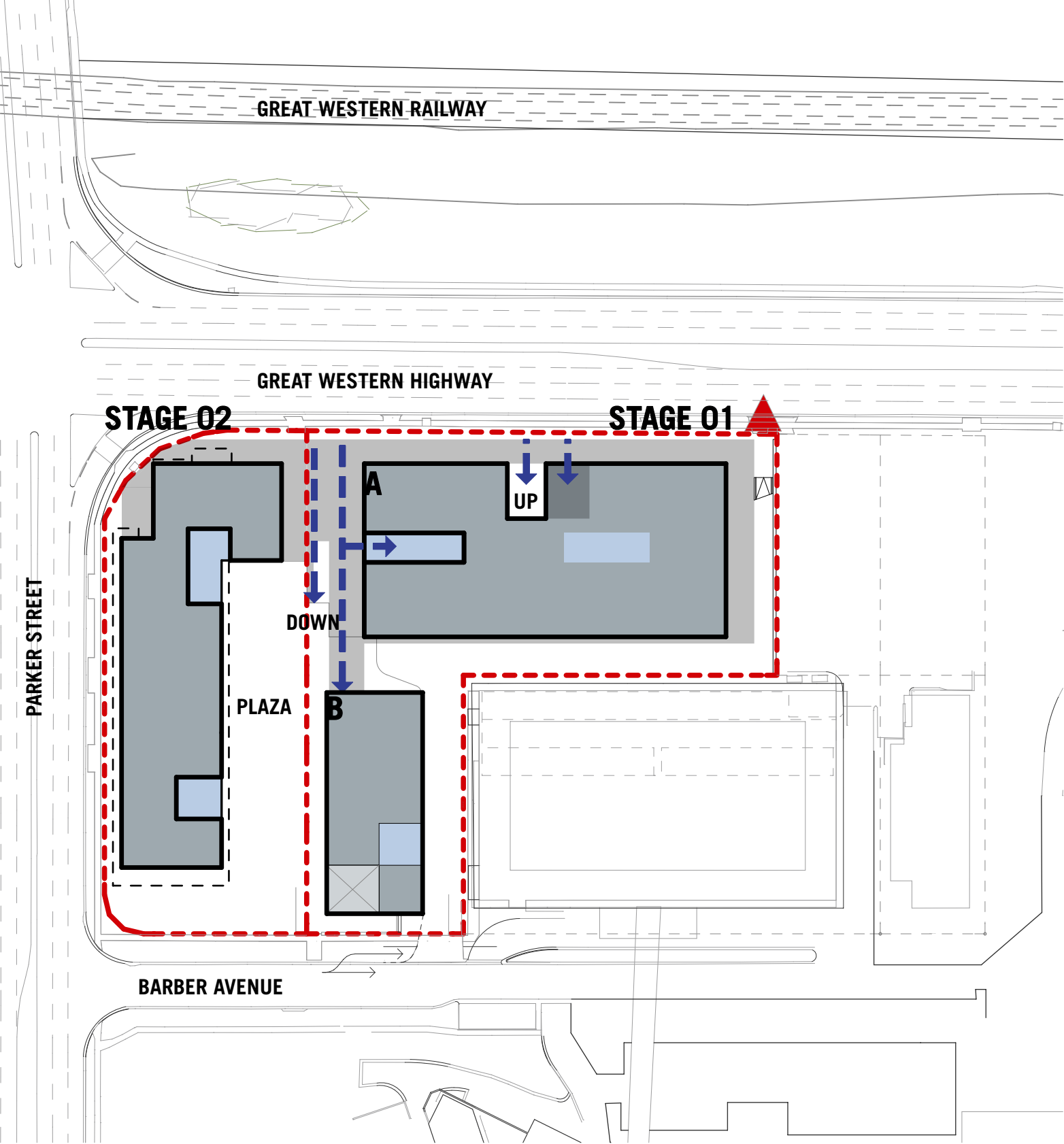
LOWER GROUND LEVEL



LEGEND

- PEDESTRIAN ACCESS
- VEHICULAR ACCESS
- SERVICE ACCESS ONLY

GROUND LEVEL



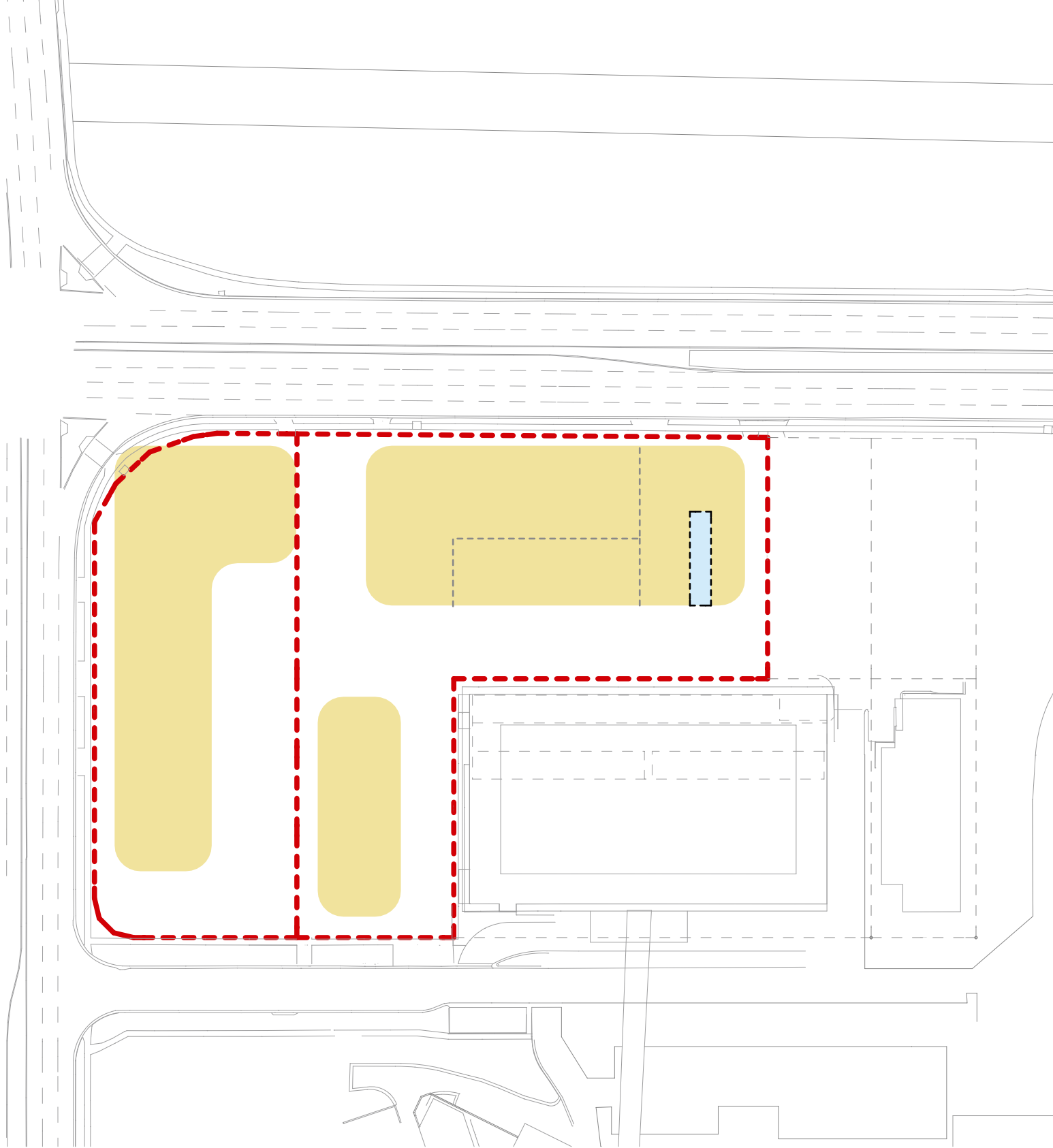
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- PEDESTRIAN ACCESS
- VEHICULAR ACCESS

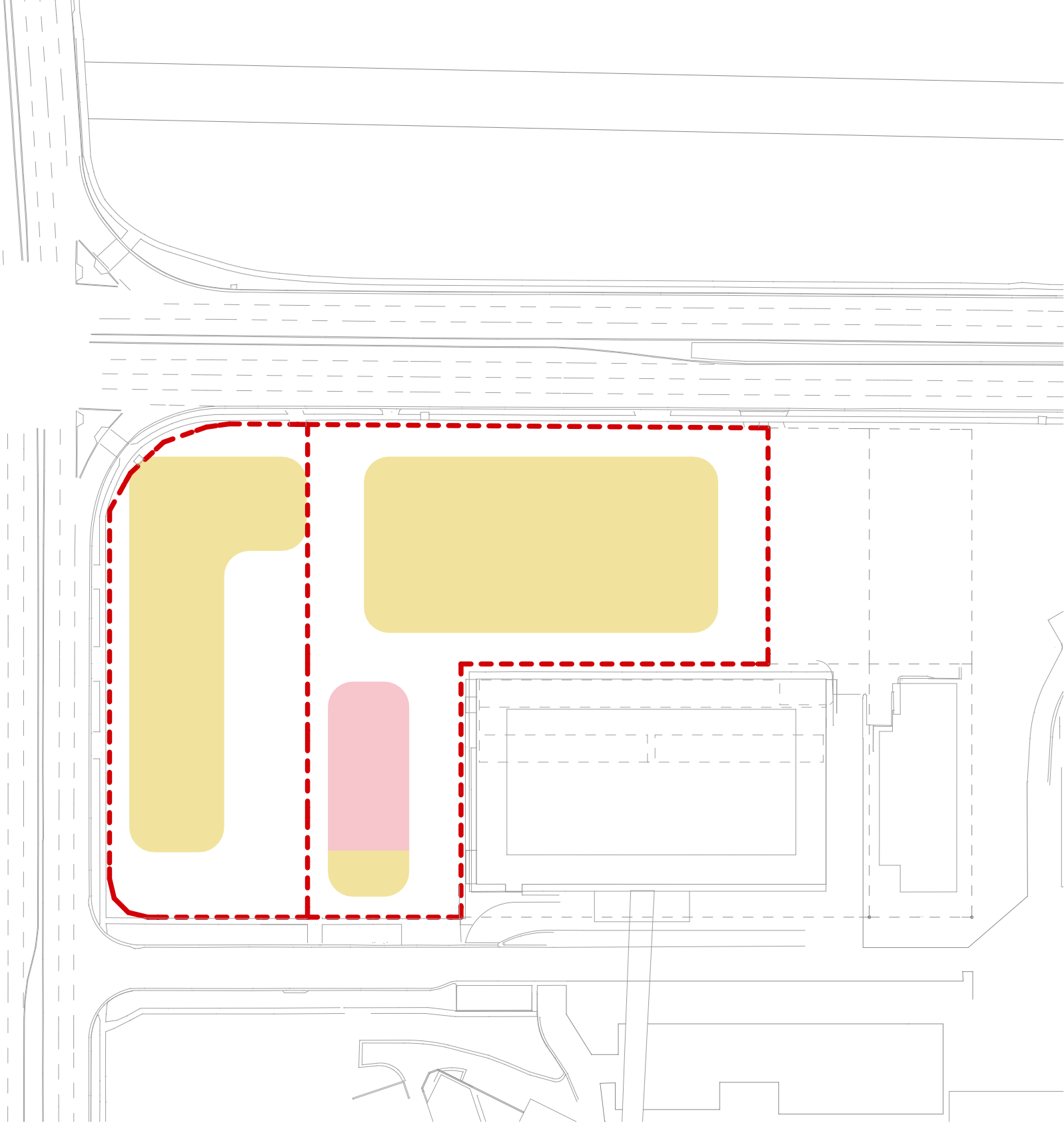
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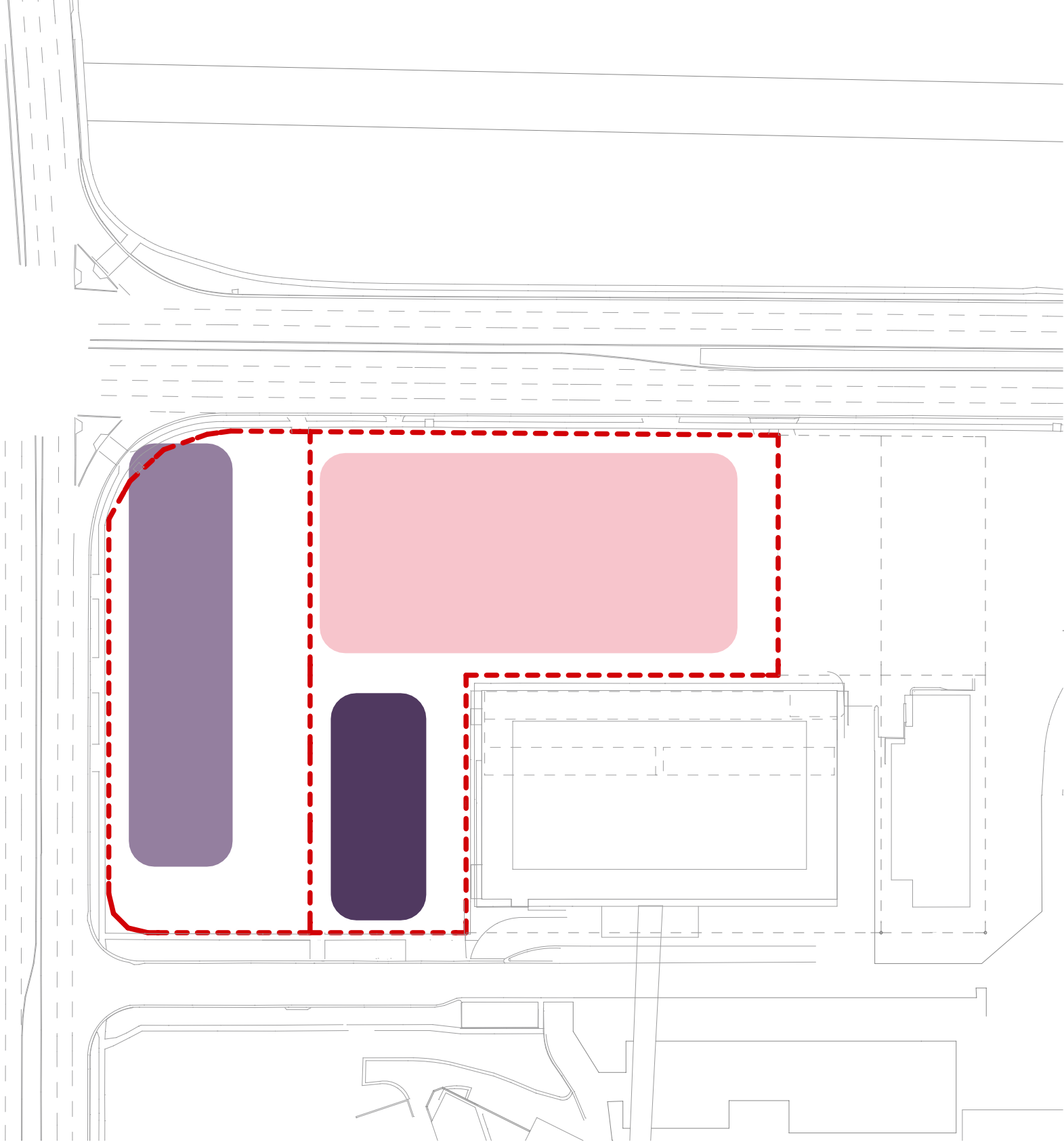
LOWER GROUND LEVEL



GROUND LEVEL



TYPICAL LEVEL



LEGEND

CARPARK

COMMERCIAL

RETAIL

RESIDENTIAL

SERVICED APARTMENTS

Nominated Architect Nicholas Turner 6695
ABN 95 004 584 511

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PROJECT TITLE
BARBER AVENUE, KINGSWOOD

DRAWING TITLE
CONCEPT PLAN

Uses Diagrams
Analysis

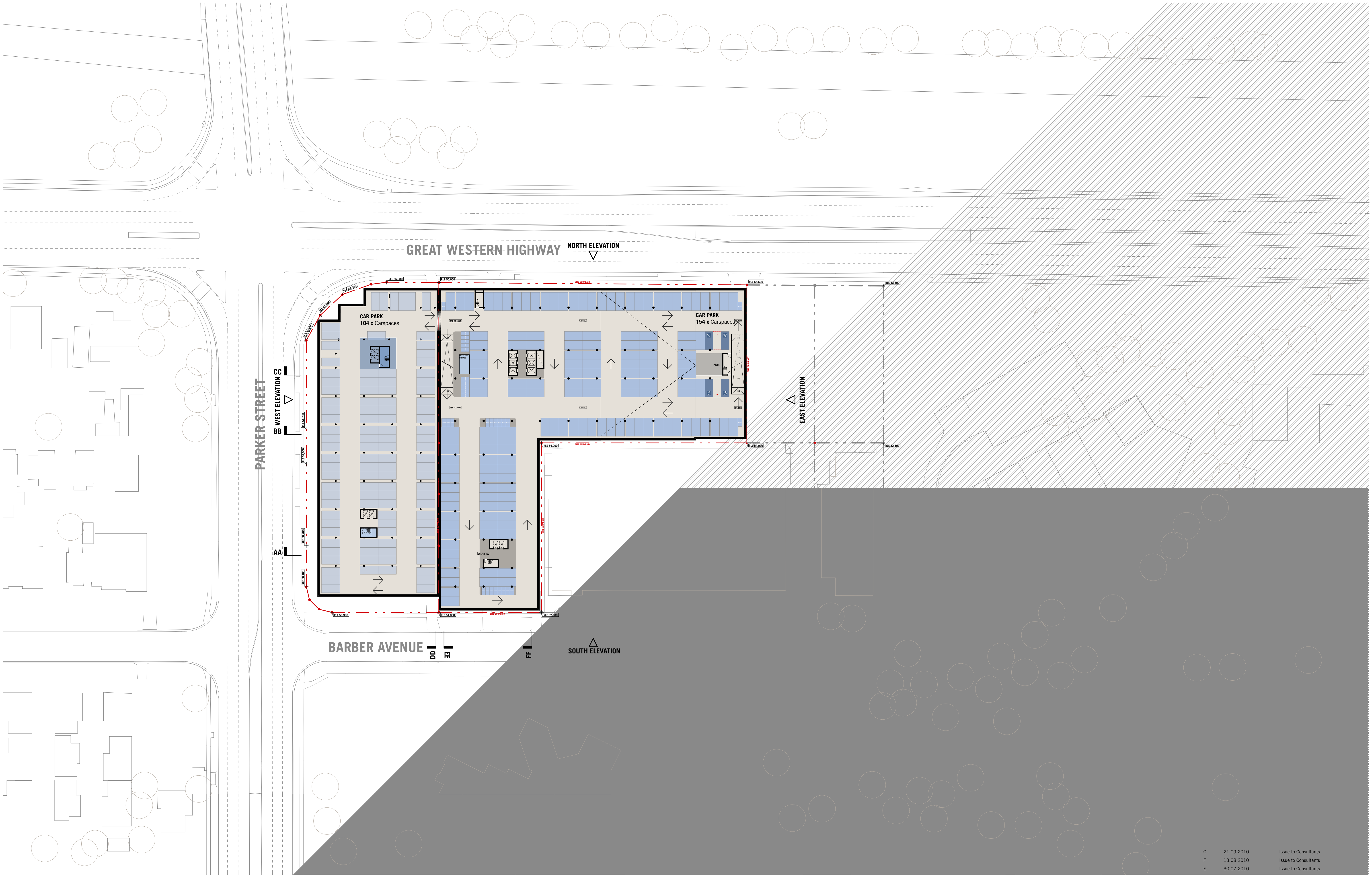
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A	01.02.2010	Concept Plan issue

