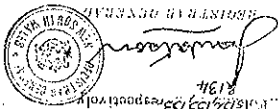
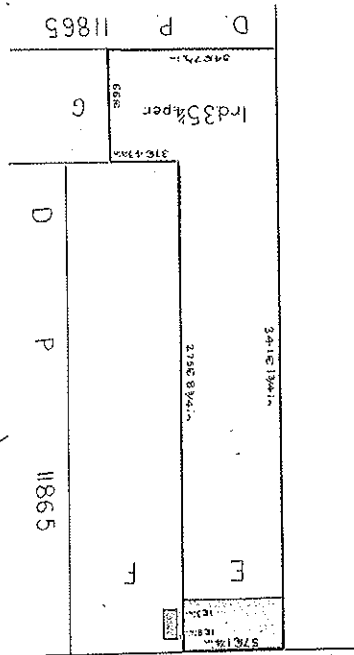


*654109 H/R
BP 504970 (CT) 1/10/06
at 1000 ft above sea level
at 1000 ft above sea level*

Scale 60 feet to one inch



This deed is enrolled as to the whole
New Certificates of Title have been issued for lots in
disposition Plan No. 504970
Vol. 9519 Fol. 122/135/133
Date 12/3/84



880 No. G554109, Entered 20th January 1957
1924-1934
The land shown by pink colour in the plan hereon is subject to the
restrictions on user imposed by Section 27E (6) Main Roads Act,
1924-1934.



Registrar-General

J. H. M.

1957

Twenty-first day of August

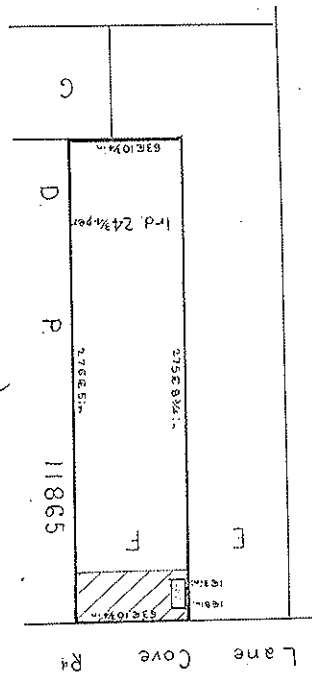
John Dwyer

Signed in the presence of

In witness whereof I have hereunto signed my name and affixed my Seal, this

DOROTHY WHEELER, of North Ryde, widow, is now the proprietor of an Estate in Fee Simple,
subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such
encumbrances, liens, and interests as are notified hereon, in That piece of land situated
in the Municipality of Ryde Parish of Hunters Hill, and County of Cumberland
containing One rood thirty five and one quarter perches or thereabouts as shown in the plan hereon and
therein edged red being Lot R in plan lodged with Transfer No. P863395 and being part of 100 acres (Portion
42 of Parish) originally granted to James Weavers by Crown Grant dated the 11th day of August 1804.

CANCELLED



This deed is recorded as to, *the above*
Now Certificate of Title have issued for lots in
Refused Plan No. *506-770* as follows:
Lots *1, 2, 3, 8, 6*. Vol. *9517*, p. *132, 133*
133 & 134
James
RECORDED
JAN 11 1914

REGISTRAR-GENERAL



1924-1964.
1924-1964. Entered 20th January 1967.



Registar-General.

Twenty-first day of August

In witness whereof I have herewith signed my name and affixed my Seal, this

Signed in the presence of,

DOROTHY EIGHT, LEWIS, of North Ryde, widow, is now the proprietor of an estate in Fee Simple, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified herein, in that piece of land situated in the Municipality of Ryde Parish of Hunters Hill, and County of Cumberland containing One rood twenty four and three quarters perches or thereabouts as shown in the plan hereon and therein edged red being Lot F in plan lodged with Transfer No. E36395 and being part of 100 acres (portion 42 of Parish) originally granted to James Weavers by Crown Grant dated the 11th day of August 1804.

ONCE LEFT

Issued on Order No. 863396.

REGISTER BOOK.
6707 Vol. 25

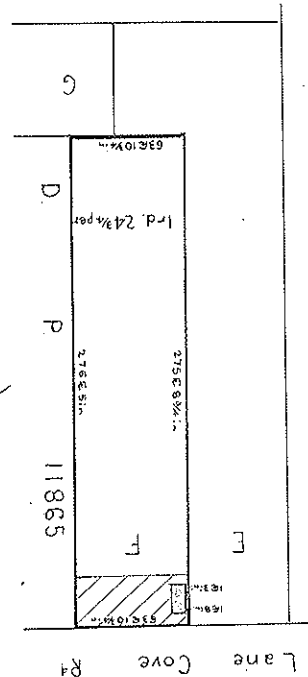


[REVERSE SIDE OF PAGE]

Free South Seas.

Appn. No. 18360
Reference to Last Title
Vol. 5386 Fol. 99
Deposited Plan No. 11865

Scale: 60 feet to one inch



For Children

J. H. H. H.

J. H. S.



1338134
1338135, respectfully
R. H. RING, JR.
R. H. RING, JR.

CANCELLED

New South Wales.



Appn. No. 18860
Reference to last certificate
Vol. 2642 Fol. 214

Edmund Blunden of Sydney, Merchant, under instrument of transfer No. 30378
do hereby purport to sell to the said sample

subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances,
in the Parish of Murrumbidgee, and County of Murrumbidgee,
containing four acres, thirty seven and one quarter, being
as shown in the Plan hereon and therein edged red, being lots 2 and 3
in Deposited Plan No. 11865 and being part of 100 acres (being 42 of Parish)

delimited in the Public Map of the said Parish in the Department of Lands originally granted to James Blunden by license
Grant made on 11th day of August 1804.

In witness whereof I have hereunto signed my name and affixed my Seal, this

month of December 1930



Registrar General.

McKinnon

NO. C 855035. NOTICE OF RESUMPTION. That part of the
land within described shown by pink color on the plan hereon (excluding
Mines and Deposits as provided by Section 141 of the Public Works Act,
1912) has become vested in THE COMMISSIONER FOR MAIN ROADS
as co structing Authority for the purposes of the Main Roads Act 1924
The Gazette Notice in connection therewith (freed and discharged from all
trusts obligations estates interests contracts charges rates rights-of-way
or other easements whatsoever.) Produced 11th January 1940 and entered
-30th August 1940 at 12 o'clock noon.

Registrar General.



DISCHARGE of within mortgage
No. 284091
C 399300 dated 1st May 1930 and entered 1st May 1930
Produced 1st May 1930 and entered 1st May 1930 at 12 o'clock in the afternoon.
at 12 o'clock in the afternoon.
REGISTRAR GENERAL.

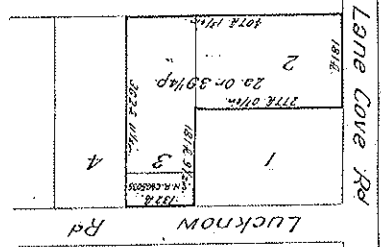
No. 281095 TRANSFER dated 3rd June 1930
from the said *Edmund Blunden* to *James Blunden*
school of law of *James Blunden*
Produced 22nd June 1930 and entered 22nd June 1930
at 12 o'clock in the afternoon.
REGISTRAR GENERAL.

1st February 2008
Produced 22nd June 1930 and entered 22nd June 1930
at 12 o'clock in the afternoon.
REGISTRAR GENERAL.

Notification referred to

No. C 399300 MORTGAGE dated 1st May 1930
from the said *Edmund Blunden* to *James Blunden*
Bank of Australia
Produced and entered 22nd June 1930
at 12 o'clock in the afternoon.
REGISTRAR GENERAL.

Produced and entered 22nd June 1930
at 12 o'clock in the afternoon.
REGISTRAR GENERAL.



1st February 2001

2000097
VI 600000
19/1/01
2000097
VI 600000
19/1/01
2000097
VI 600000
19/1/01

No. D410958 TRANSFER dated 22nd June 1943
 from the said Edmund Whitlock to Dorothy
 Edith Alice O'Neil
 of the land within described
 Produced 22nd June 1943 and entered 22nd June 1943
 at 12.0'clock in the noon
 REGISTRAR GENERAL
 Vol. 229 fol. 110
 This certificate is called
 and may be cancelled
 As to and in this transfer
 the certificate is called
 110 fol. 229 Vol.

No. 0804071
DISCHARGE of within mortgage
dated 1903
Produced 15 May 1903
at 11 o'clock in the forenoon.
J. W. W.



NOTICE OF RESUMPTION. That part of the
 Hines and Deposits as provided by Section 141 of the Public Works Act,
 (1912) has become vested in THE COMMISSIONER FOR MAIN ROADS
 as so exercising authority for the purposes of the Main Roads Act 1924
 in 1938 by operation of the Public Works Act 1912 and in pursuance of
 the Gazette Notice in connection therewith, (freed and discharged from all
 trusts and obligations as stated in the contracts charged rates 1915-19 way
 or other arrangements whatsoever.) Produced 11th, January 1940 and entered
 30th, August 1940 at 12 o'clock noon.



အထွေထွေ အချက်အလက်

day of December 1930

In witness whereof I have hereunto signed my name and affixed my Seal, this

Edmond Alstiehl, by his de decaying tract of land containing 100 acres, more or less, in fee simple, is now the proprietor of an estate in fee simple

subject nevertheless to the reservations and conditions, if any, contained in the Grant heretofore referred to, and also subject to such encumbrances, liens, and interests as are notified herein, in that piece of land situated

in the Township of Bayne Parish of Assiniboia and County of Souris

containing five acres, more or less, more or less

as shown in the Plan heron and therein edged red, being lots 2 and 3

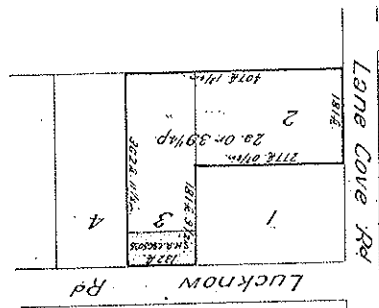
in Deposited Plan No. 11865 and being part of 100 acres (shown at 2 of said)

delivered in the Public Map of the said Parish in the Department of Lands originally granted to James Alstiehl by Letters Patent under the Great Seal of the United Kingdom of Great Britain, bearing date the 11th day of August 1804

SECRET

No. C399890. MORTGAGE dated 16 December 1935
from the said Edmund Albrecht to Commercial Union
Bank of Australia
Produced and entered at 12 o'clock in the afternoon
1935
RECEIVED 18 DEC 1935
1935
1935

Scale: 200 ft to one inch



Lane Cove Rd

Lucknow Rd

Signed in the presence of

Don Campbell

No. 0017904 TRANSFER dated 19th June 1943
 from the said Edward Bernard & Robert George
 of the land within described
 Produced 20th July 1943 and entered 24th August 1943
 As to land in this transfer
 this document can only be
 validly used after the issue
 of a new Certificate of title
 Vol. 5588 Fol. 17

No. 0017903 TRANSFER dated 20th July 1943
 from the said Edward Bernard & Robert George
 of the land within described
 Produced 20th July 1943 and entered 24th August 1943
 As to land in this transfer
 this document can only be
 validly used after the issue
 of a new Certificate of title
 Vol. 5588 Fol. 17

No. 0017902 TRANSFER dated 19th June 1943
 from the said Edward Bernard & Robert George
 of the land within described
 Produced 20th July 1943 and entered 24th August 1943
 As to land in this transfer
 this document can only be
 validly used after the issue
 of a new Certificate of title
 Vol. 5588 Fol. 17

No. 0017901 TRANSFER dated 19th June 1943
 from the said Edward Bernard & Robert George
 of the land within described
 Produced 20th July 1943 and entered 24th August 1943
 As to land in this transfer
 this document can only be
 validly used after the issue
 of a new Certificate of title
 Vol. 5588 Fol. 17

		REGISTRAR GENERAL STATE OF KANSAS DEPARTMENT OF AGRICULTURE OFFICE OF THE REGISTRAR GENERAL
Produced <i>and filed</i> <i>1943</i> and entered <i>1943</i> noon.		As to land in this transfer the certificate issued and now Certificate issued No. <i>3017993</i>
of the land within described from the said <i>James H. and Mary H. Jones</i>		TRANSFER dated <i>1943</i>
of the land within described from the said <i>James H. and Mary H. Jones</i>		TRANSFER dated <i>1943</i>
Produced <i>and filed</i> <i>1943</i> and entered <i>1943</i> noon.		As to land in this transfer the certificate issued and now Certificate issued No. <i>3017993</i>
of the land within described from the said <i>James H. and Mary H. Jones</i>		TRANSFER dated <i>1943</i>

RP3



TRANSMISSIC APPLICATION

Section 93 Real Property Act 1900

3893062 P



Office of State Revenue use only

(A) **LAND**

Show no more than 20 References to Title.

~~NOW BEING~~
*Part Cert. of Title Volume 9519 Folio 134 ^{now}
Certificate of Title Volume 11838 Folio 11 ^{2/SP6247}
Certificate of Title Volume 11838 Folio 14 ^{now}
* Now being Folio Identifier 24/869002 and part Folio ^{5/SP6247}
Identifier 23/869002

(B) **REGISTERED DEALING**

If applicable.