Rev.	Date	Approved by	Revision Notes
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STATUS FOR INFORMATION	DWG No. CP05	REV B	

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G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

Rev.	Date	Approved by	Revision Notes
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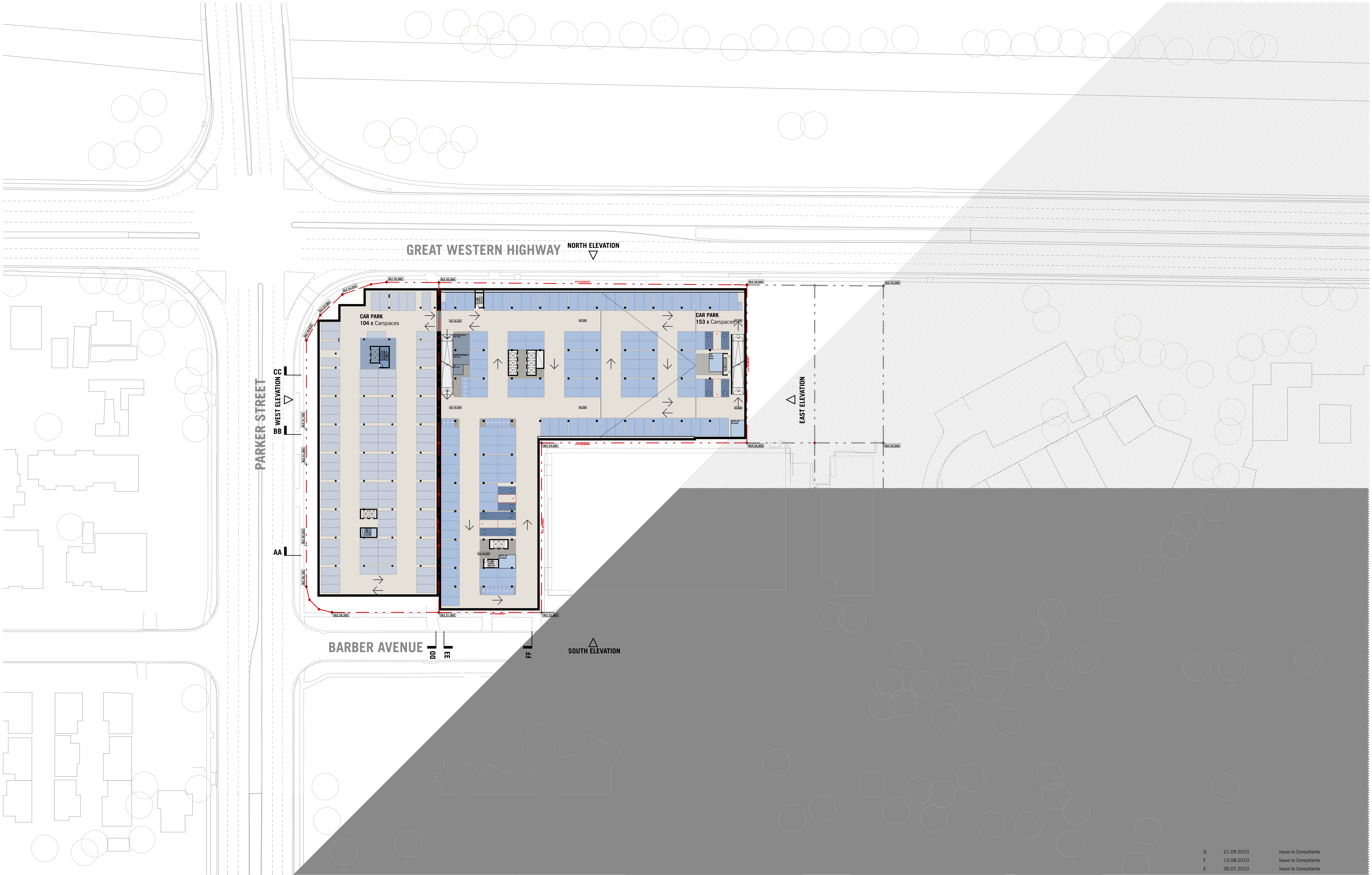
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	CP10	G	

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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Basement 03
Illustrative Plans



G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

Rev.	Date	Approved by	Revision Notes

SCALE	JOB No.	DRAWN	NORTH
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	CP11	G	

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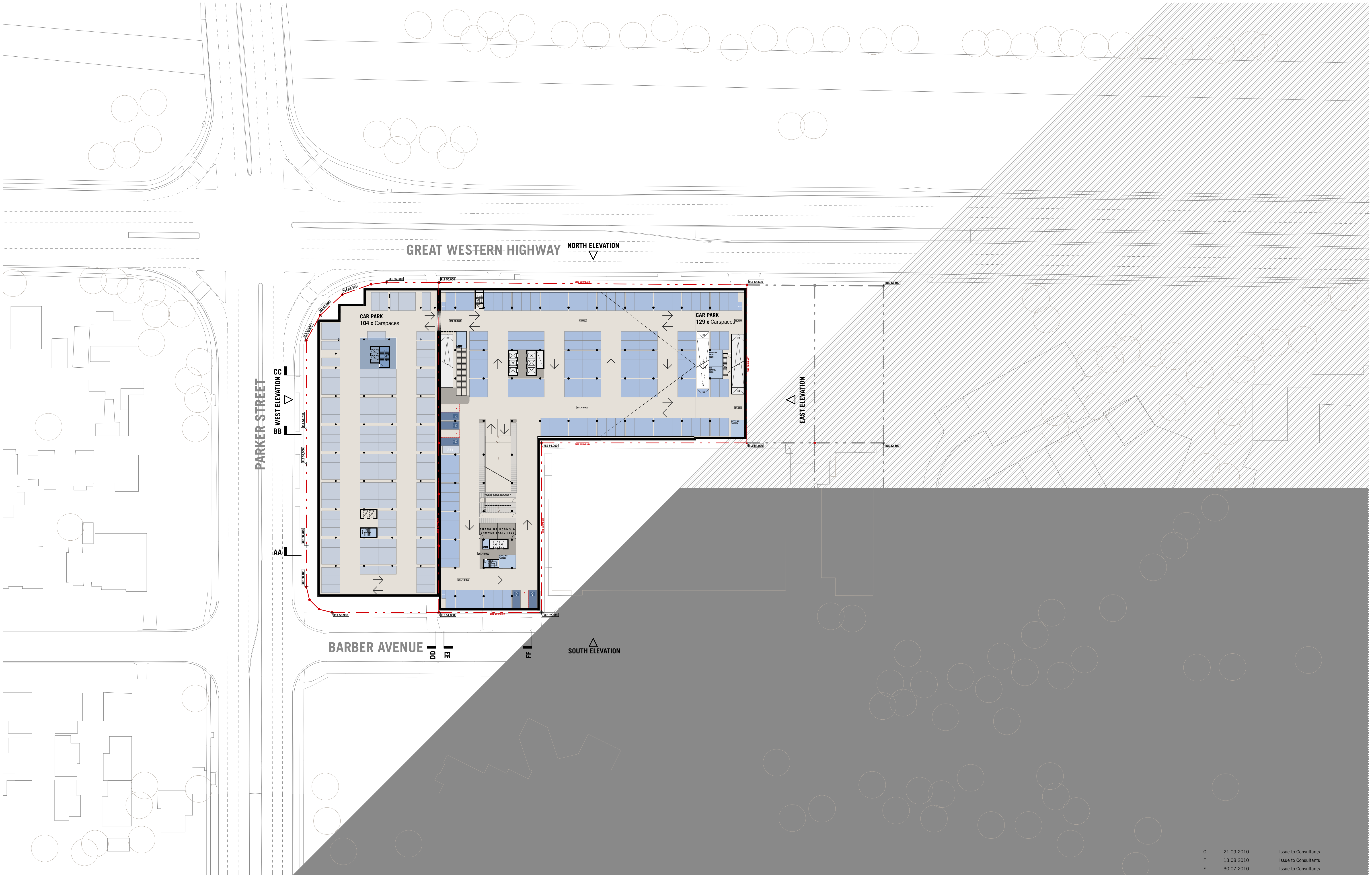
PROJECT TITLE
BARBER AVENUE, KINGSWOOD

CONCEPT PLAN

DRAWING TITLE
Basement 02
Illustrative Plans

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G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

Rev.	Date	Approved by	Revision Notes
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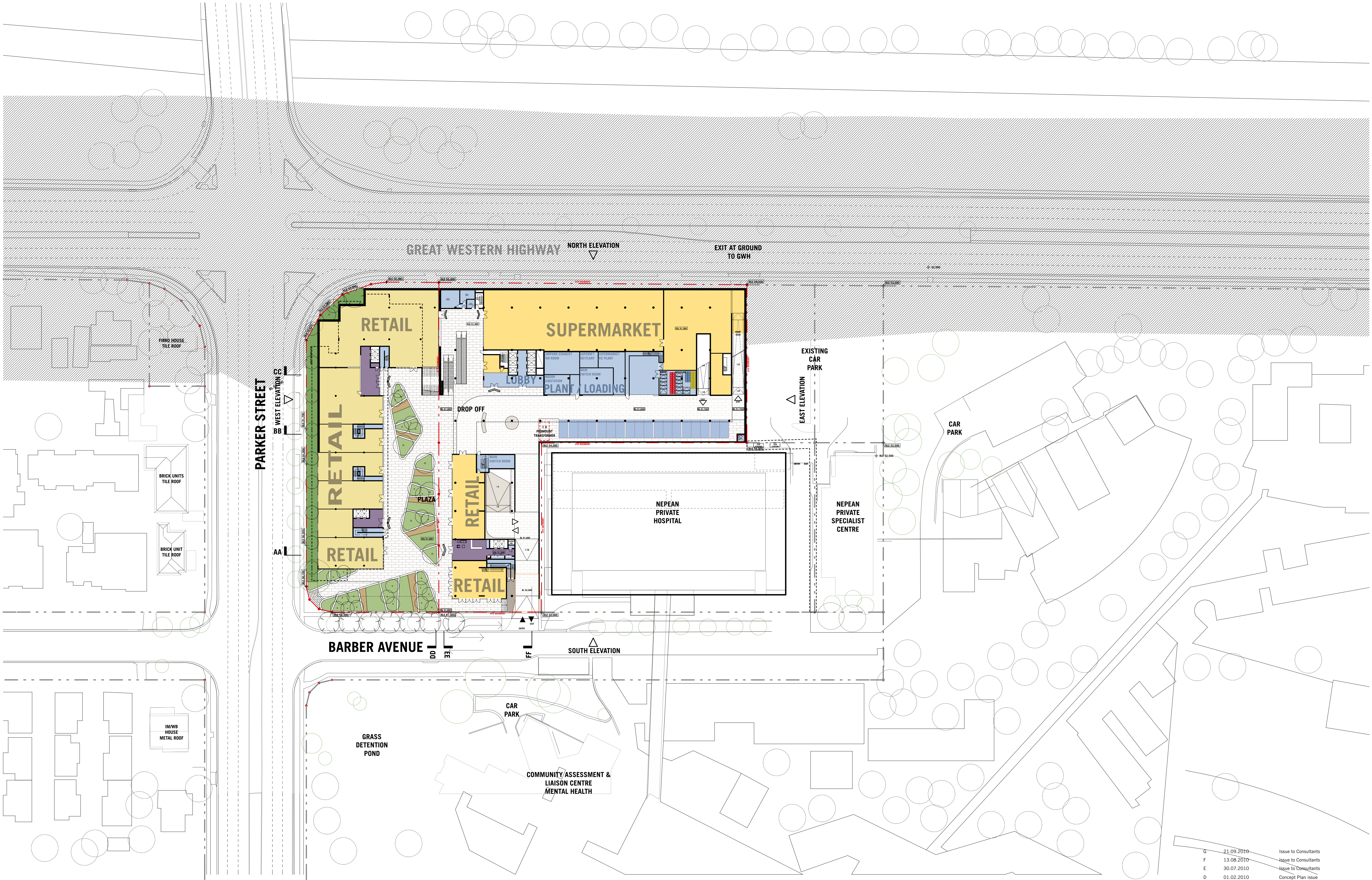
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FOR INFORMATION	DWG No.	REV	
	CP12	G	

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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Basement 01
Illustrative Plans



G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

Rev. Date Approved by Revision Notes

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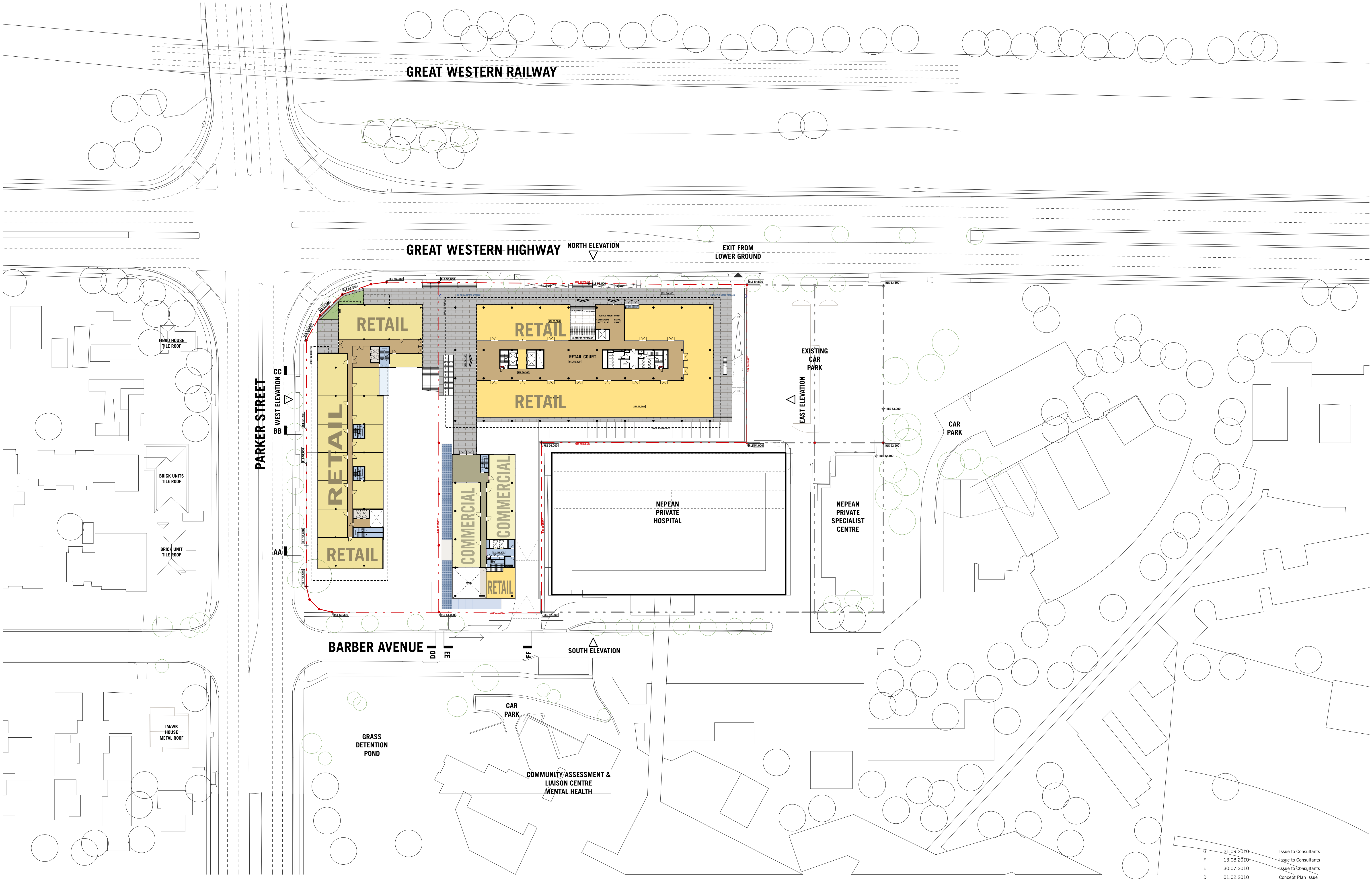
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ABN 95 004 594 911

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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Lower Ground Plan
Illustrative Plans

SCALE 1:500@A1, 50%@A3 FOR INFORMATION	JOB No. 09007 DWG No. CP13	DRAWN ML/MH/AH REV G	NORTH
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F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

Rev.	Date	Approved by	Revision Notes
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Nominated Architect Nicholas Turner 6695
ABN 95 004 094 911