(C) **LODGED BY**

L.T.O. Box

289U

Name, Address or DX and Telephone

FARMER CAMPBELL EDMUNDS, SOLICITORS
8/110 SUSSEX STREET, SYDNEY NSW 2000
DX 934 SYDNEY TEL: 9299-4344

REFERENCE (max. 15 characters): RHF

(D) **DECEASED REGISTERED
PROPRIETOR**

DOROTHY ETHEL LETTE

(E) **APPLICANT**

TA

JEAN ELSIE PIEREMONT and
JOHN HENRY LETTE

I, the Applicant, being entitled as Executors of the will/~~estate~~ of the Deceased Registered Proprietor (who died on 6 July 1997) pursuant to Probate/~~Letters of Administration~~ No. 118110/97 granted on 21 November 1997 to JEAN ELSIE PIEREMONT & JOHN HENRY LETTE, apply to be registered as proprietor of the estate or interest of the Deceased Registered Proprietor in the Land/~~Registered Dealing~~ specified above.

(G) Certified correct for the purposes of the Real property Act 1900.

DATE 21 January 1998

Signed in my presence by the John Henry Lette Applicant who is personally known to me.

SIGNED in my presence by the Applicant Jean Pieremont who is personally known to me.

Signature of Witness

R H Farmer

Name of Witness (BLOCK LETTERS)

8/110 Sussex Street, Sydney

Address of Witness

Signature of Witness

G J Christian

Name of Witness

6/38 The Crescent Dee Why
Address of Witness

Signature of Applicant

EVIDENCE SIGHTED (office use only)

CHECKED BY (office use only)

LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH

SEARCH DATE

4/2/2008 3:17PM

FOLIO: 3/504970

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 9519 FOL 133

Recorded	Number	Type of Instrument	C.T. Issue
28/3/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
15/7/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
6/3/1995	064501	DISCHARGE OF MORTGAGE	EDITION 1
25/11/1997	DP869002	DEPOSITED PLAN	FOLIO CANCELLED

*** END OF SEARCH ***

J/J

PRINTED ON 4/2/2008

Espreon hereby certifies that the information contained in this document has been provided electronically by the Registrar-General in accordance with Section 96B(2) of the Real Property Act, 1900.

*Any entries preceded by an asterisk do not appear on the current edition of Title.

Warning: The information appearing under notations has not been formally recorded in the register.

LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH
-----SEARCH DATE

4/2/2008 3:18PM

FOLIO: 4/504970

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 9519 FOL 134

Recorded -----	Number -----	Type of Instrument -----	C.T. Issue -----
28/3/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
11/7/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
25/11/1997	DP869002	DEPOSITED PLAN	FOLIO CANCELLED

*** END OF SEARCH ***

J/J

PRINTED ON 4/2/2008

Espreon hereby certifies that the information contained in this document has been provided electronically by the Registrar-General in accordance with Section 96B(2) of the Real Property Act, 1900.

*Any entries preceded by an asterisk do not appear on the current edition of Title.

Warning: The information appearing under notations has not been formally recorded in the register.

(C.)

New South Wales.

[CERTIFICATE OF TITLE.]


 REGISTER BOOK
 Vol. 2642 FOLIO 214
 31 1017

CANCELLED

W

(C. of A. 15560)

Walter Joseph Cox

of North Sydney, Registrar applicant in primary Application No 15560
 now the proprietor of an estate in fee simple subject nevertheless to the reservations and
 conditions of any contained in the grant hereinafter referred to and also subject to such encumbrances
 and interests as are notified herein in that piece of land situated in the Municipality of
 Sydney Parish of Hunters Hill and County of Cumberland containing five acres two rods seven
 inches or thereabouts as shown in the plan hereon and therein edged red and also shown in the
 plan lodged with said Application No 15560 being Lot 11 of the Allen Grove Estate and part of six
 hundred acres (Portion 4.2 of Parish) delineated in the public map of the said Parish in the
 Department of Lands originally granted to James Heavers by Crown Grant dated the eleventh
 day of August one thousand eight hundred and four.

In Witness whereof I have hereunto signed my name and affixed my seal this fifth
 day of February one thousand nine hundred and sixteen

Signed the 5th day of February 1916
 in the presence of J. A. Jones

S. Deane

Deputy Registrar General



Notification referred to

No. 227650 Lease dated 18th March 1914
 from the said Walter Joseph Cox to John
 Thomas Paton of Sydney Merchant
 of part of the land within described
 11th February 1916
 Produced and entered 21st February 1916
 at 3 o'clock in the afternoon
 J. A. Jones
 REGISTRAR GENERAL

227650 The above mentioned Lease
 227650 has expired by effluxion of
 time dated 12th June 1923

J. A. Jones
 Registrar General

No. 8347687 APPLICATION BY TRANSMISSION
 from the said Alice May wife of James William May
 of Hendy Engineer
 now the registered
 Proprietors of the Land within described in pursuance of the above
 Application. Produced 29th April 1926 and
 entered 1st May 1926

No. 8347687 TRANSFER dated 1st July 1926
 from the said Alice May to John Thomas Paton of
 1st July 1926
 of the land within described
 Produced entered 10th August 1926
 at 10 o'clock in the forenoon
 Cancelled & Certificate of Title issued
 Vol. 2642 Folio 214
 J. A. Jones
 REGISTRAR GENERAL

No. 8347687 TRANSFER dated 1st July 1926
 from the said Alice May to John Thomas Paton of
 1st July 1926
 of the land within described
 Produced entered 10th August 1926
 at 10 o'clock in the forenoon
 Cancelled & Certificate of Title issued
 Vol. 2642 Folio 214
 J. A. Jones
 REGISTRAR GENERAL

No. 8347687 TRANSFER dated 1st July 1926
 from the said Alice May to John Thomas Paton and
 Phyllis Jane Matthews as joint tenants of Lot 1 of 11th July 1926

Walter Joseph Cox of North Sydney, Richardist applicant in primary Application No 13860 now the proprietor of an estate in fee simple subject nevertheless to the reservations and conditions if any contained in the grant hereinafter referred to and also subject to such encumbrances and interests as are notified hereon in that piece of land situated in the Municipality of the Parish of Hunters Hill and County of Cumberland containing five acres two rods percentum inches or thereabouts as shown in the plan hereon and therein edged red and also shown in the lodged with said Application No 13860 being Lot 11 of the Allen Grove Estate and part of one hundred acres (Portion 122 of Parish) delineated in the public map of the said Parish in the Department of Lands originally granted to James Weavers by Crown Grant dated the eleventh day of August one thousand eight hundred and four.