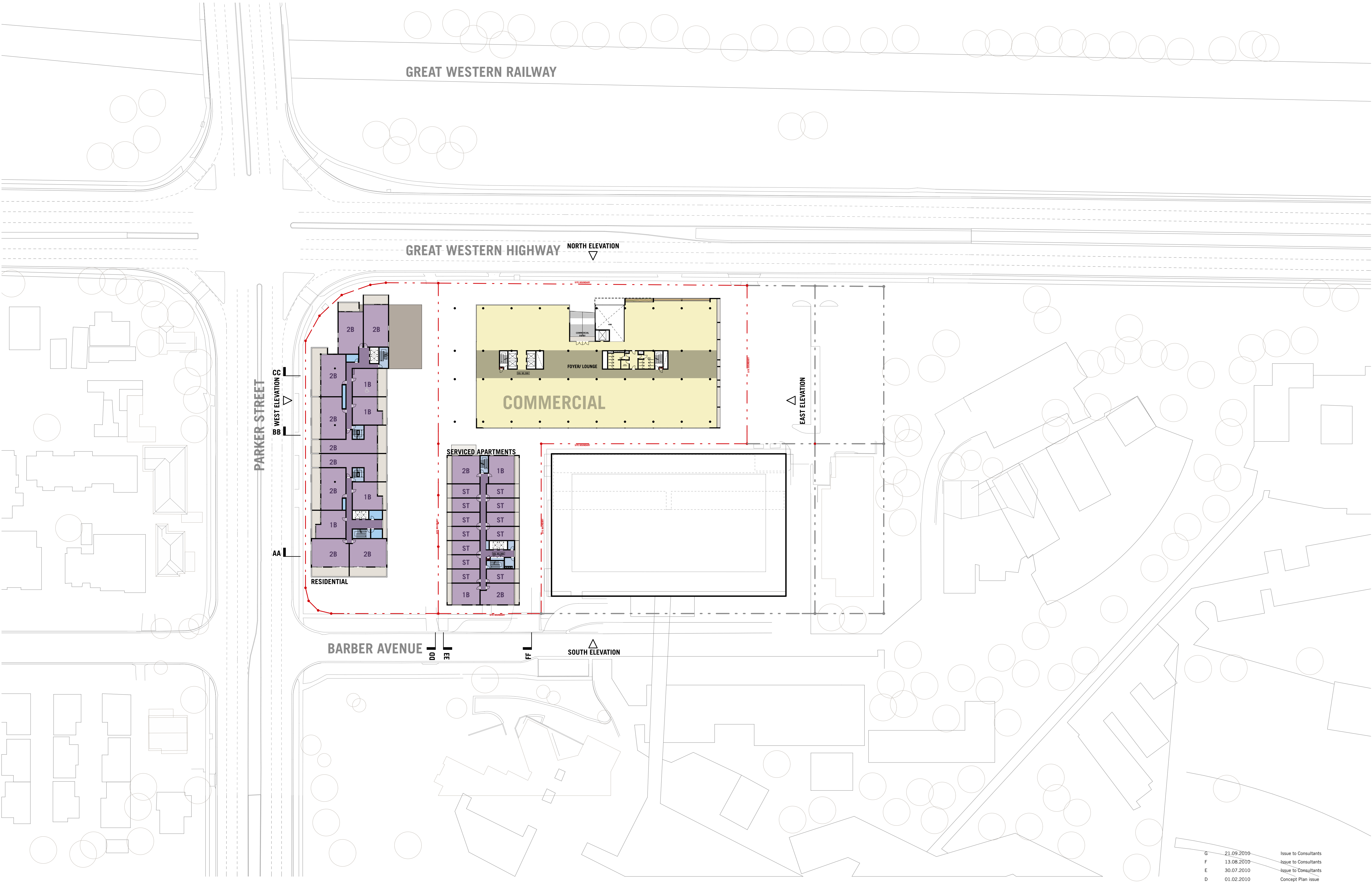
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Ground Plan
Illustrative Plans

SCALE 1:500@A1, 50%@A3	JOB No. 09007	DRAWN ML/MH/AH	NORTH
FOR INFORMATION	TDWG No. CP14	REV G	

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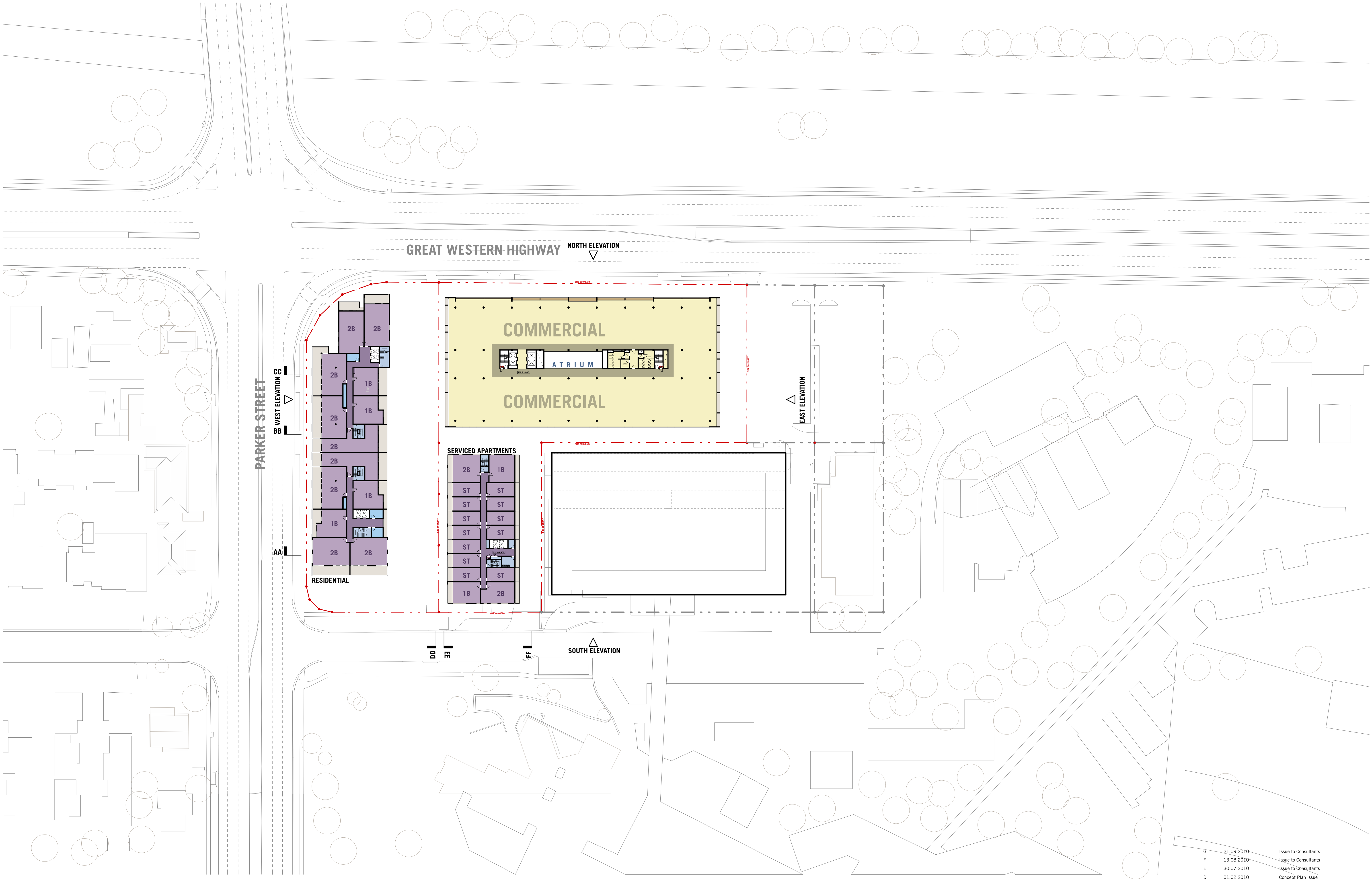
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G	21.09.2010		Issue to Consultants
F	13.08.2010		Issue to Consultants
E	30.07.2010		Issue to Consultants
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Level 1
Illustrative Plans

SCALE 1:500@A1, 50%@A3	JOB No. 09007	DRAWN ML/MH/AH	NORTH
FOR INFORMATION	DWG No. CP15	REV G	
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E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

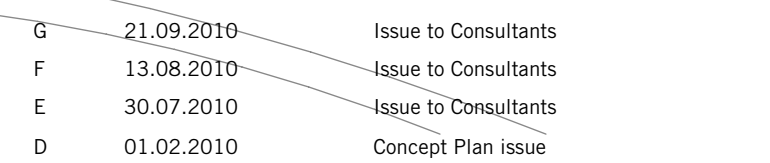
Rev.	Date	Approved by	Revision Notes
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Level 2
Illustrative Plans

SCALE 1:500@A1, 50%@A3	JOB No. 09007	DRAWN ML/MH/AH	NORTH
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SCALE 1:500@A1, 50%@A3	JOB No. 09007	DRAWN ML/MH/AH	NORTH 
STATUS FOR INFORMATION	DWG No. CP17	REV G	

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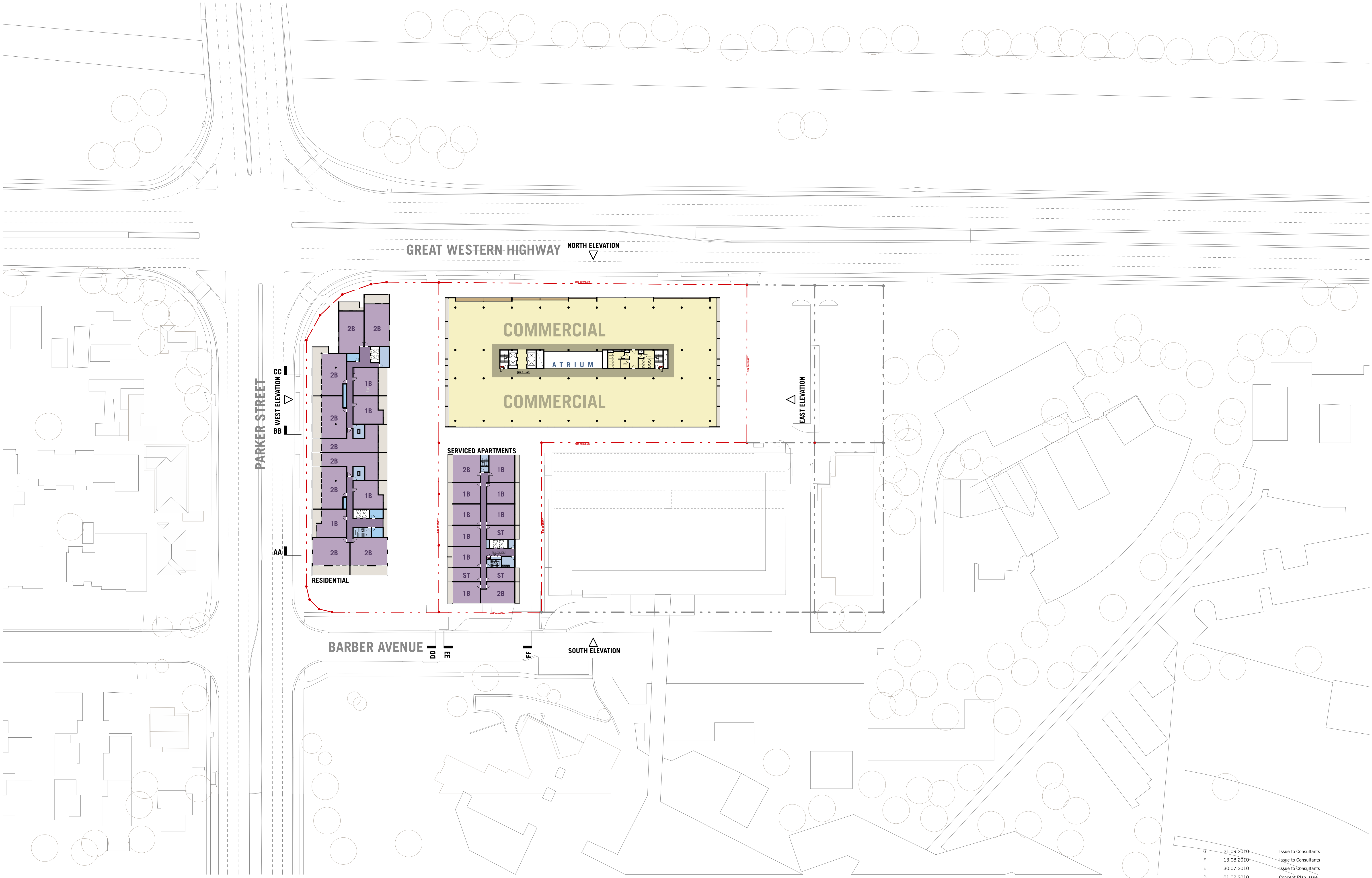
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PROJECT TITLE	BARBER AVENUE, KINGSWOOD
	CONCEPT PLAN
DRAWING TITLE	Level 3
	Illustrative Plans



G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

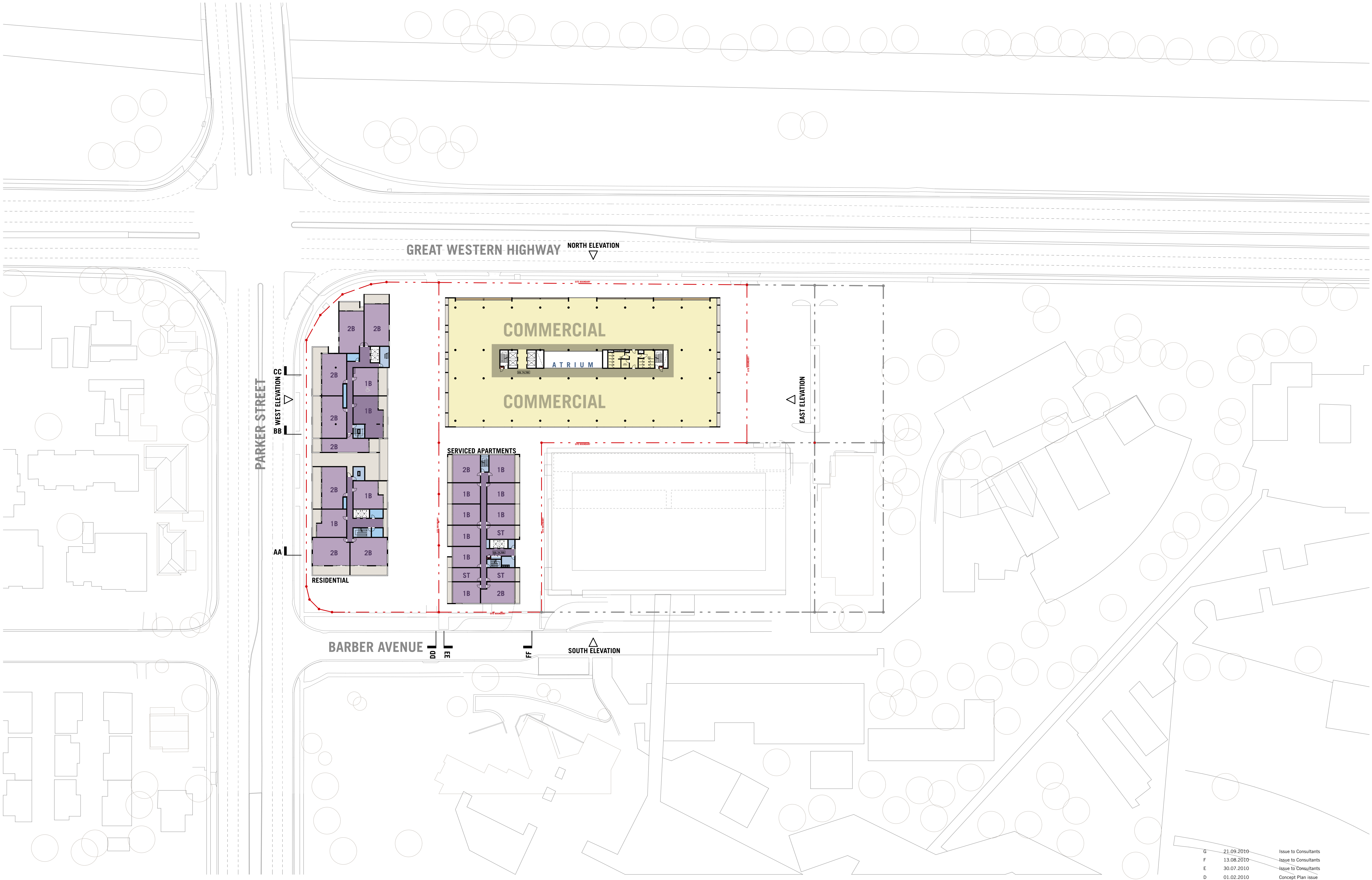
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Level 4
Illustrative Plans

SCALE 1:500@A1, 50%@A3	JOB No. 09007	DRAWN ML/MH/AH	NORTH
FOR INFORMATION	DWG No. CP18	REV G	
TURNER+ ASSOCIATES			
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G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

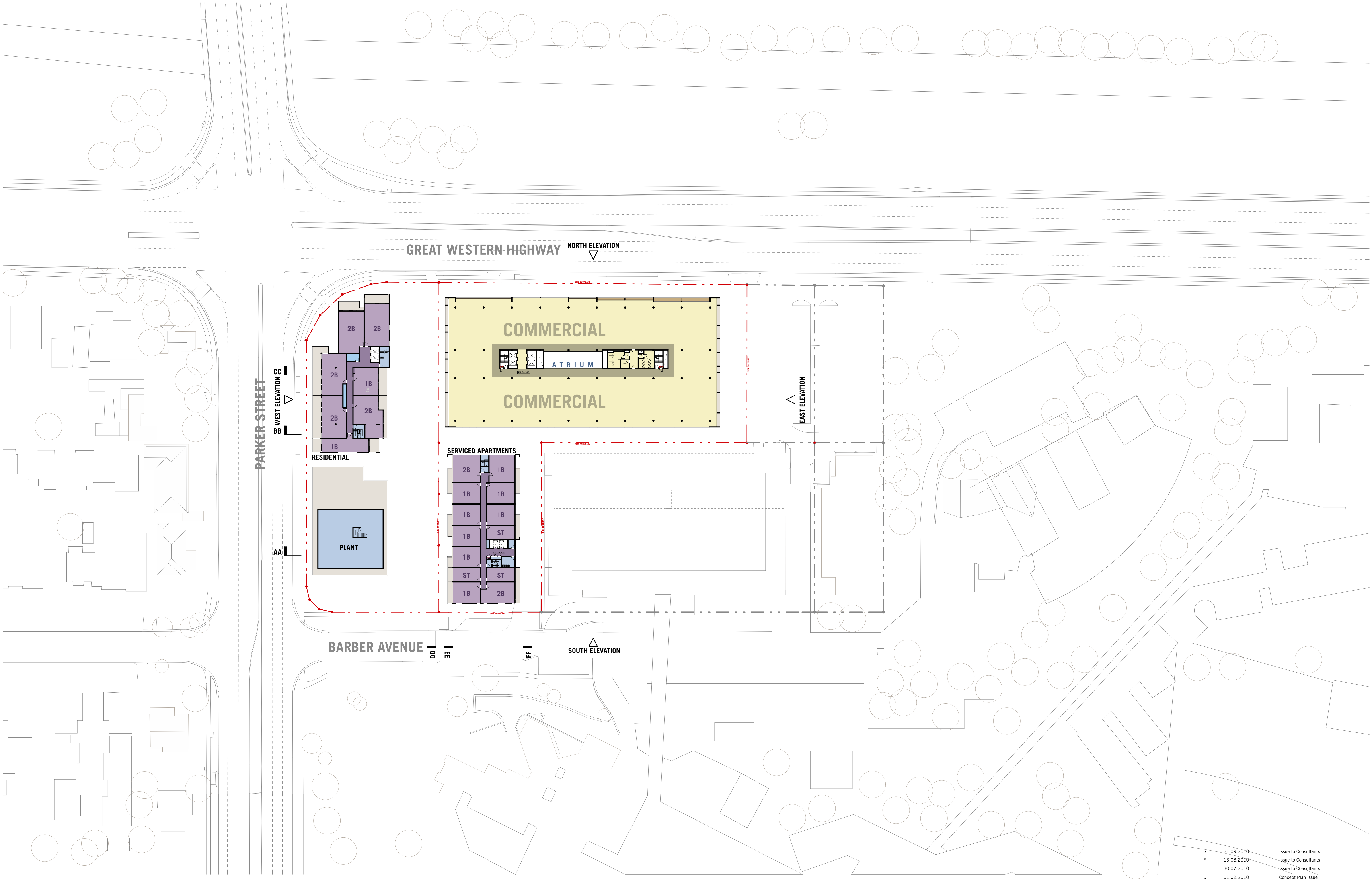
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Level 5
Illustrative Plans

SCALE 1:500@A1, 50%@A3	JOB No. 09007	DRAWN ML/MH/AH	NORTH
FOR INFORMATION	DWG No. CP19	REV G	
TURNER+ ASSOCIATES			
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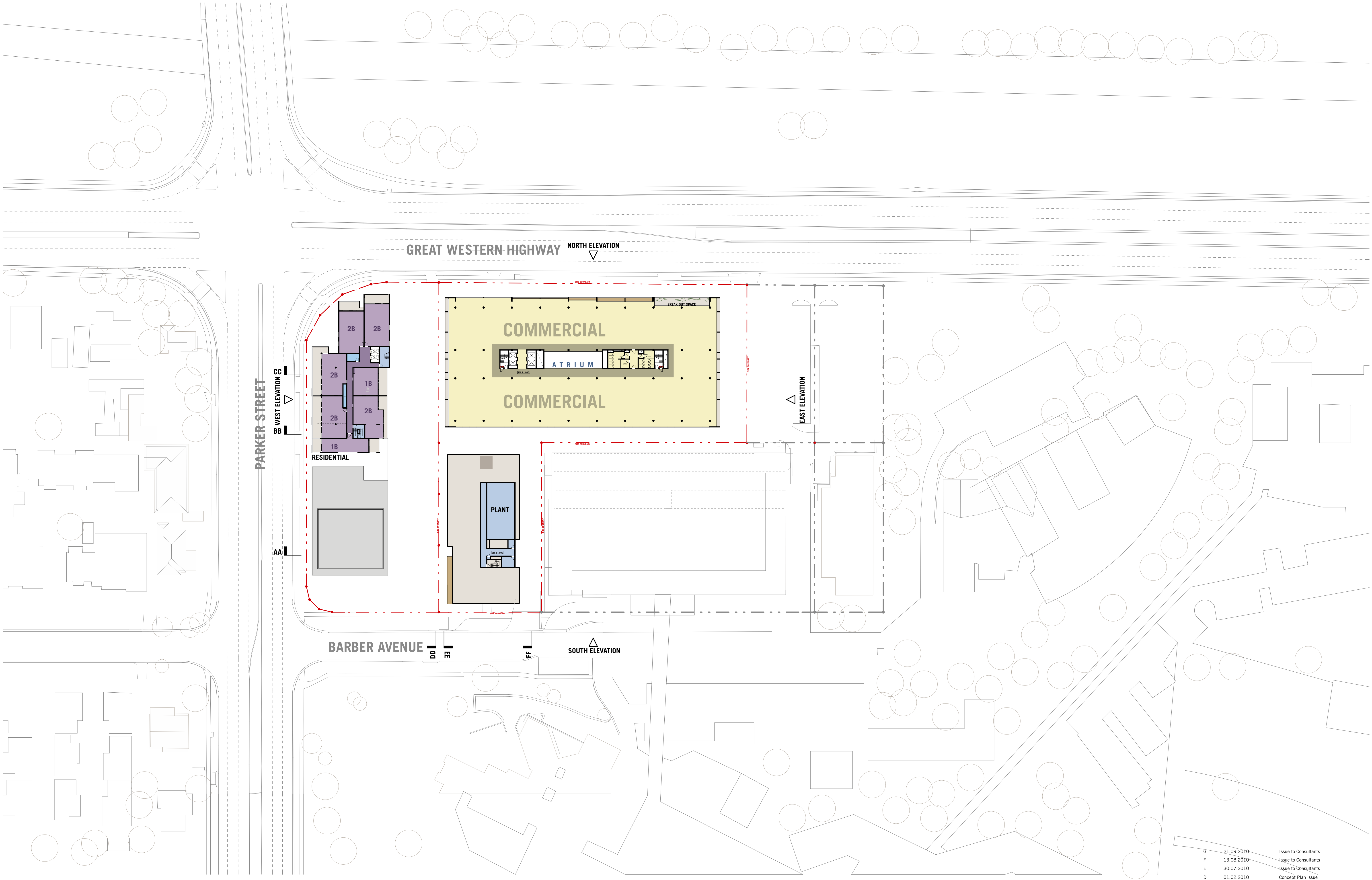
G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

Rev.	Date	Approved by	Revision Notes
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c/o Yates Beaggi Lawyers
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PROJECT TITLE BARBER AVENUE, KINGSWOOD	JOB No. 09007	DRAWN ML/MH/AH	NORTH
DRAWING TITLE Level 6	TWGW No. CP20	REV G	
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G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

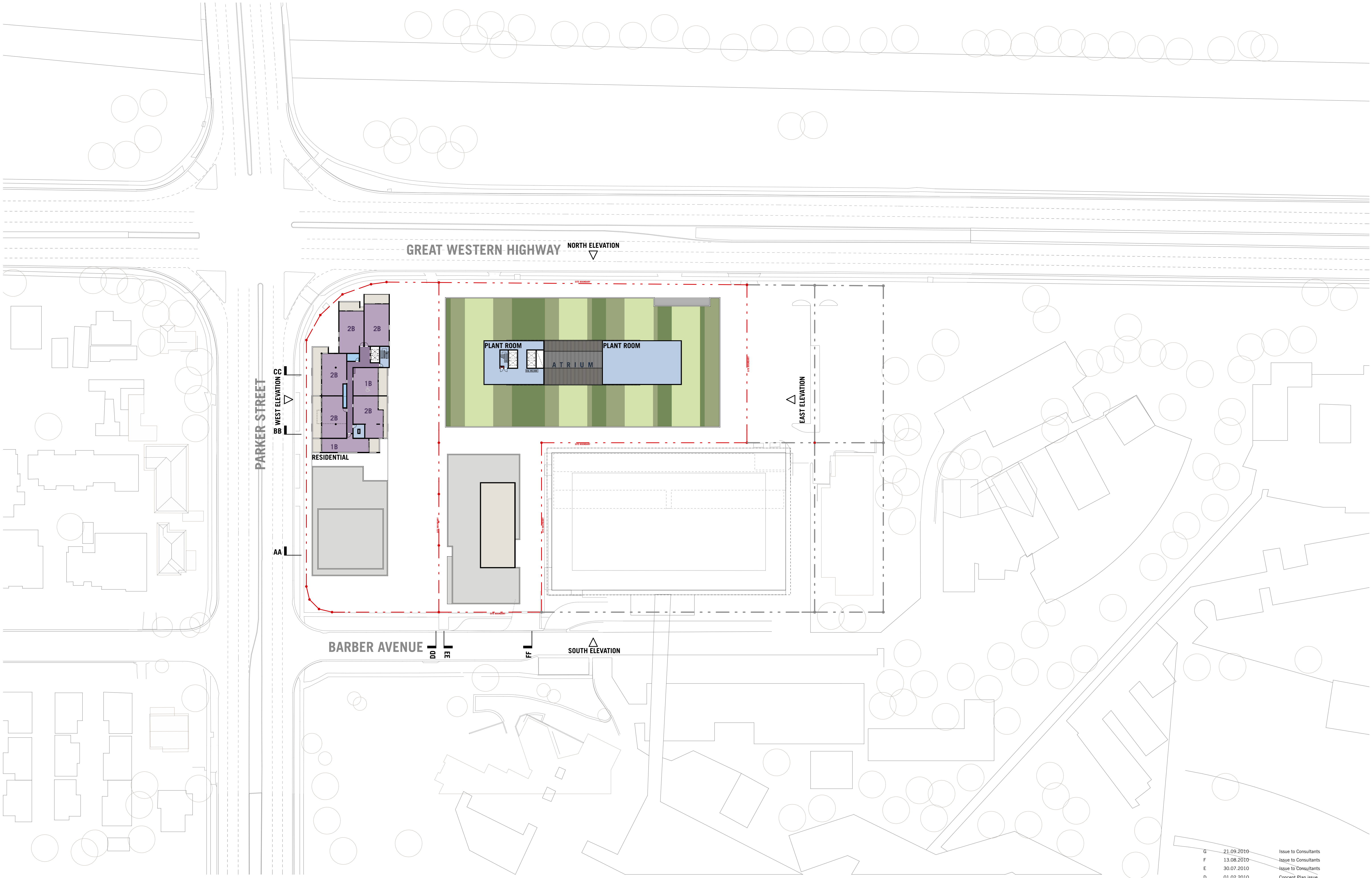
Rev.	Date	Approved by	Revision Notes
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Level 7
Illustrative Plans

SCALE 1:500@A1, 50%@A3	JOB No. 09007	DRAWN ML/MH/AH	NORTH
FOR INFORMATION	DWG No. CP21	REV G	
TURNER+ASSOCIATES			
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G	21.09.2010	Issue to Consultants
F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

Rev.	Date	Approved by	Revision Notes
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Nominated Architect Nicholas Turner 6695
ABN 95 004 594 511

DLCS Quality Endorsed Company ISO 9001:2000
Licence Number 4108

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PROJECT TITLE

BARBER AVENUE, KINGSWOOD

CONCEPT PLAN

DRAWING TITLE

Level 8 - 11

Illustrative Plans

SCALE

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FOR INFORMATION

JOB No.

09007

DWG No.

CP22

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ML/MH/AH

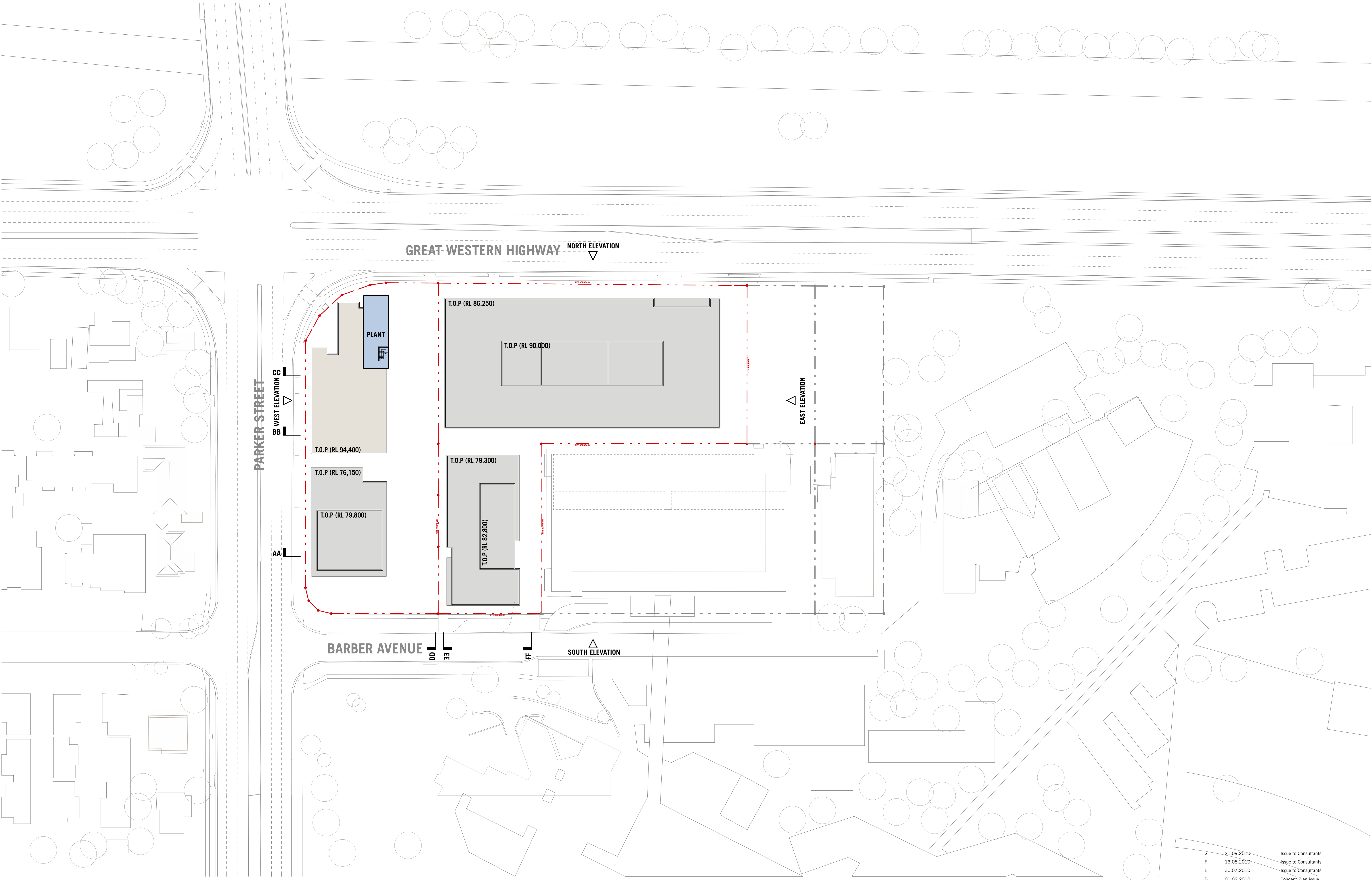
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G

NORTH

TURNER+ ASSOCIATES

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F	13.08.2010	Issue to Consultants
E	30.07.2010	Issue to Consultants
D	01.02.2010	Concept Plan issue

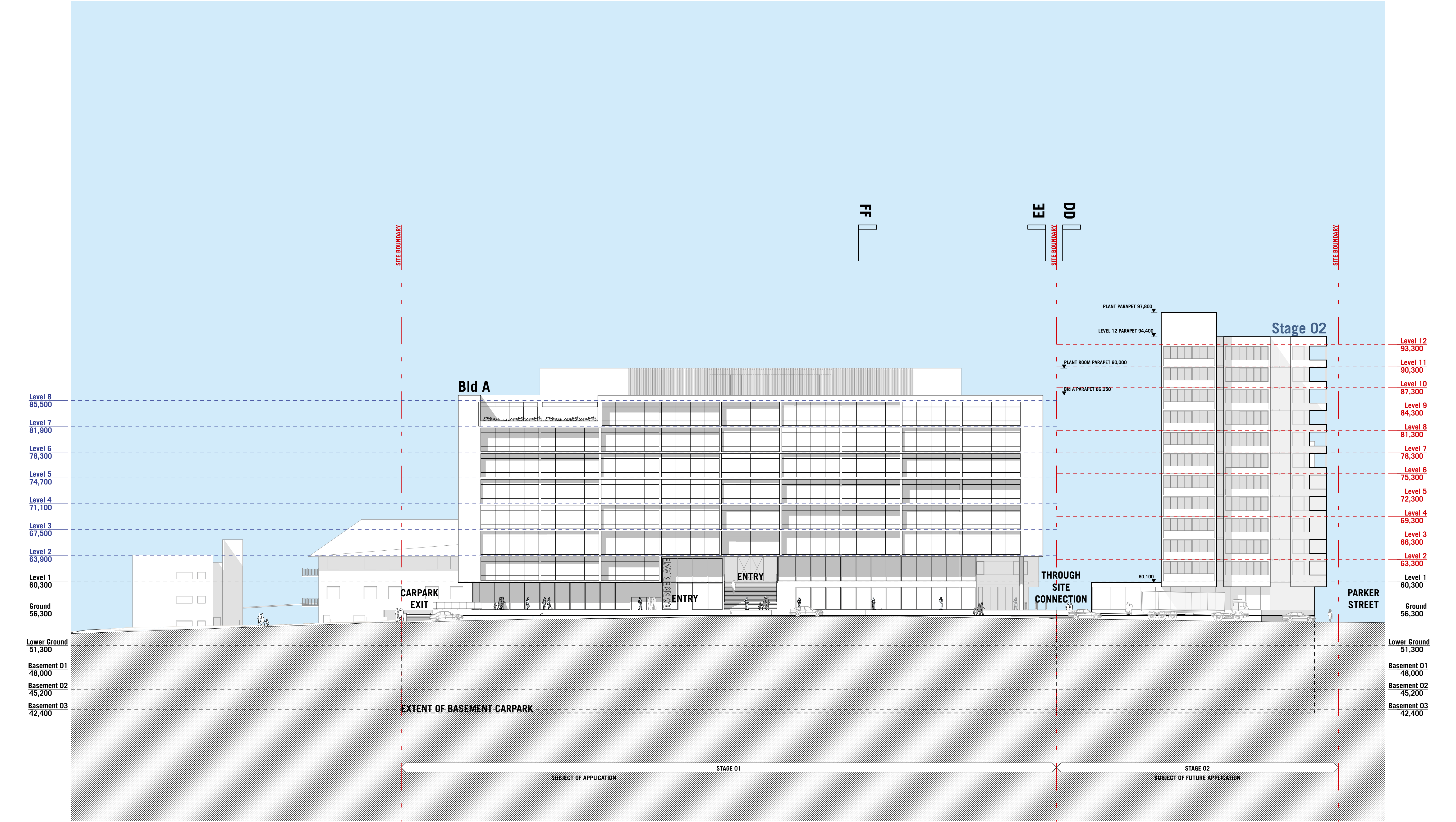
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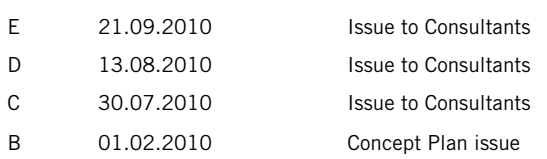
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Roof Plan
Illustrative Plans

SCALE 1:500@A1, 50%@A3	JOB No. 09007	DRAWN ML/MH/AH	NORTH
FOR INFORMATION	DWG No. CP23	REV G	
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SCALE 1:250@A1, 50%@A3	JOB No. 09007	DRAWN ML
STATUS FOR INFORMATION	DWG No. CP31	REV