In Witness whereof I have hereunto signed my name and affixed my seal this fifth day of February one thousand nine hundred and sixteen.

Signed the 5th day of February 1916
in the presence of James Cox

S. Pearce

Deputy Registrar General



Notification referred to

No. B227680 Lease dated 18th March 1914
from the said Walter Joseph Cox to James William May
of St. Mary's Bay Sydney New South Wales
of the land within described
Produced and entered 21st February 1916
at 3 o'clock in the afternoon
S. Pearce
REGISTRAR GENERAL

MA 954858 The above mentioned Lease
MA 227680 has expired by effluxion
of time, dated 12 June 1923
S. Pearce
Registrar General

No. B347681 APPLICATION BY TRANSMISSION
from the said James William May
of St. Mary's Bay Sydney New South Wales
to James William May
Proprietors of the Land within described in pursuance of the above
Application. Produced 29th April 1926 and
entered 1st May 1926.
at 10 o'clock in the forenoon.
S. Pearce
REGISTRAR GENERAL

No. B347682 CAVEAT dated 29th April 1926
by the Registrar General. Produced and entered
6th May 1926.
at 10 o'clock in the forenoon.
S. Pearce
REGISTRAR GENERAL

No. B380003 TRANSFER dated 1st July 1926
from the said James William May to John Thomas Larkin of
Lot 1 of the land within described
Produced and entered 10th August 1926
at 10 o'clock in the forenoon
Cancelled & Certificate of Title issued
Vol. 1848 Fol. 144
S. Pearce
REGISTRAR GENERAL

No. B380004 TRANSFER dated 1st July 1926
from the said James William May to John Thomas Larkin of
Lot 1 of the land within described
Produced and entered 10th August 1926
at 10 o'clock in the forenoon
Cancelled & Certificate of Title issued
Vol. 1848 Fol. 144
S. Pearce
REGISTRAR GENERAL

No. B347683 TRANSFER dated 1st July 1926
from the said James William May to John Thomas Larkin and
Phyllis Jane Matthews as joint tenants of Lot 1 of the land within described
Produced and entered 10th August 1926
at 10 o'clock in the forenoon
Cancelled & Certificate of Title issued
Vol. 1848 Fol. 144
S. Pearce
REGISTRAR GENERAL

The within Caveat No. B347682
is hereby withdrawn.
Dated 4th December 1930.
W. H. Houghton
REGISTRAR GENERAL

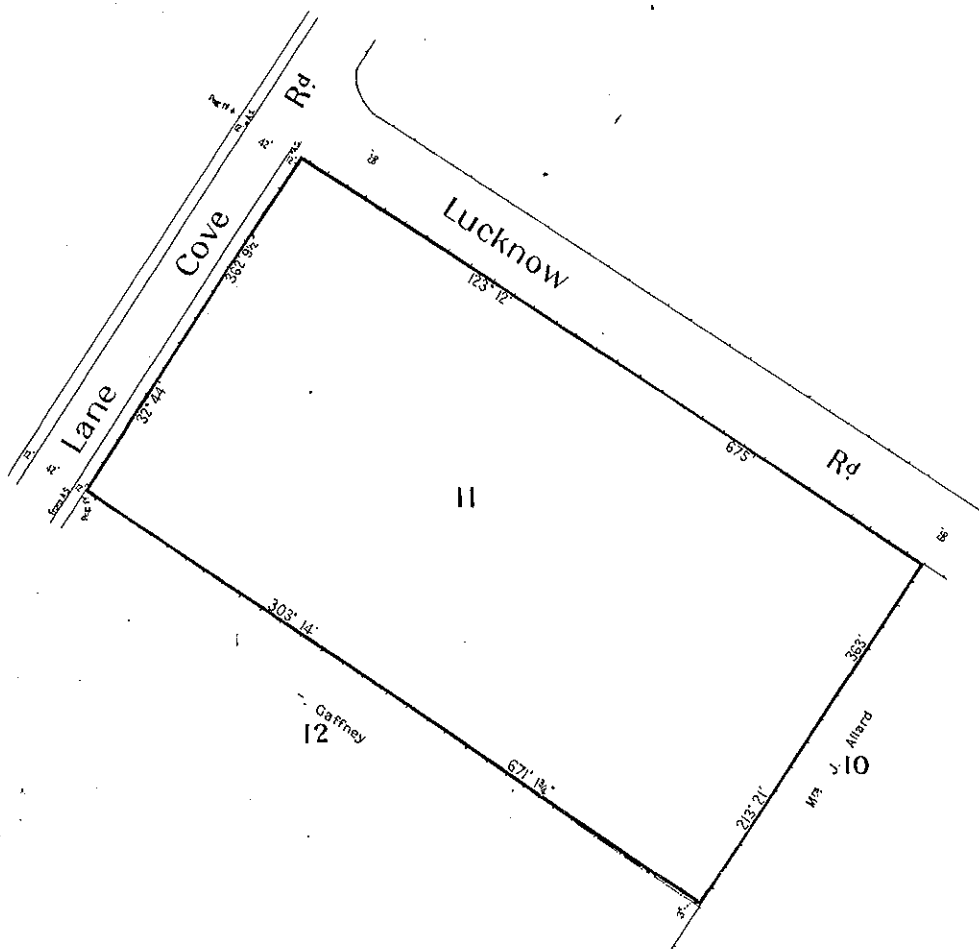
No. 030368 TRANSFER dated 12th November 1930.
 from the said Alice Gray to Edmond Hildreth
 of the residue of

of the Land within described
 Produced 18th November 1930 and
 entered 4th December 1930
 at 3 o'clock in the afternoon.

As to land in this transfer
 this Certificate cancelled
 and new Certificate issued
 Vol. 4455, Fol. 130

W. H. Hayton
 REGISTRAR GENERAL.





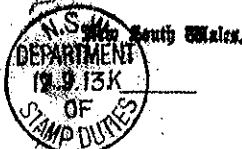
Total area included in certificate, 5a.2c.17p.
 All lengths shown hereon are in feet and inches.
 Scale 100 feet to one inch.

M.V.

8m
 1/1

No. 18860.

RECEIVED 17 SEP 1913 12:30 PM


 FMS:— 2 s. d.
 Assurance... 1 0 10
 Certificate... 1 1
 Advertising... 1 10
 3/15/13

 APP-23 TO BRING LANDS UNDER THE PROVISIONS OF THE
 REAL PROPERTY ACT, 1900.

Caution.—Applicants are reminded that by virtue of the provisions of the Crimes Act, 1900, the penalties of perjury are attached to a false declaration touching any matter or procedure under the Act, and that the utmost care is therefore necessary in making (or reading over, if the form be filled up by an Attorney) every particular statement herein. It is further provided by Section 125 of the Real Property Act, 1900, that any applicant procuring a Certificate through any fraud, error, mistake, misrepresentation, or misstatement will, notwithstanding the issue of such Certificate, remain liable for damages to any person thereby prejudiced. And any person who fraudulently procures, obtains or fraudulently procures or is privy to the fraudulent procurement of any Certificate of Title, is declared guilty of a misdemeanour, and liable to a penalty not exceeding \$500, or imprisonment not exceeding three years; and any Certificate thereby procured is rendered void as between all parties or privies to the fraud.

FEE SIMPLE*

I, WALTER JOSEPH COX of North Ryde Orchardist

*Another form can be obtained for leasehold.

a Here state Christian and surname in full, with residence and occupation.

b "I am," or "G.D. of" "is" (as the case may be).

c Here give description of the property in full. An accurate plan must accompany the application.

It is necessary that this plan be prepared and certified by one of the Surveyors specially Licensed under the Act.

If there be any rights of way, or other rights or easements affecting the premises, the particulars should be stated.

If the plan for description is to accompany it, it must be accompanied by a statement, signed by the applicant, to the effect that the plan is a true and correct copy of the original, and is intended as part of the declaration, by memorandum signed by the applicant and attested by the Registrar.

do solemnly and sincerely declare, that I am
 seized for an Estate in fee simple of ALL THAT piece or parcel of land
 situated in the Municipality of Ryde Parish of Hunter's Hill
 County of Cumberland as delineated upon Plan prepared by Mr.
 Licensed Surveyor Chatfield referred to as Number 13 in the
 Schedule of documents hereinafter contained

(FILL UP ALL BLANKS BEFORE SIGNING.)

 which land (including all improvements) is of the value of five hundred pounds
 and no more, and is part of one hundred acres

 originally granted to James Weaver by Crown grant, under the hand of
 Governor of the Colony, dated the eleventh day of August 1904

 And I further declare, that I verily believe there does not exist any lease or agreement for
 lease of the said land, for any term exceeding a tenancy for one year, or from year to year,
 except as follows:—

 Also, that there does not exist any mortgage, lien, writ of execution, charge or encumbrance,
 will or settlement, or any deed or writing, contract, or dealing (other than such lease or
 tenancy as aforesaid), giving any right, claim, or interest in or to the said land, or any part
 thereof, to any other person than myself except as follows:—

If any exception, here state particulars; if none, strike out the words "except as follows" within brackets.

214

 Certificate of Title issued, Vol. 2642, fol. 214
 dated 5.2.16

22906

[Printed 6d.]

k Insert "unemployed,"
or "in the occupation
of," adding names and
addresses of tenants
in full

State also nature of
tenancy, if not under
some lease before
mentioned.

and I further declare, that there is no person in possession or occupation of the said land or any part thereof adversely to my Estate or Interest therein, and that the said land is now ¹⁹⁹⁹
in my occupation _____

1 Here insert names and residences of adjacent owners and occupiers on all sides.

and that the owners and occupiers of adjacent lands are as follows:— on the West A.G.Greenwood of Lane Cove Road North Hyde owner and occupier and on the South Mrs J.Allard of Lucknow Road North Hyde owner and occupier -----

10 Here insert "am
unmarried," or "was
married to my present
wife on the 1st of
as the fact may be.

And I further declare that I attained the age of twenty one years on the
 month _____ day of May _____ One thousand nine hundred
 and six _____

And I further declare, that the annexed Schedule, to which my signature is affixed, and which is to be taken as part of this Declaration, contains a full and correct list of all settlements, deeds, documents, or instruments, maps, plans, and papers relating to the land comprised in this application, so far as I have any means of ascertaining the same, distinguishing such as being in my possession or under my control, are herewith lodged, and indicating where or with whom, so far as known to me, any others thereof are deposited; Also, that there does not exist any fact or circumstance whatever material to the title, which is not hereby fully and fairly disclosed to the utmost extent of my knowledge, information, and belief; and that there is not, to my knowledge and belief, any action or suit pending affecting the said land, nor any person who has or claims any estate, right, title, or interest therein, or in any part thereof, otherwise than by virtue and to the extent of some lease or tenancy hereby fully disclosed ~~except as~~

17 If no description, state
parentheses; if none,
strike out the word
"description".

And I make this solemn Declaration, conscientiously believing the same to be true.

DATED at Sydney this 16th day of September 1913.

Made and subscribed by the abovenamed

0 The declaration must be attested by the Registrar General or Deputy, or by a Notary Public, or by a Justice of the Peace.

WALTER JOSEPH COX

Signature of Applicant

Walter J. Cox

this 16th day of September 1913

in the presence of*

Manning & Co.

I, WALTER JOSEPH COI, the
above declarant, do hereby apply to have the land described in the above declaration
brought under the provisions of the Real Property Act, and request you to issue the
Certificate of Title in the name of 'myself'

If the signature be by mark; the attestation must state that it was read over to the decedent, that he appeared fully to understand the contents. This applies also to the subjoined direction, particularly if a different person be nominated to receive certificate.

u If to Applicant, say "myself"; if to other person, write name at full length, with address and occupation.

If to two or more, state whether as joint tenants or tenants in common.

If to an infant, the age should be stated, and verified by Certificate of Baptism, or by Satisfactory Declaration.

If a married woman, the name of the husband, together with his residence and occupation, should be stated.

DATED at Sydney 16th day of September 1913..

Witness to Signature—

Walter J. Cox (Signature of Applicant) Walter J. Cox

N.B.—The Schedule on third page and the Certificate Indorsed should both be also signed.

* *In no case can any alterations, however trifling, be allowed to be made after the application has been once declared, unless all the parties re-sign and re-declare the same. If it is discovered that any alterations are necessary, the applicant may make a statutory declaration adding out in what manner he desires the application to be altered, which declaration will then (unless the Registrar otherwise considers that a fresh application ought to be made) be read as one with the application.*

SCHEDULE REFERRED TO.*

(TO BE SIGNED BY APPLICANT).

To include not only Title Deeds, &c., but also Plan and Surveyor's Declaration verifying same.

*For the particulars which the applicant is required to furnish, see the instructions, in which particular attention is directed, as any omission or mistake must be made at the applicant's risk to the prejudice of his application.

Each of the Deeds and Instruments as set in applicant's possession or control, must be deposited with the application. (Counterpart Deeds must be included, but these will be returned, if required.)

If any Appointed Deeds refer also to property not brought under the Act, they may be retained after partial completion; but of all these, abstracts or copies for reference should be furnished, and the fees for the return of the originals noted.