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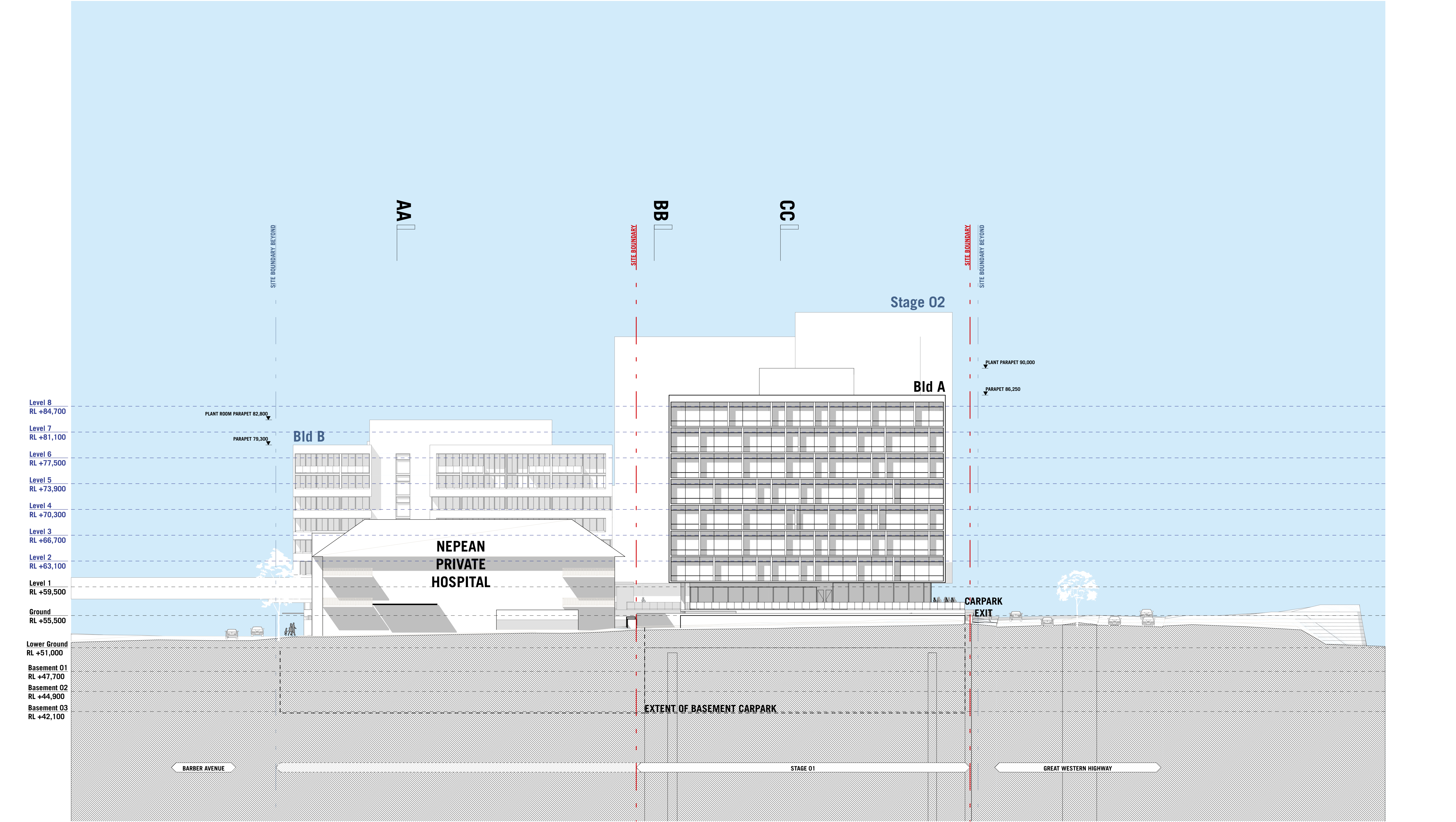
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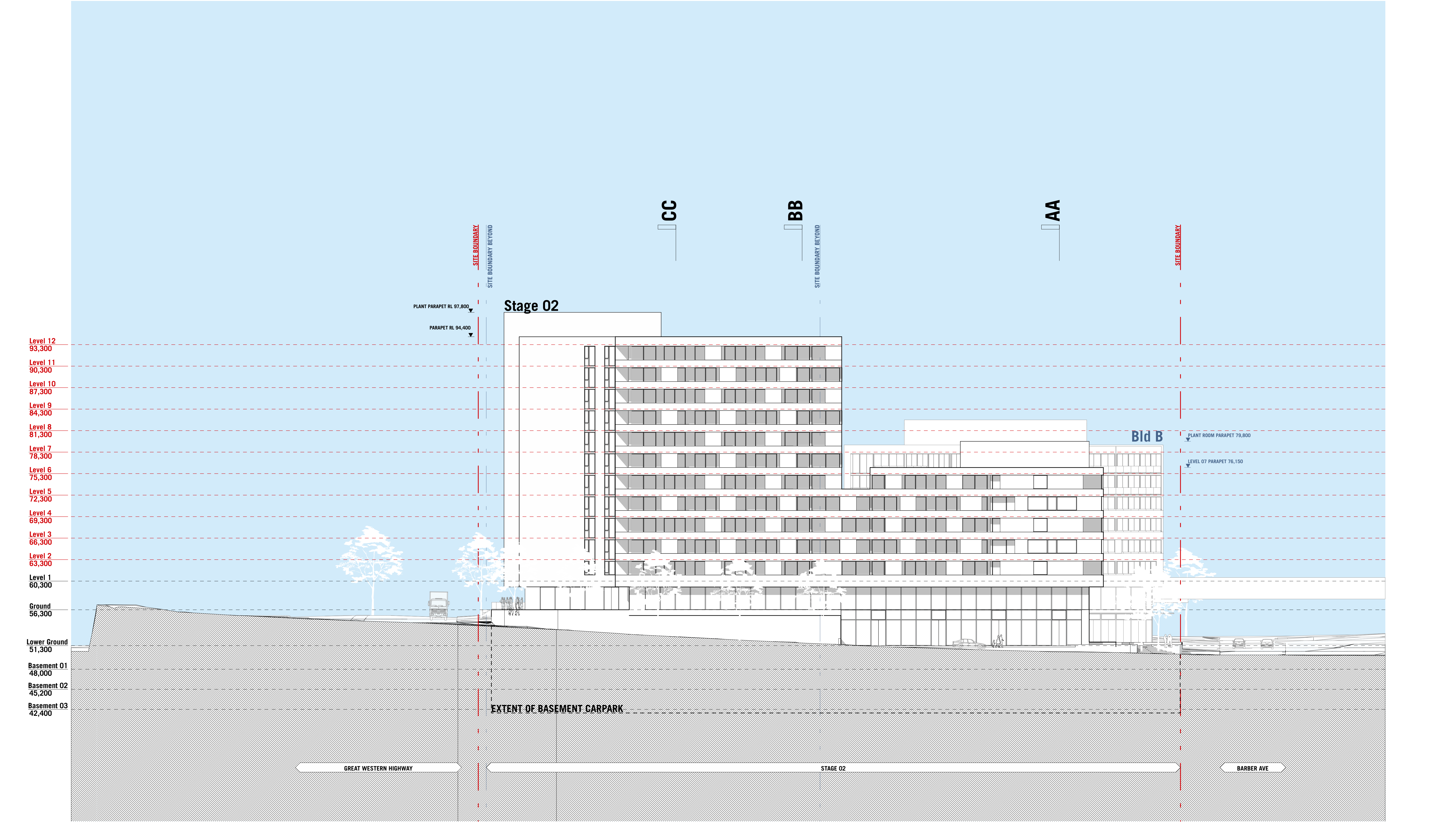
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PROJECT TITLE
BARBER AVENUE, KINGSWOOD

CONCEPT PLAN

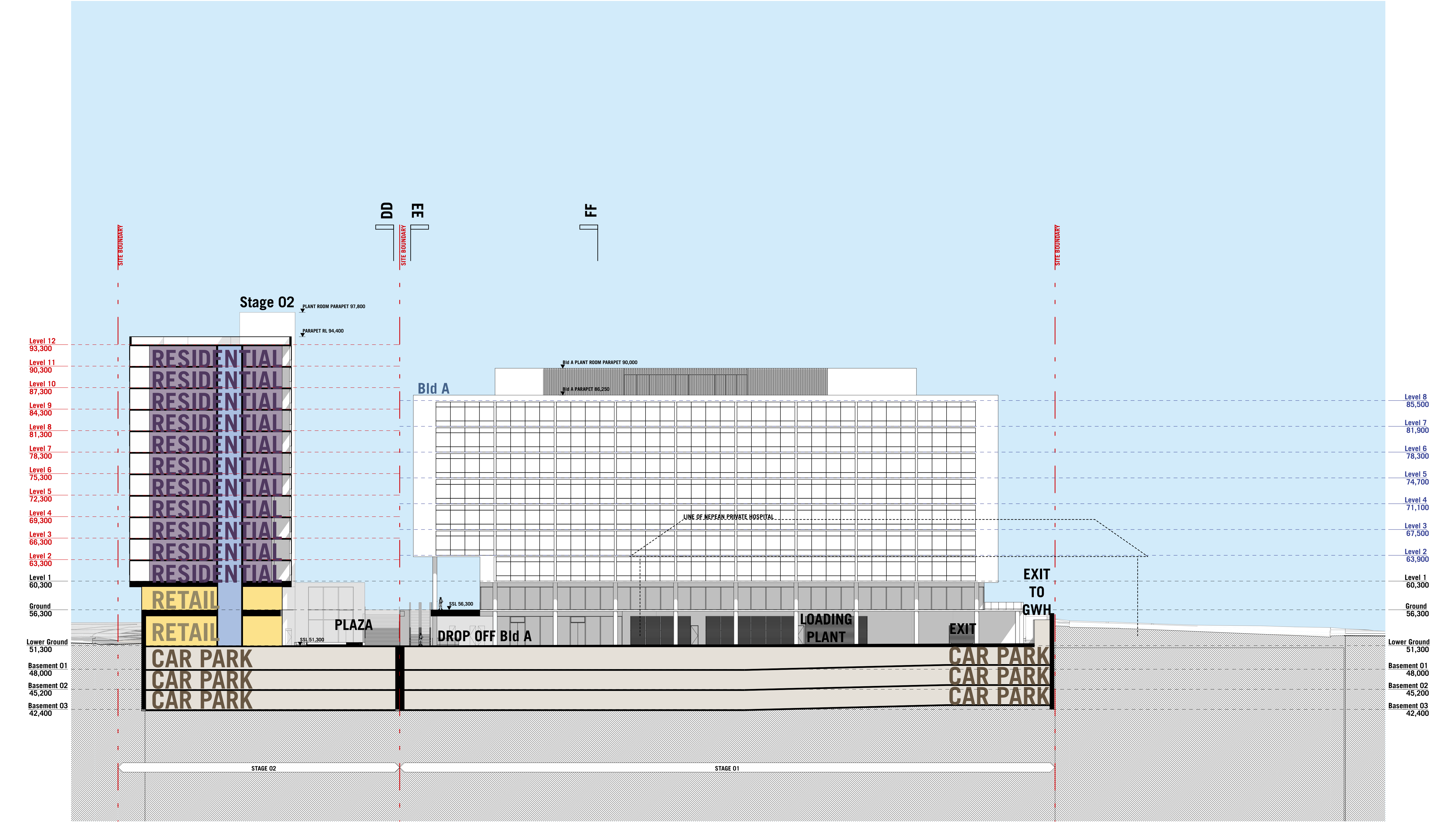
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South Elevation
Illustrative Elevations

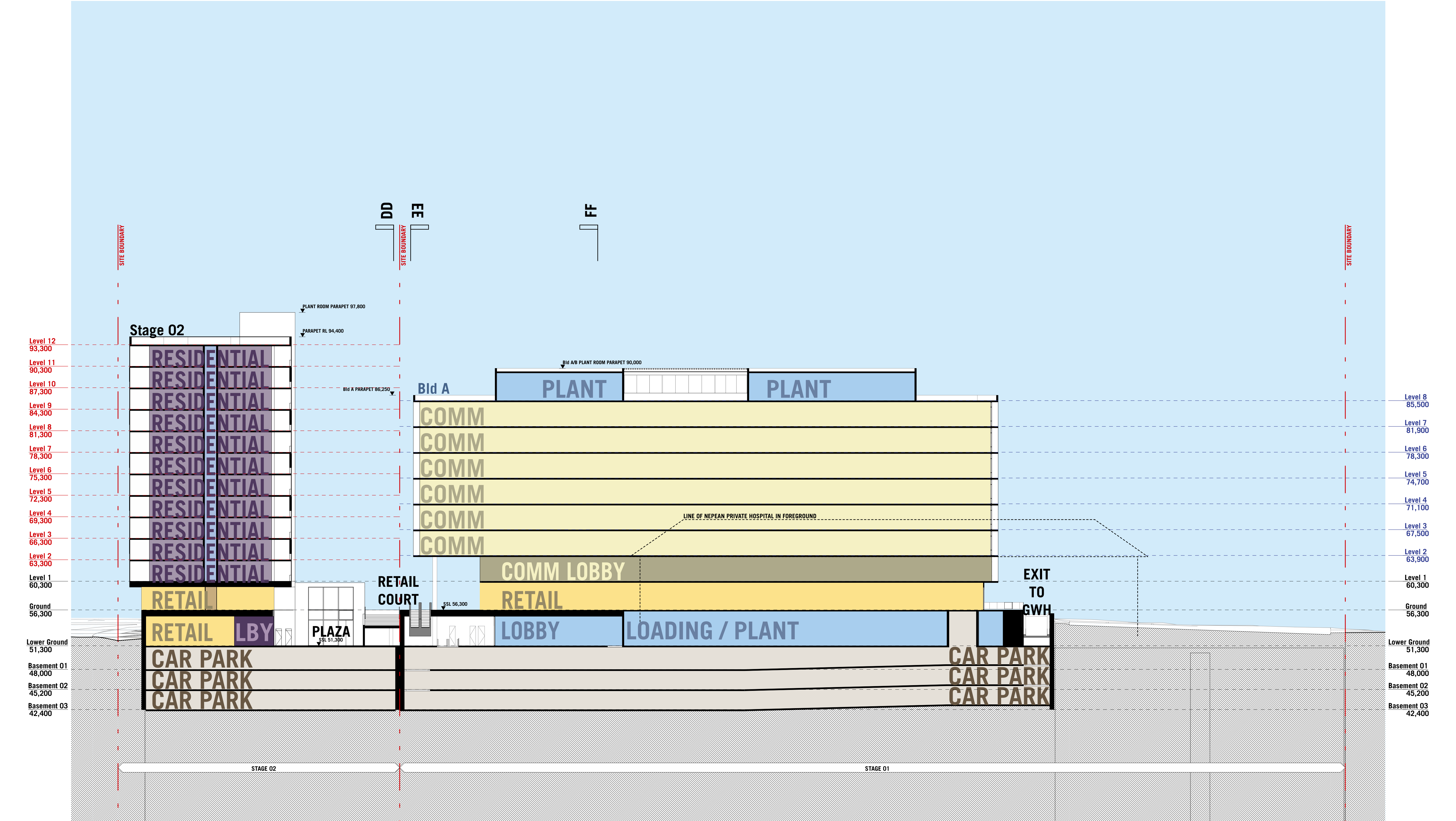


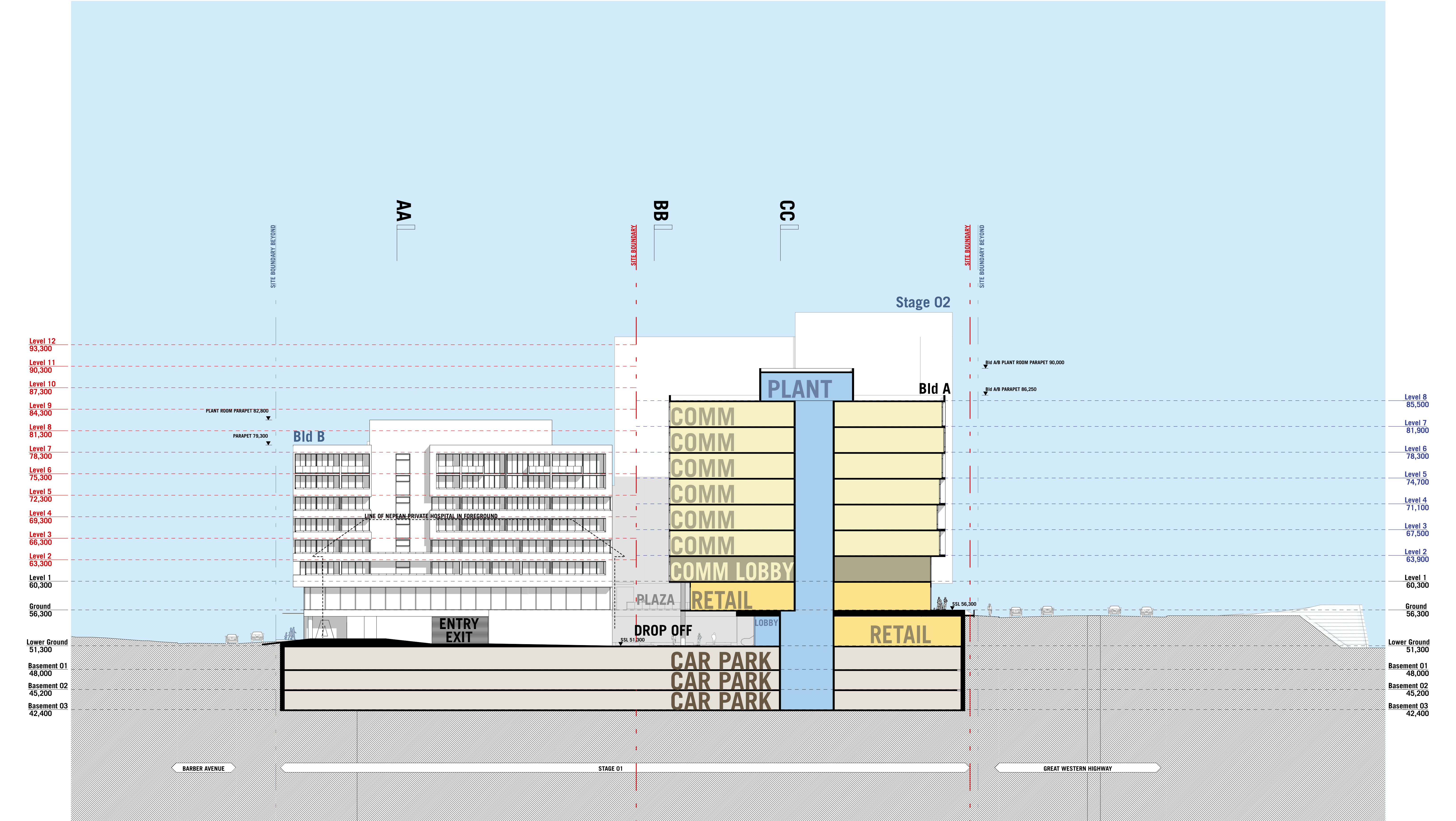


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Rev.	Date	Approved by	Revision Notes
E	21.09.2010		Issue to Consultants
D	13.08.2010		Issue to Consultants
C	30.07.2010		Issue to Consultants
B	01.02.2010		Concept Plan issue







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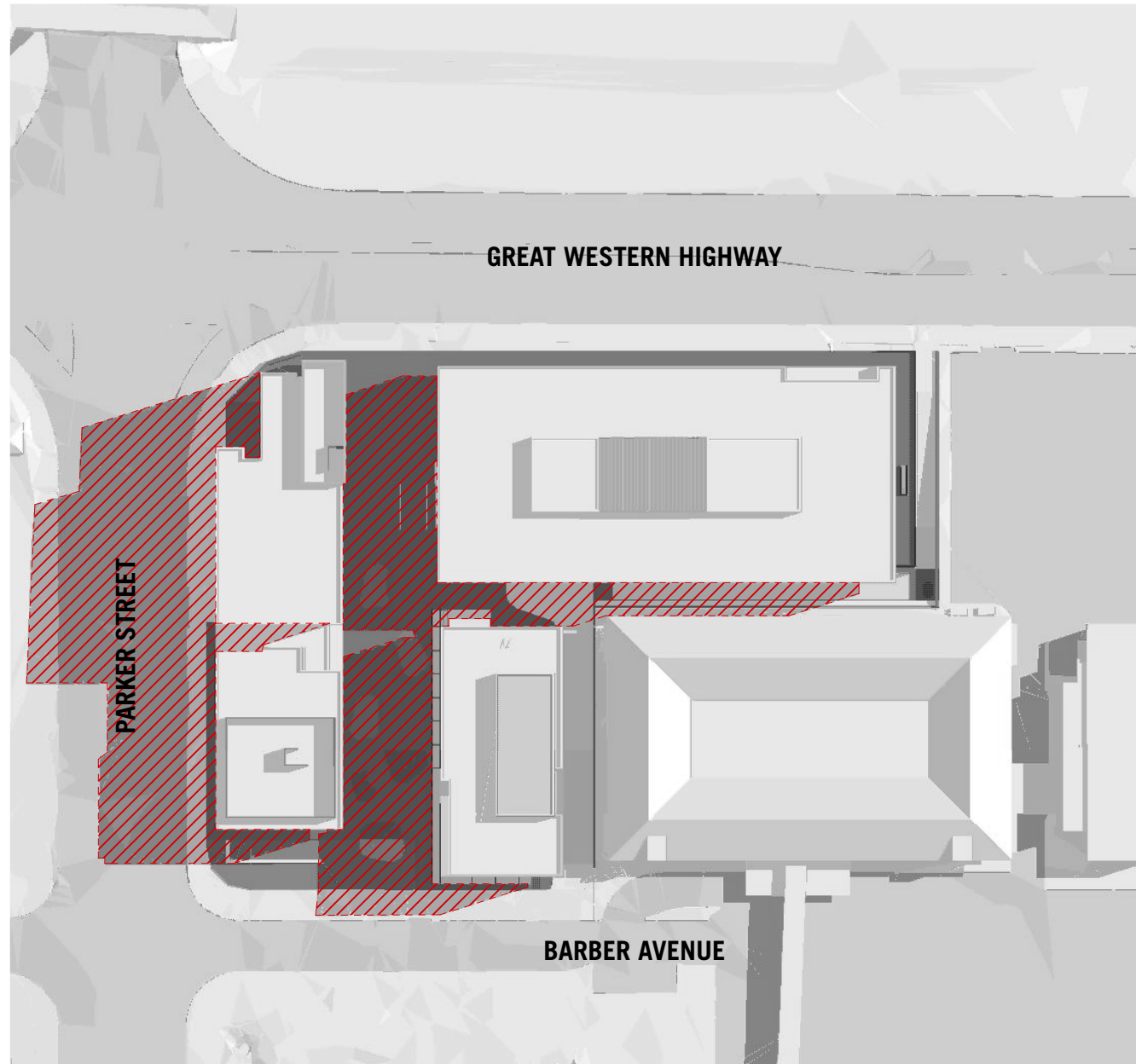
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BARBER AVENUE, KINGSWOOD
CONCEPT PLAN
DRAWING TITLE
Section FF
Illustrative Sections

Rev.	Date	Approved by	Revision Notes
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D	13.08.2010		Issue to Consultants
C	30.07.2010		Issue to Consultants
B	01.02.2010		Concept Plan issue