1. 11 August 1804 CROWN GRANT to James Weaver
2. 7 January 1840 AGREEMENT Richard and Mary Porter with George Edward Turner No. 566 Book 0
3. 26 May 1840 RELEASE R and M. Porter to G. E. Turner No. 37 Book 8
4. 27 June 1840 MORTGAGE G. E. Turner to A. Park No. 350 Book 8
5. 29 May 1848 RECONVEYANCE A. Park 1st part G. E. Turner 2nd part and Ross Donnelly 3rd part No. 497 Book 18
6. 20 April 1850 MORTGAGE G. E. Turner to S. Ashmore and others No. 498 Book 18
7. 17 April 1851 DECLARATION of James Devlin
8. 25 April 1851 CONVEYANCE S. Ashmore and others 1st part G. E. Turner 2nd part and F. J. K. F. Bingmann 3rd part No. 703 Book 20
9. 30 November 1852 CONVEYANCE F. J. K. F. Bingmann to R. Allen No. 636 Book 24
10. 2 June 1892 ORDER for sale in intestate estate of Richard Allen
- X 11. 20 July 1892 CONVEYANCE Catherine Allen to Joseph Cox No. 599 Book 495
- X 12. 30 January 1896 CONVEYANCE Joseph Cox to Applicant No. 570 Book 573
13. PLAN by Mr Licensed Surveyor Chatfield
14. 2 August 1913 DECLARATION by Mr Licensed Surveyor Chatfield

Russell
5.2.1914

(Rev 11.7.12 20)

Car

17.9.14

15/12/14

Consent by W. J. Cox

Walter J. Cox

16.11.15

16 Memo of lease W. Cox to J. A. Paton (under RP 200 p. 11)
17 9.11.15 Stat Decl by A. Muddle negating backhandedly of floor
18 9.5.18 Stat Decl by W. J. Cox with an annexure marked 'A'
19 8.11.15 Stat Decl by W. J. Cox with an annexure marked 'A'

Informed produced documents ready for delivery.

Doc. 11 may be sent to A. Muddle, Solicitor

Received No. 11

Arthur Muddle

2-8-16

(RULE UP ALL BLANKS BEFORE SIGNING.)

SEE ENDORSEMENT OVERLEAF

8.11.22
S.D.—Section 117 requires that the following Certificate be signed by Applicant or his Solicitor, and renders liable any person knowingly or negligently certifying to a penalty of £200; also, to damages recoverable by parties injured.

I certify that the within application is correct for the purposes of the Real Property Act, 1900.*

Walter J. Cox

*If by Solicitor insert:—“And that I am the Solicitor of the within-named Applicant,” and add his own address to his signature.

F E E S.

PAYMENT OF THESE MUST ACCOMPANY THE APPLICATION

1st.—Where the Applicant is the Original Grantee from the Crown.

New Certificate	...	...	...	...	...	...	...	...	£1 0 0
Add Assurance, 1d. in the £ on declared value	...	...	...	...	...	...	...	...	...

2nd.—Where the Applicant is not the Grantee from the Crown, or being the Grantee, the property has been dealt with by any Registered Instrument.

Advertisements	...	...	...	...	...	...	...	...	£1 10 0
New Certificate	...	...	...	...	...	...	...	...	1 0 0
TOTAL	...	...	...	...	...	...	...	...	£3 10 0

In addition to the Assurance Fee of 1d. in the £ on the value.

State to whom all correspondence relating to this Application should be sent, with address, as under, viz:—

Name *Arthur Muddie*

Occupation *Solicitor*

Post Town *O'Connell Street*
Sydney

REC'D 17 SEP 1913 12.30 PM

LAND AND PROPERTY INFORMATION NEW SOUTH WALES - TITLE SEARCH

FOLIO: 10/606927

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
4/2/2008	12:46 PM	9	15/1/2008

LAND

LOT 10 IN DEPOSITED PLAN 606927
AT NORTH RYDE
LOCAL GOVERNMENT AREA RYDE
PARISH OF HUNTERS HILL COUNTY OF CUMBERLAND
TITLE DIAGRAM DP606927

FIRST SCHEDULE

EGC CUSTODIAN SERVICES PTY LIMITED (T AA347644)

SECOND SCHEDULE (2 NOTIFICATIONS)

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2 AA634107 MORTGAGE TO ST. GEORGE BANK LIMITED
AB60632 VARIATION OF MORTGAGE AA634107
AC94900 VARIATION OF MORTGAGE AA634107
AC545627 VARIATION OF MORTGAGE AA634107
AD168381 VARIATION OF MORTGAGE AA634107
AD589908 VARIATION OF MORTGAGE AA634107
AD701157 VARIATION OF MORTGAGE AA634107

NOTATIONS

DP1115786 NOTE: PLAN OF ACQUISITION
UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

MI/MI

PRINTED ON 4/2/2008

Espreon hereby certifies that the information contained in this document has been provided electronically by the Registrar-General in accordance with Section 96B(2) of the Real Property Act, 1900.

*Any entries preceded by an asterisk do not appear on the current edition of Title.

Warning: The information appearing under notations has not been formally recorded in the register.

LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH

SEARCH DATE

4/2/2008 12:48PM

FOLIO: 10/606927

First Title(s): SEE PRIOR TITLE(S)
Prior Title(s): VOL 14095 FOL 8

Recorded	Number	Type of Instrument	C.T. Issue
28/3/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
5/9/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
19/12/1991	E146175	DISCHARGE OF MORTGAGE	EDITION 1
21/1/2004	AA347644	TRANSFER	EDITION 2
21/3/2004	AA501351	DEPARTMENTAL DEALING	
18/5/2004	AA634107	MORTGAGE	EDITION 3
1/11/2004	AB60632	VARIATION OF MORTGAGE	EDITION 4
6/2/2006	AC94900	VARIATION OF MORTGAGE	EDITION 5
24/8/2006	AC545627	VARIATION OF MORTGAGE	EDITION 6
4/6/2007	AD168381	VARIATION OF MORTGAGE	EDITION 7
16/8/2007	DP1115786	DEPOSITED PLAN	
26/11/2007	AD589908	VARIATION OF MORTGAGE	EDITION 8
15/1/2008	AD701157	VARIATION OF MORTGAGE	EDITION 9

*** END OF SEARCH ***

MI/MI

PRINTED ON 4/2/2008

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Appn. No. 18860
Reference to Last Title
Vol. 5388 Fol. 95
Deposited Plan No. 11865

New South Wales.



[CERTIFICATE OF TITLE]

JOINT TENANCY

CANCELLED

REGISTER BOOK,
6707 Fol. 160

Issued on Transfer No. F863395

4/383138

RONALD STEINBERG PIEREMONT, of Eastwood, Commonwealth Public Servant, and Jean Elsie Pieremont, his wife, are now the proprietors of an Estate in Fee Simple, as joint tenants, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated in the Municipality of Ryde Parish of Hunters Hill, and County of Cumberland containing 1 rood 9 perches or thereabouts as shown in the plan hereon and therein edged red being Lot G in plan lodged with Transfer No. F863395 and being part of 100 acres (Portion 42 of Parish) originally granted to James Weavers by Crown Grant dated the 11th day of August 1804.

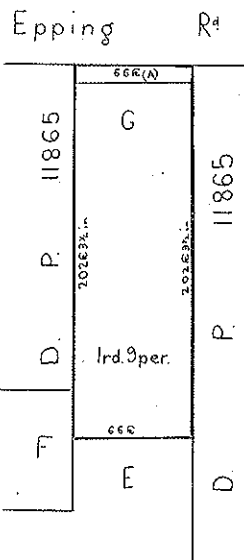
In witness whereof I have hereunto signed my name and affixed my Seal, this Twenty-fourth day of August, 1953

Signed in the presence of

R. R. Fitzgerald

J. W. Wells

Registrar-General.



(A) NOW PUBLIC ROAD SEE - T685650

Scale: 60 feet to one inch

Station etc.
RECAPITULATION REFERRED TO

The Commissioner for Main Roads
is the registered proprietor of the land within described.
See TRANSFER No. 517174 dated 22nd December 1975
Entered 22nd December 1975
Janetson
REGISTRAR GENERAL

NEW CERTIFICATE(S) OF TITLE ISSUED ON 26.6.92
NO DEALING TO BE REGISTERED WITHOUT REFERENCE TO
SURVEY DRAFTING BRANCH.

This deed is cancelled as to the whole ex. road.

New Certificates of Title have issued on 24.11.80

for lots in Deposited Plan No. 606927 as follows:

Lots 10 & 11 Vol. 14085 Fol. 8709 respectively.

RA
685650
(14.12.1981)
REGISTERED PROPRIETOR The Commissioner
For Main Roads as regards Lot 17 in
P. 246473^{is now sub 14 road} by Resumption 1685650.
Registered 18.10.1985.
Registrar General

1st February 2008

168,
(1st 1701" Registered 18.10.1983.

Blumier
REGISTRAR GENERAL



Lot 17 DP 246473
delivered 1985/86
Cm. 3-6-83 FM 24647
T685650 AA
Lot 17 DP 246473 R

Appn. No. 18860
Reference to last certificate
Vol. 4455 Fol. 130
Deposited Plan No. 11865

New South Wales.



[CERTIFICATE OF TITLE]

REGISTER BOOK
Vol. 5388 Fol. 95

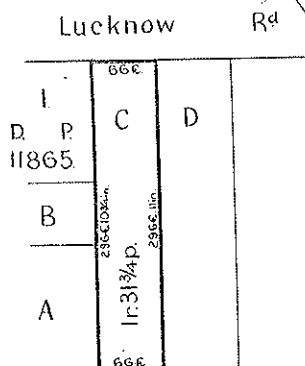
CANCELLED ☒

HELEN ISABEL FOX, wife of Claude Arthur Fox, of Hunters Hill, Clerk, Transferee under Instrument of Transfer No. D217902, is now the proprietor of an Estate in Fee Simple, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated in the Municipality of Ryde Parish of Hunters Hill, and County of Cumberland containing One rood thirty one and three quarters perches or thereabouts as shown in the plan hereon and therein edged red being Lot C in plan annexed to Instrument of Transfer No. D210958 and being part of 100 acres (Portion 42 of Parish) originally granted to James Weavers by Crown Grant dated the 11th day of August 1804.

In witness whereof I have hereunto signed my name and affixed my Seal, this thirtieth day of August, 1943.

Signed in the presence of W.P. Friend

Reg. W. Wells
Registrar General.



No. D603987 MORTGAGE dated 23rd December 1941 from the said Robert Evelyn Thomas to Bank of Australia
Produced and entered 24th December 1946 at 53 min 11 o'clock in the fore noon.
J. Wells
REGISTRAR GENERAL.

No. D694602 DISCHARGE of within mortgage No. D603987 dated 14th July 1947 as regards the land comprised in this Certificate of Title Produced 15th July 1947 and entered 15th July 1947 at 26 min 11 o'clock in the fore noon.
J. Wells
REGISTRAR GENERAL.

No. D714125 TRANSFER dated 8 August 1947 from the said Robert Evelyn Thomas to Dorothy Elizabeth Foster of North Ryde married
Produced and entered 22nd August 1947 at 41 min 12 o'clock in the fore noon.
J. Wells
REGISTRAR GENERAL.

No. D361247 TRANSFER dated 22nd February 1945 from the said John Robert Fox to Helen Frances wife of Claude Arthur Fox of Ryde
Produced and entered 22nd March 1945 at 34 min 10 o'clock in the fore noon.
Reg. W. Wells
REGISTRAR GENERAL.

No. D863398 TRANSFER dated 1st February 1953 from the said Robert Evelyn Thomas to Robert Evelyn Thomas and Dorothy Elizabeth Foster
Produced and entered 1st February 1953 at 1st February 2008

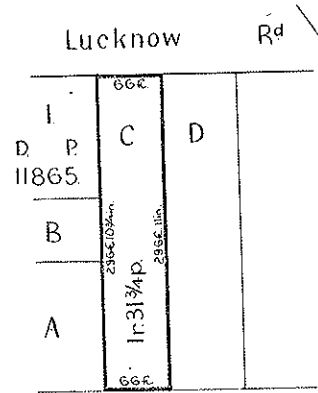
CANCELLED ☒

HELEN ISABEL FOX, Wife of Claude Arthur Fox, of Hunters Hill, Clerk, Transferee under Instrument of Transfer No. D217902, is now the proprietor of an Estate in Fee Simple, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated in the Municipality of Ryde Parish of Hunters Hill, and County of Cumberland containing One rood thirty one and three quarters perches or thereabouts as shown in the plan hereon and therein edged red being Lot C in plan annexed to Instrument of Transfer No. D210958 and being part of 100 acres (Portion 42 of Parish) originally granted to James Weavers by Crown Grant dated the 11th day of August 1804.

In witness whereof I have hereunto signed my name and affixed my Seal, this thirteenth day of August, 1943.

Signed in the presence of W.P. Friend

W. Wells
Registrar General.



No. 2605987 MORTGAGE dated 23rd December 1946
from the said Abel Evelyn Dames to Commonwealth Bank of Australia
Produced and entered 24th December 1946
at 53 11 o'clock in the fore noon.
J. Wells
REGISTRAR GENERAL.

No. 2694602 DISCHARGE of within mortgage
No. 2605987 dated 14th July 1947
as regards the land comprised in this Certificate of Title
Produced and entered 15th July 1947
at 26 11 o'clock in the fore noon.
J. Wells
REGISTRAR GENERAL.