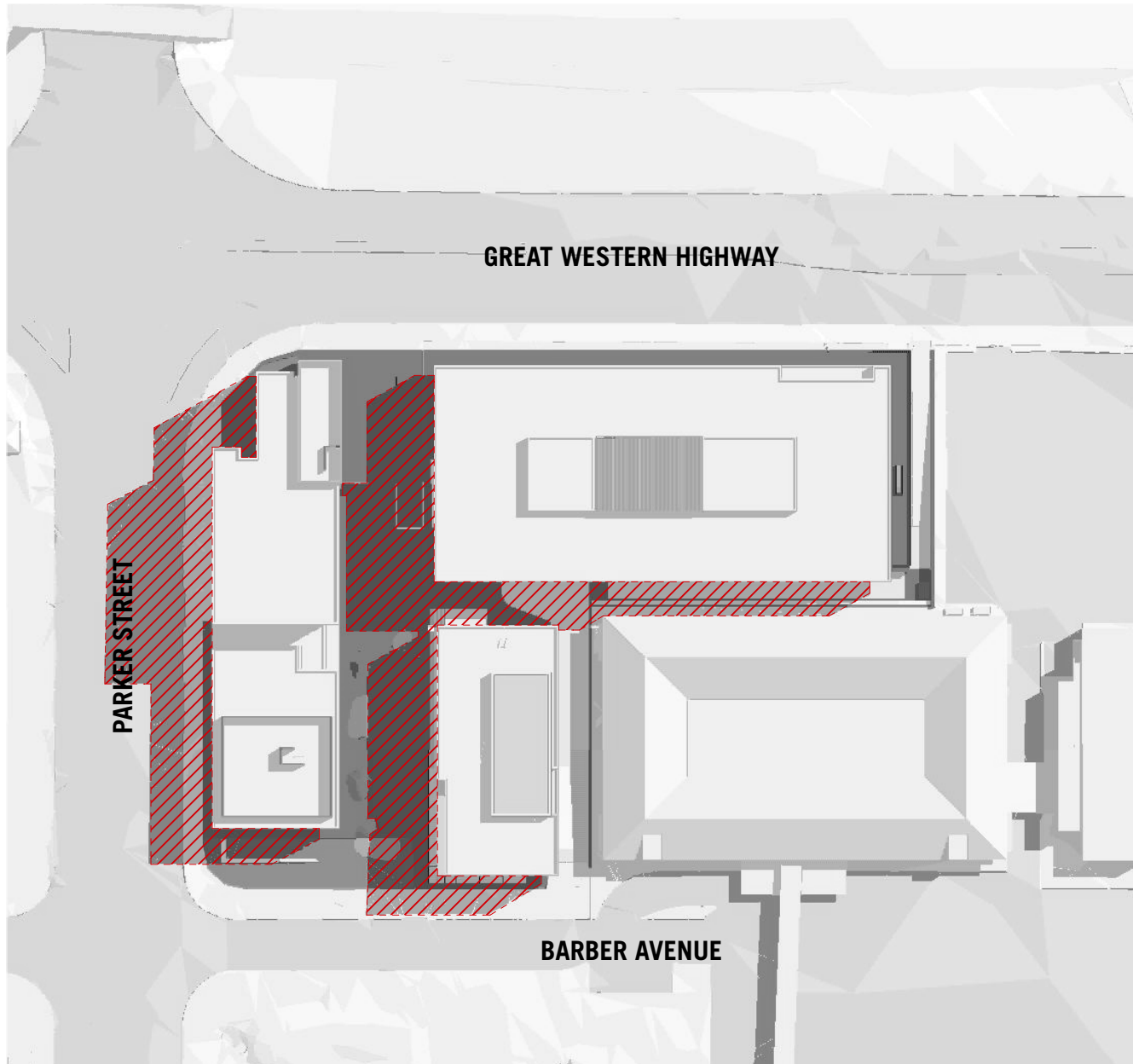
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FOR INFORMATION	EDWG No.	REV	
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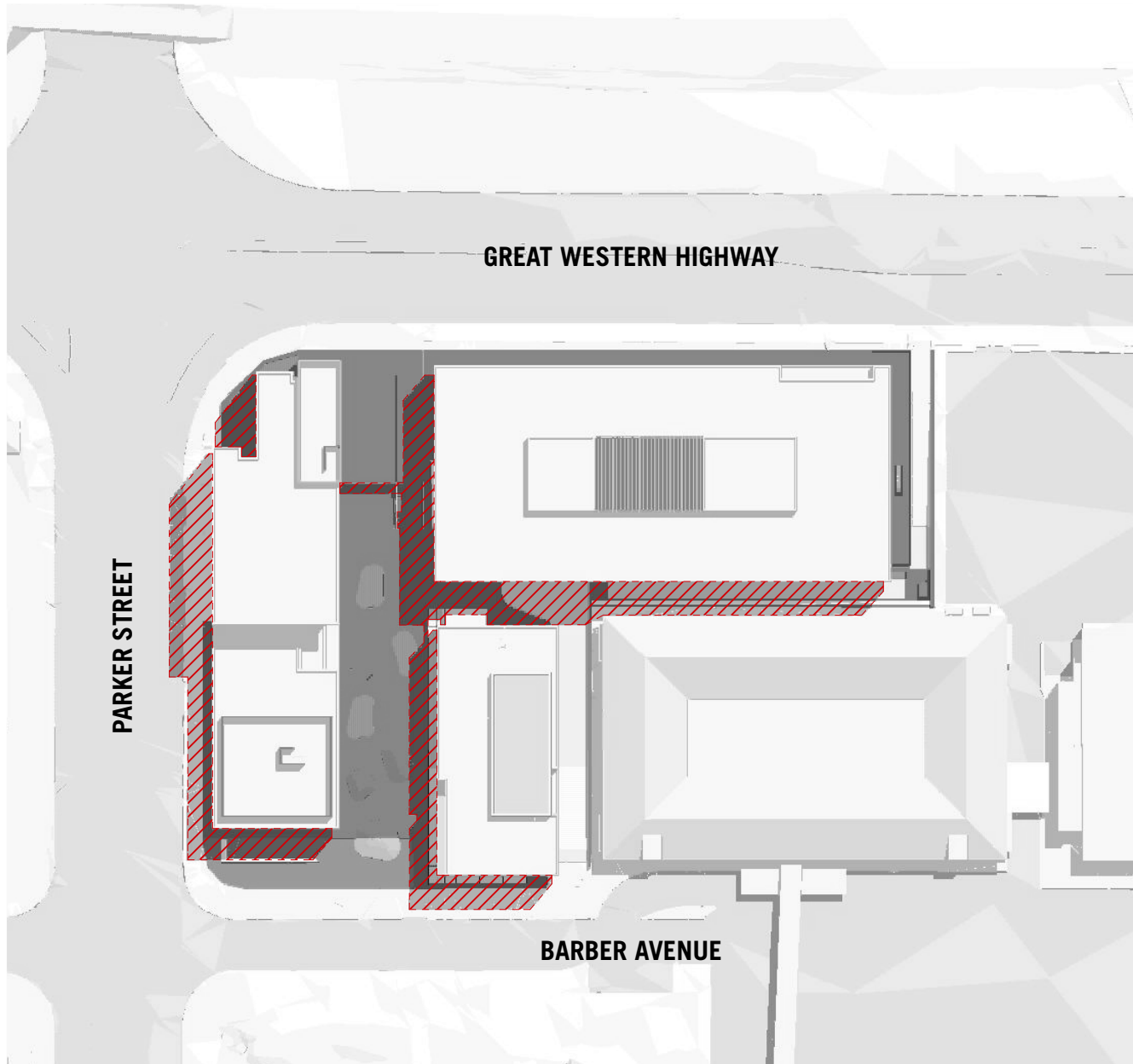
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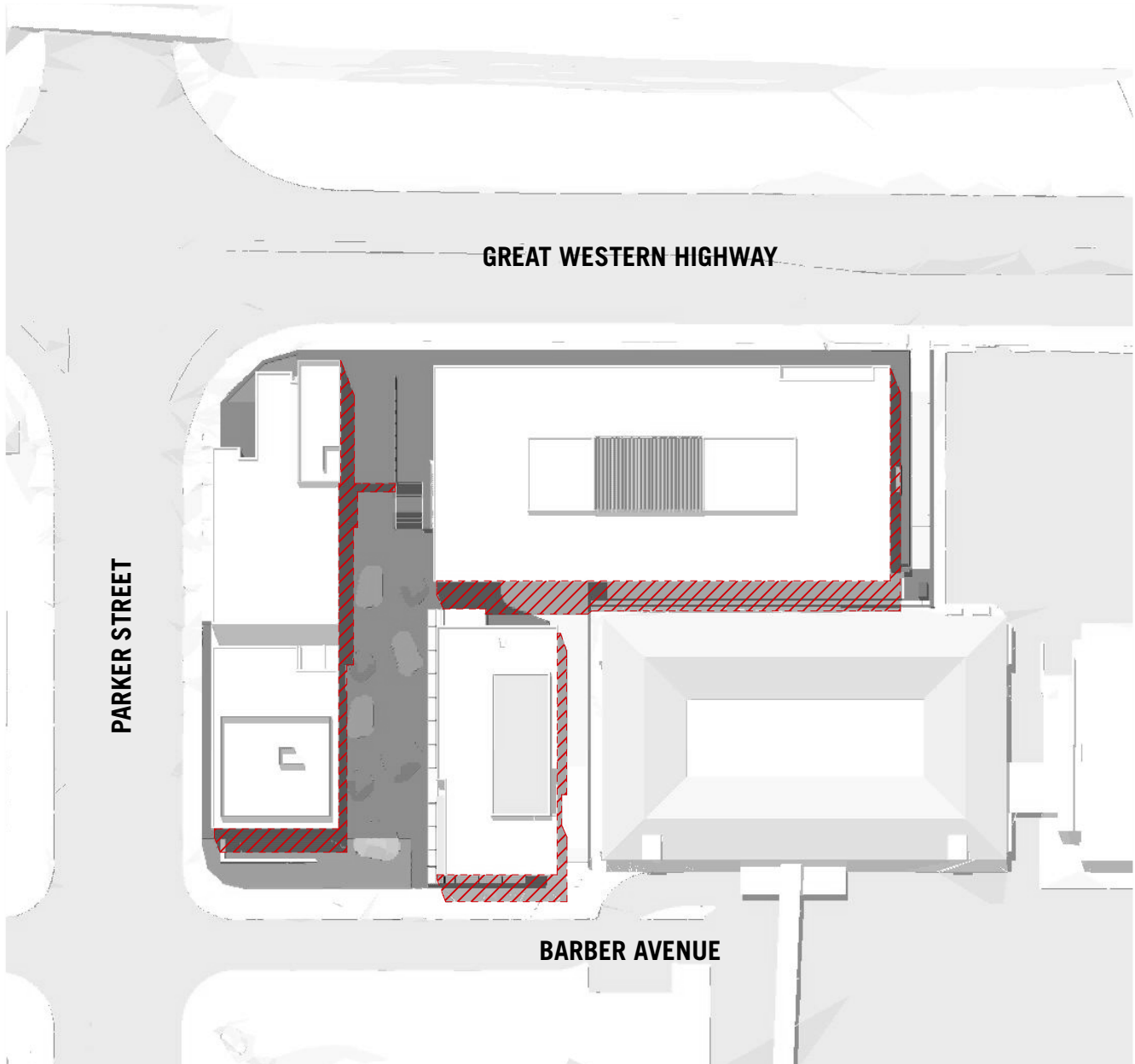
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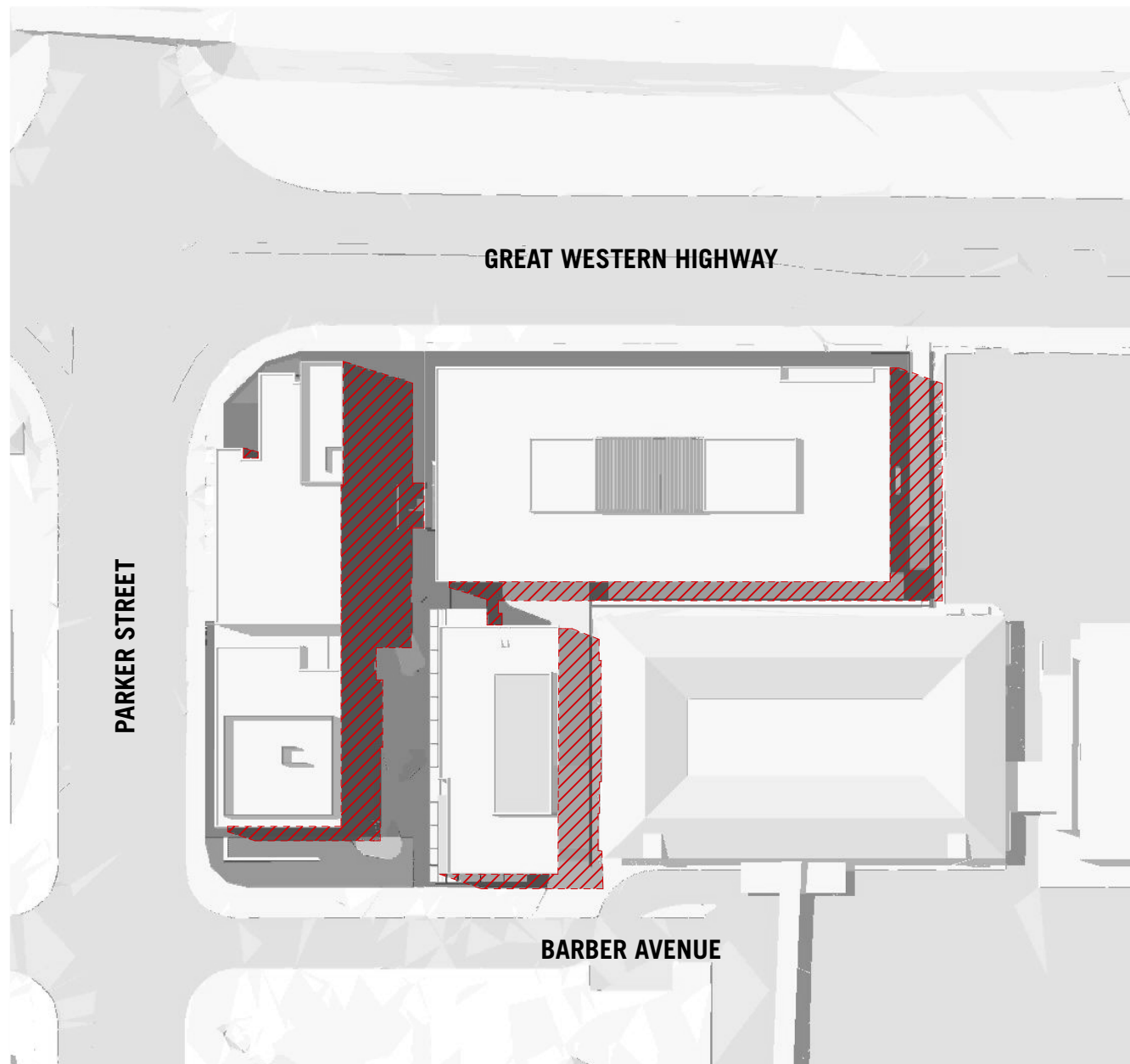
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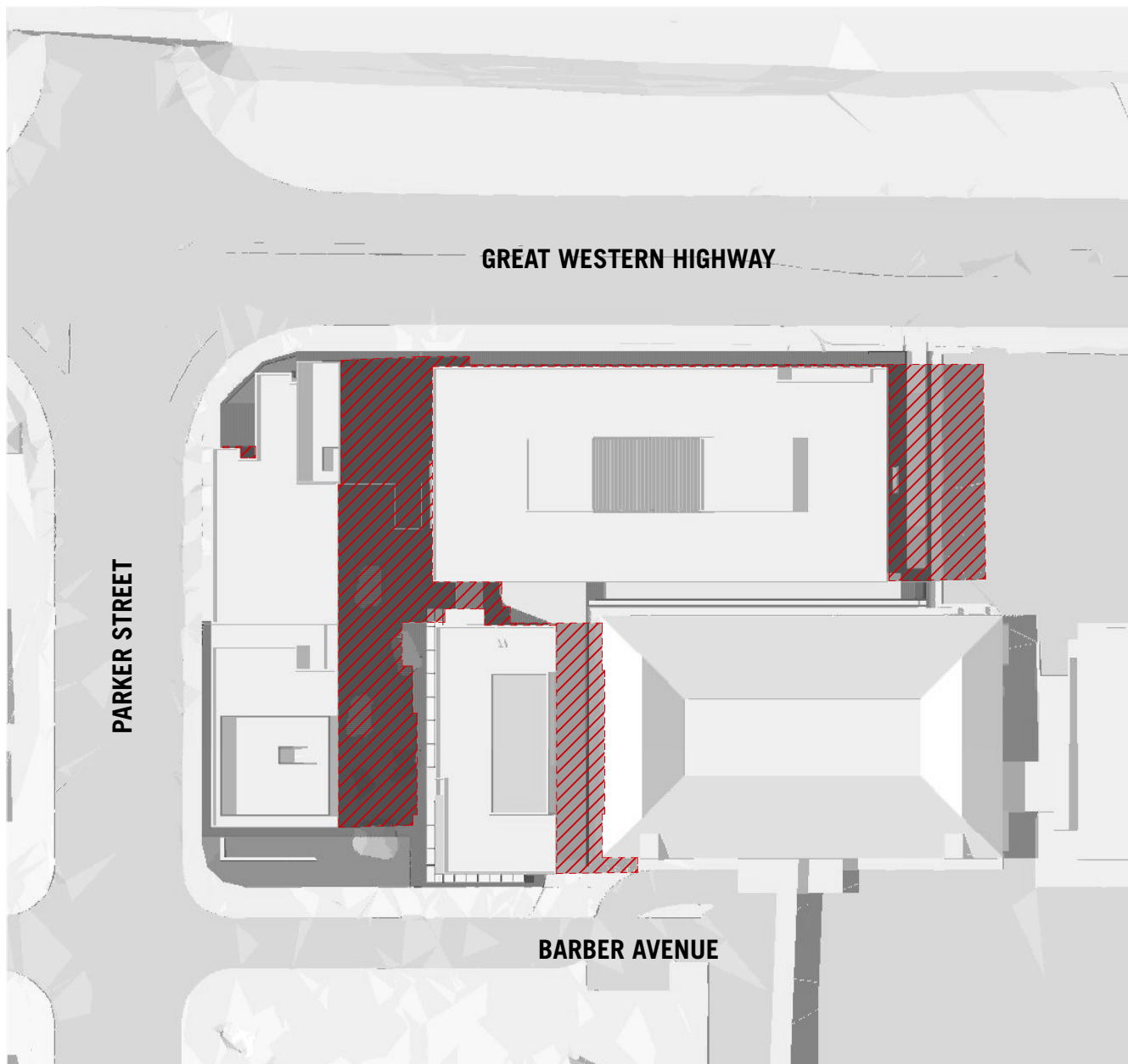
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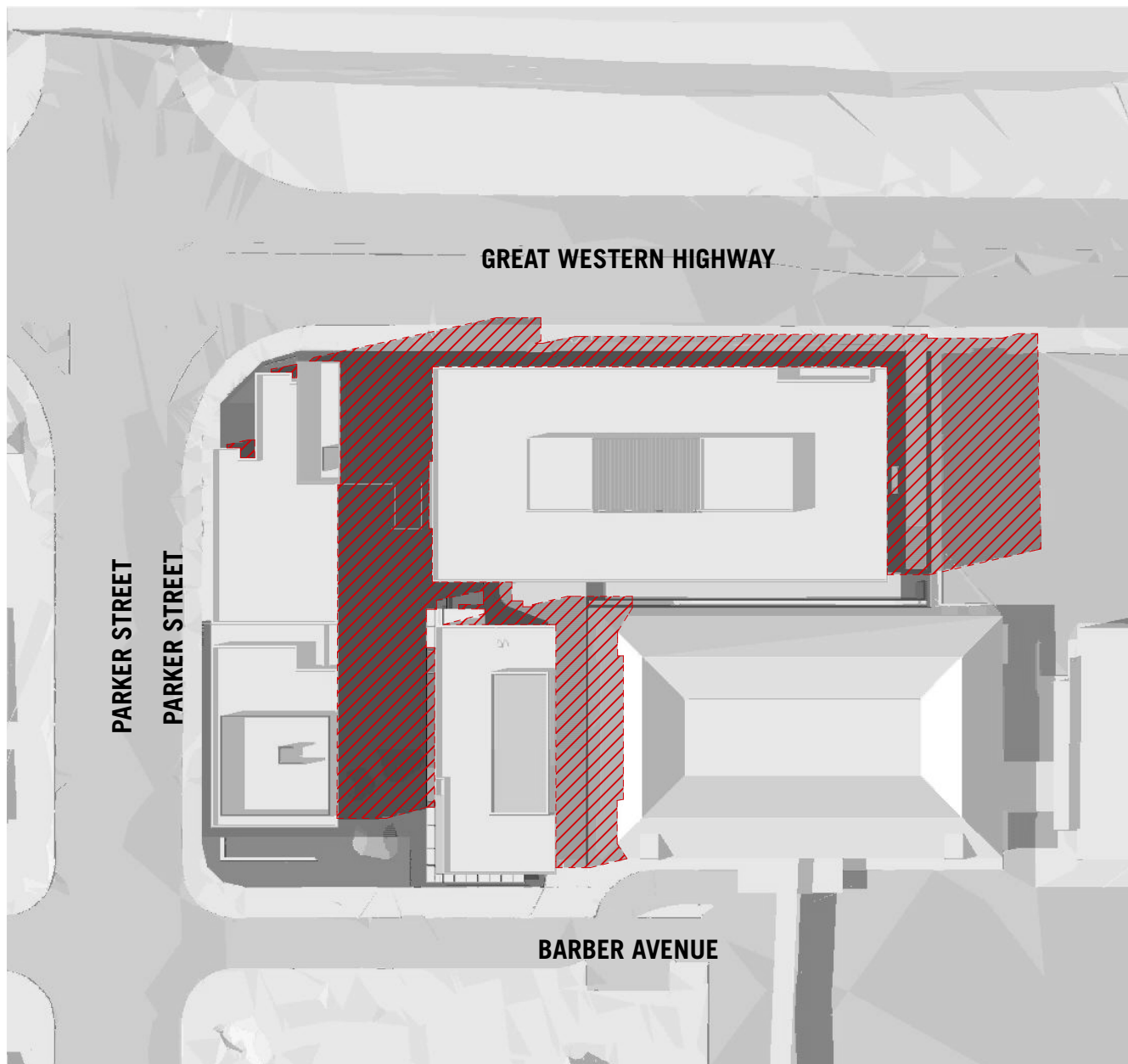
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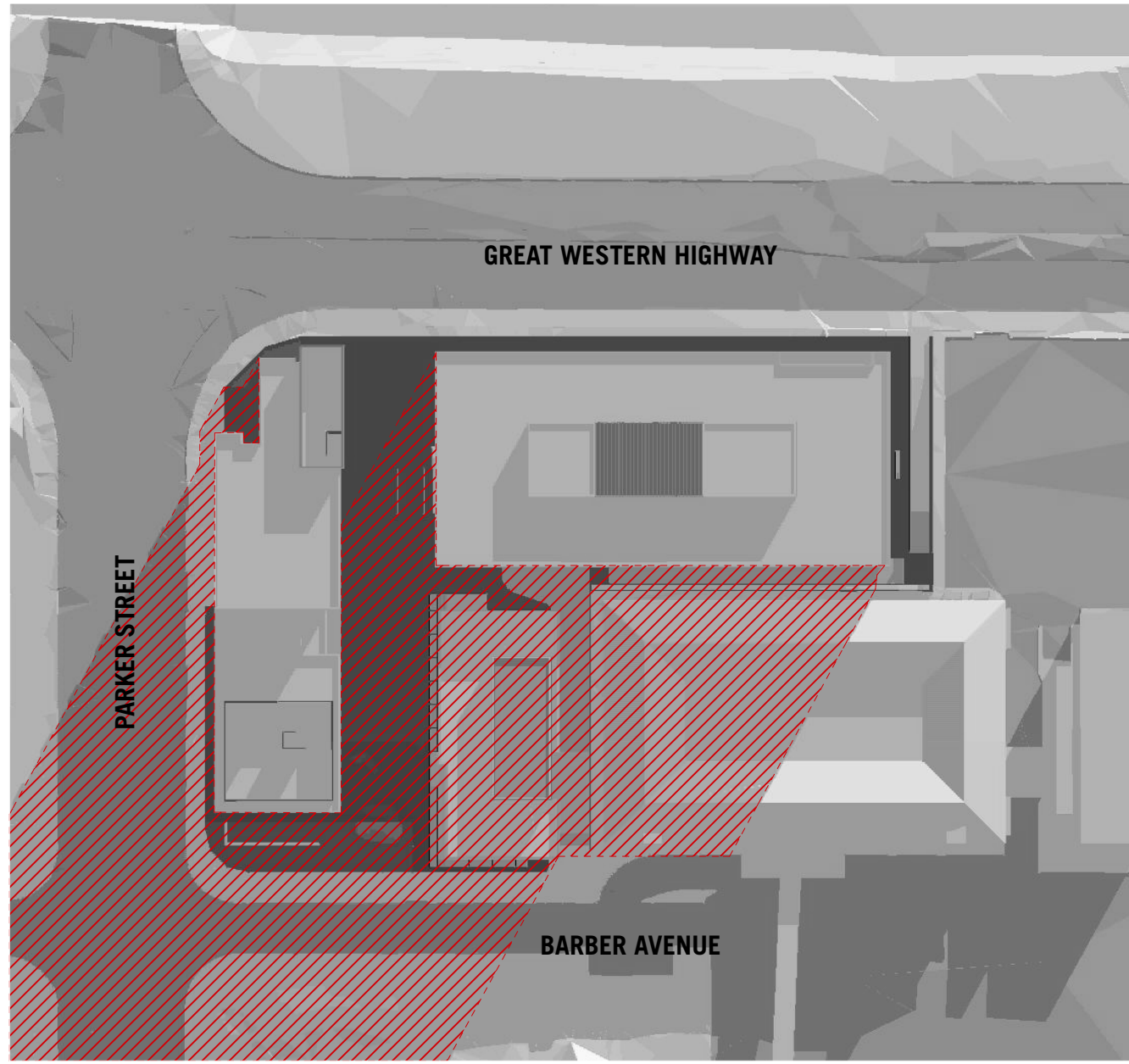
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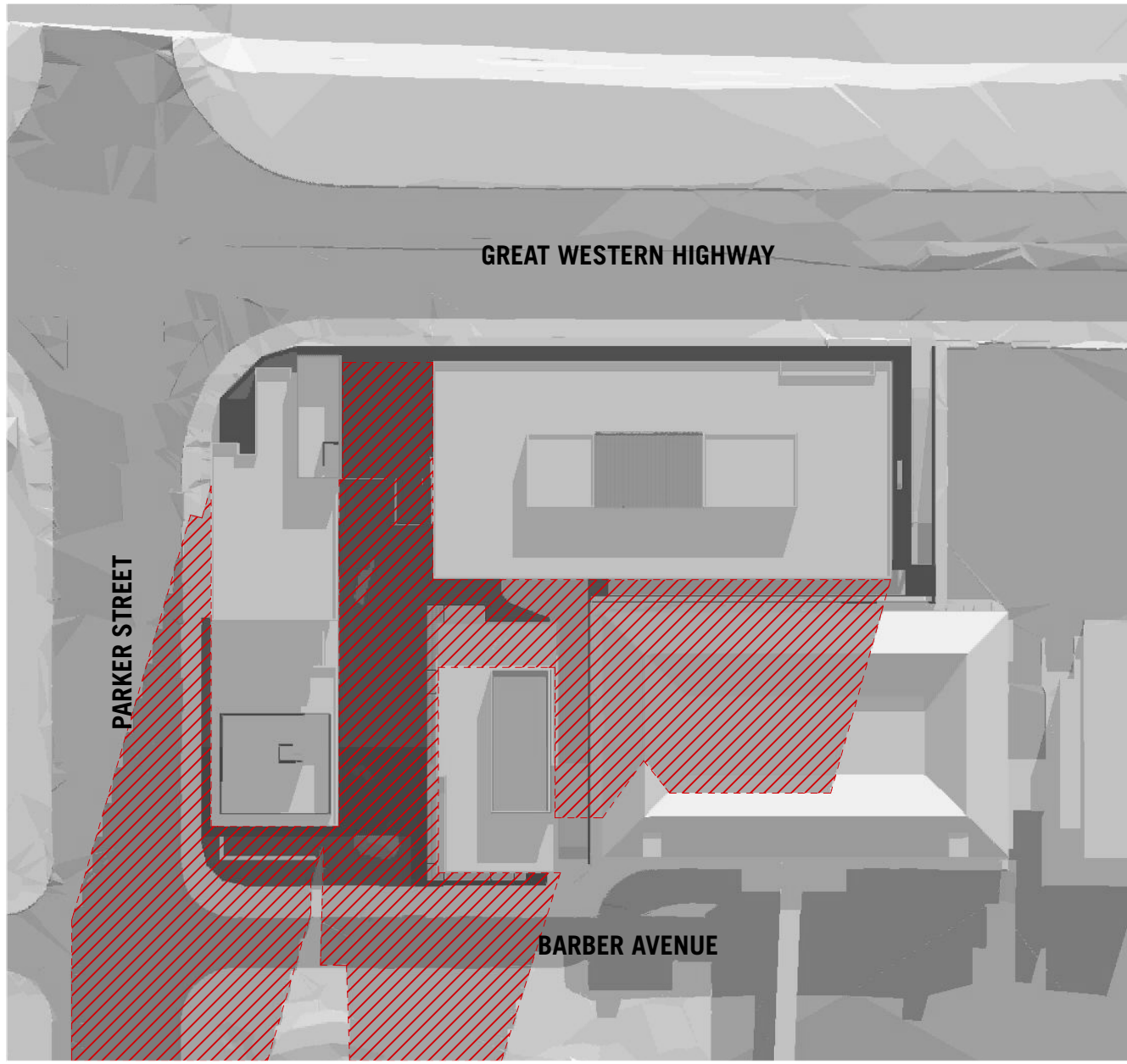
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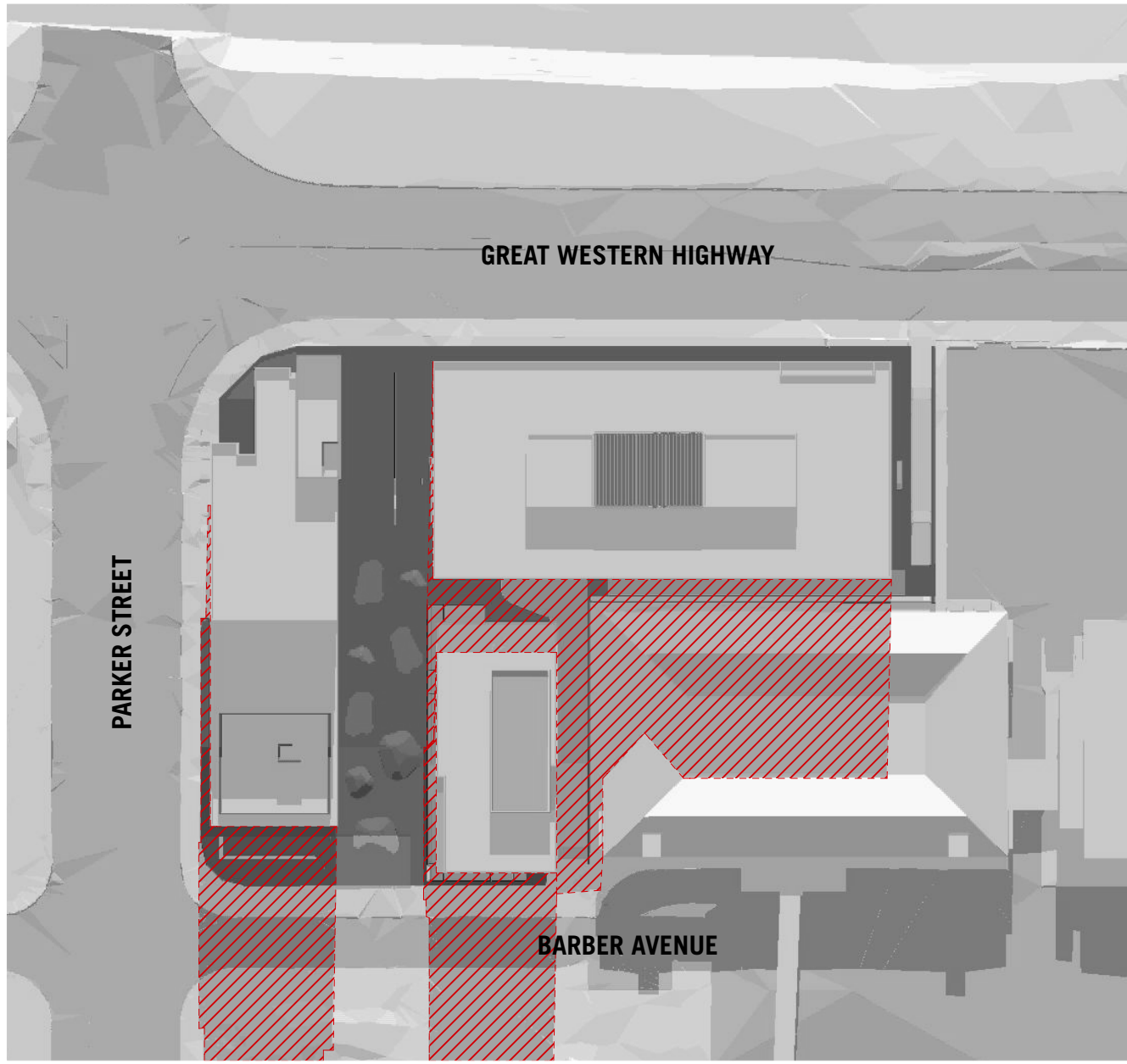
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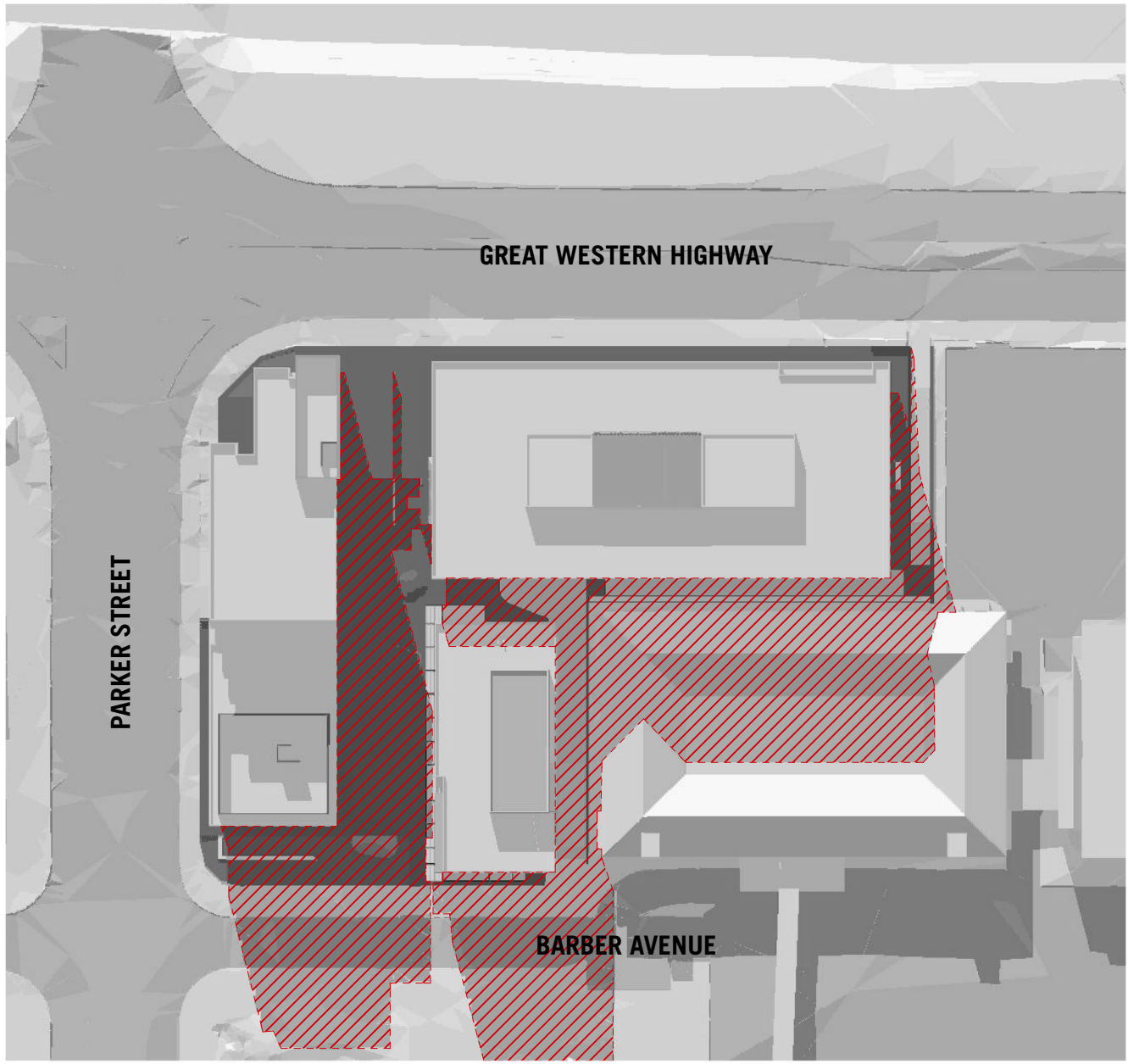
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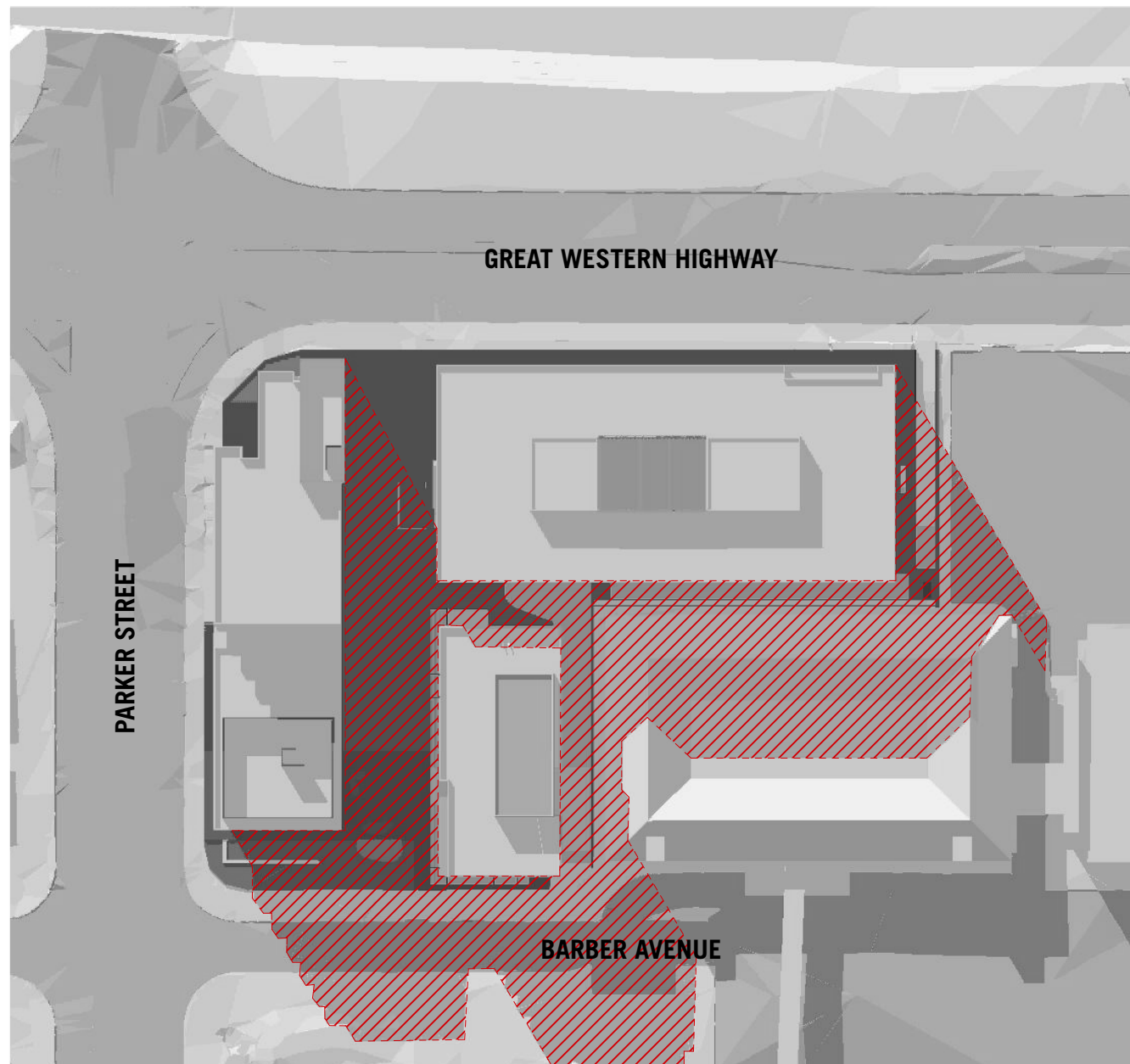
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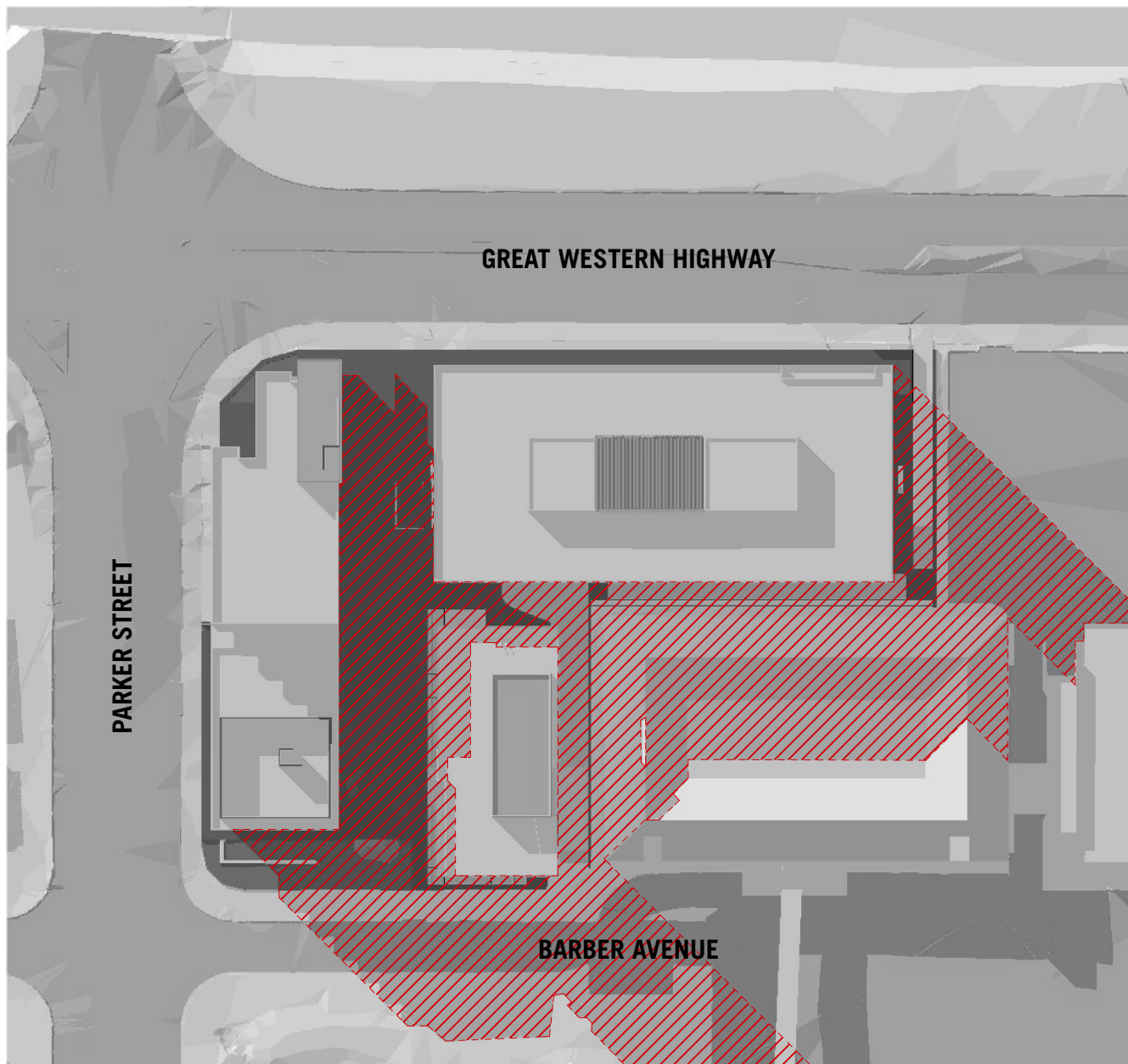
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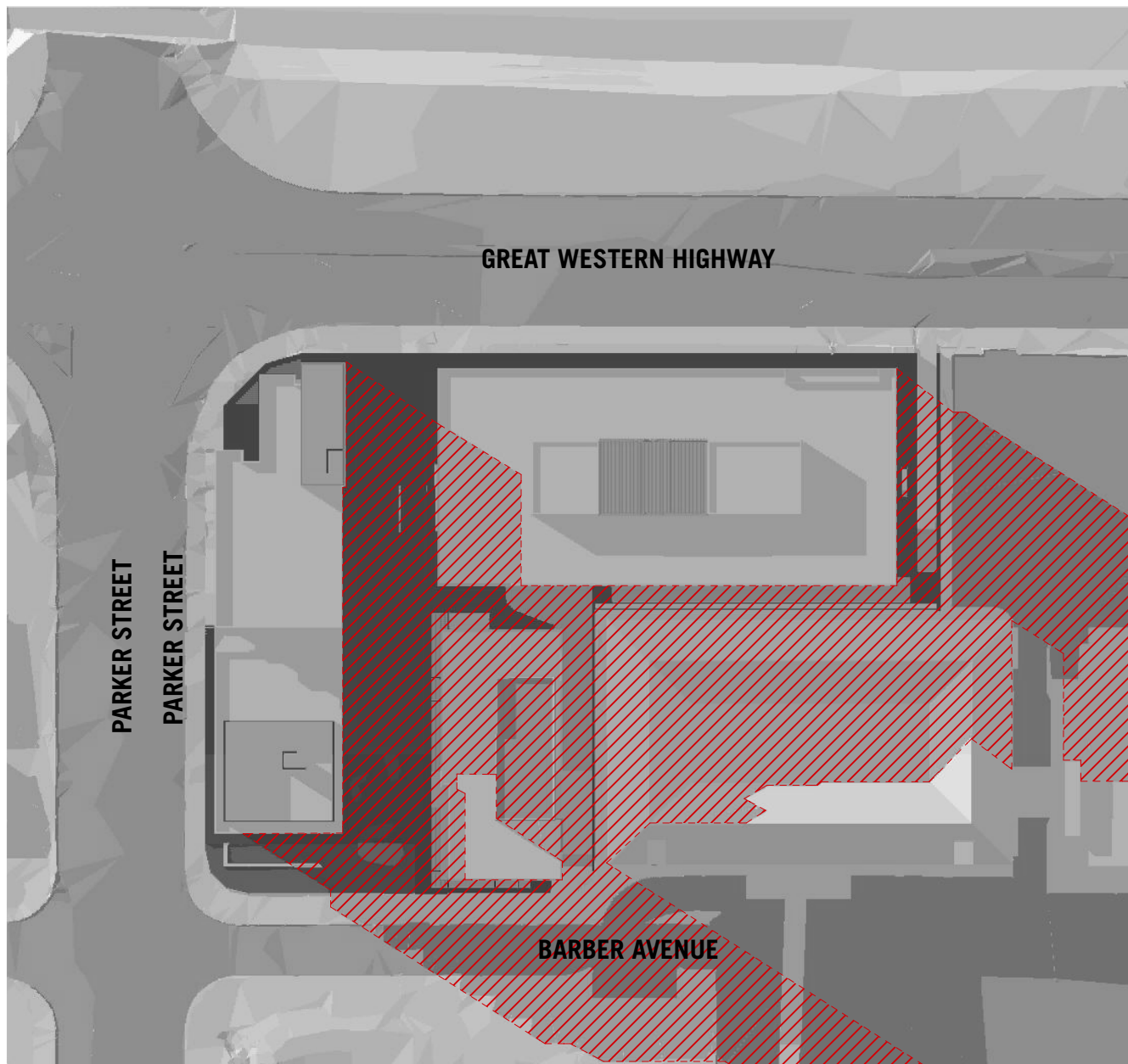
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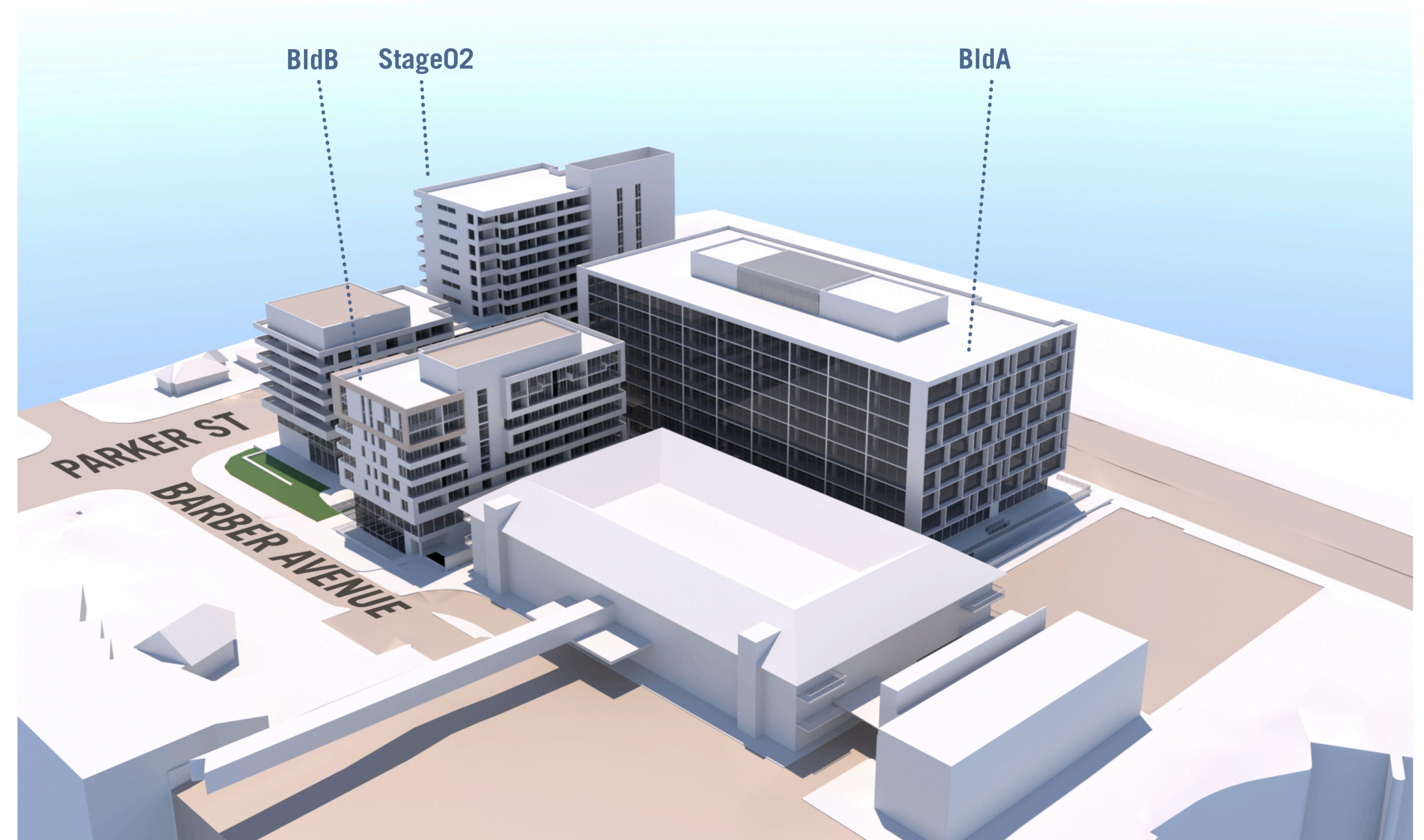
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JUNE 21_1400



JUNE 21_1500



Nominated Architect Nicholas Turner 6695
ABN 86 064 084 911


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D	03.08.2010	Issue to Consultants		
C	01.02.2010	Concept Plan Issue		
Rev.	Date	Approved by	Revision Notes	
SCALE	1:1.81@A1, 50.50@A3	JOB NO.	09007	DRAWN ML/MH/AH
STATUS	FOR INFORMATION	DWG. NO.	CP60	REV D
				
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