No. 2714125 TRANSFER dated 8 August 1947
from the said Abel Evelyn Dames to David Russell Foster of North Ryde, New South Wales
of the land within described
Produced and entered 22nd August 1947
at 14 12 o'clock in the after noon.
J. Wells
REGISTRAR GENERAL.

No. 2863395 TRANSFER dated 1st August 1953
from the said David Russell Foster to Ronald Keith Campbell of Ryde, New South Wales
of the land within described
Produced and entered 1st August 1953
at 12 o'clock in the after noon.
As so long in this transfer this instrument is cancelled and new Certificate issued Vol. 6107 fol. 150
J. Wells
Registrar General.

902

Scale: 100 ft to one inch
Notification referred to
No. 2362877 TRANSFER dated 22nd February 1945
from the said Abel Evelyn Dames to David Russell Foster of North Ryde, New South Wales
of the land within described
Produced and entered 22nd March 1945
at 24 12 o'clock in the after noon.
W. Wells
REGISTRAR GENERAL.

This Deed is Cancelled and Certificate of Title issued
Vol. 6707 Folio 26
for Residue
J. H. Pells
D.F. 863396 REGISTRAR GENERAL.



LAND AND PROPERTY INFORMATION NEW SOUTH WALES - TITLE SEARCH

FOLIO: 100/739172

SEARCH DATE	TIME	EDITION NO	DATE
-----	-----	-----	-----
4/2/2008	12:46 PM	17	15/1/2008

LAND

LOT 100 IN DEPOSITED PLAN 739172
AT NORTH RYDE
LOCAL GOVERNMENT AREA RYDE
PARISH OF HUNTERS HILL COUNTY OF CUMBERLAND
TITLE DIAGRAM DP739172

FIRST SCHEDULE

EGC CUSTODIAN SERVICES PTY LIMITED (T AA347662)

SECOND SCHEDULE (2 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 AA634107 MORTGAGE TO ST. GEORGE BANK LIMITED
 - AB60632 VARIATION OF MORTGAGE AA634107
 - AC94900 VARIATION OF MORTGAGE AA634107
 - AC545627 VARIATION OF MORTGAGE AA634107
 - AD168381 VARIATION OF MORTGAGE AA634107
 - AD589908 VARIATION OF MORTGAGE AA634107
 - AD701157 VARIATION OF MORTGAGE AA634107

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

MI/MI

PRINTED ON 4/2/2008

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LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH

SEARCH DATE

4/2/2008 12:47PM

FOLIO: 100/739172

First Title(s): OLD SYSTEM

Prior Title(s): VOL 5388 FOL 94 VOL 12814 FOL 15

Recorded	Number	Type of Instrument	C.T. Issue
15/12/1986	DP739172	DEPOSITED PLAN	FOLIO CREATED EDITION 1
22/1/1987	W714311	TRANSFER	
22/1/1987	W714312	MORTGAGE	EDITION 2
29/12/1988	Y76908	MORTGAGE	EDITION 3
7/8/1991	Z797603	DISCHARGE OF MORTGAGE	
7/8/1991	Z797604	MORTGAGE	EDITION 4
19/4/1996	2095418	DISCHARGE OF MORTGAGE	
19/4/1996	2095419	NOTICE OF DEATH	
19/4/1996	2095420	MORTGAGE	EDITION 5
16/1/1997	2766055	DISCHARGE OF MORTGAGE	
16/1/1997	2766056	MORTGAGE	EDITION 6
13/2/1998	3795125	DISCHARGE OF MORTGAGE	
13/2/1998	3795126	CHANGE OF NAME	
13/2/1998	3795127	MORTGAGE	EDITION 7
12/10/1998	5320935	DISCHARGE OF MORTGAGE	
12/10/1998	5320936	MORTGAGE	EDITION 8
23/5/2003	9635681	DISCHARGE OF MORTGAGE	
23/5/2003	9635682	MORTGAGE	EDITION 9
21/1/2004	AA347661	DISCHARGE OF MORTGAGE	
21/1/2004	AA347662	TRANSFER	EDITION 10
21/3/2004	AA501351	DEPARTMENTAL DEALING	
18/5/2004	AA634107	MORTGAGE	EDITION 11
1/11/2004	AB60632	VARIATION OF MORTGAGE	EDITION 12
6/2/2006	AC94900	VARIATION OF MORTGAGE	EDITION 13
24/8/2006	AC545627	VARIATION OF MORTGAGE	EDITION 14

END OF PAGE 1 - CONTINUED OVER

MI/MI

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LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH
-----SEARCH DATE

4/2/2008 12:47PM

FOLIO: 100/739172

PAGE 2

Recorded -----	Number -----	Type of Instrument -----	C.T. Issue -----
4/6/2007	AD168381	VARIATION OF MORTGAGE	EDITION 15
26/11/2007	AD589908	VARIATION OF MORTGAGE	EDITION 16
15/1/2008	AD701157	VARIATION OF MORTGAGE	EDITION 17

*** END OF SEARCH ***

MI/MI

PRINTED ON 4/2/2008

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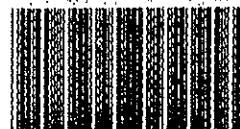
Warning: The information appearing under notations has not been formally recorded in the register.

B4j

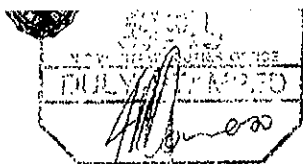
/Req: B397256

/Doc: DL W714311

/Prt: 04-Feb-2008



W714311

**TRANSFER**

REAL PROPERTY ACT, 1900

T

CB	1 of 2	X
\$ 37		

R1/2

DESCRIPTION
OF LAND
Note (a)

Torrens Title Reference

If Part Only, Delete Whole and Give Details

Location

100/DP739172

WHOLE

North Ryde

TRANSFEROR
Note (b)

ERIC ALFRED SMITH of Lane Cove, Accountant.

ESTATE
Note (c)

(the abovenamed TRANSFEROR) hereby acknowledges receipt of the consideration of \$ 89,000.00
and transfers an estate in fee simple
in the land above described to the TRANSFEREE

TRANSFEREE
Note (d)

DIANNES SIMONIAN, Retired and ELIZABETH SIMONIAN his wife,
TACVOR SIMONIAN, Telecom Employee and MARIE SIMONIAN his wife

OFFICE USE ONLY

PROP

TENANCY
Note (e)

as joint tenants/tenants in common

PRIOR
ENCUMBRANCES
Note (f)

subject to the following PRIOR ENCUMBRANCES 1.

2. 3.

DATE

15/1/87

We hereby certify this dealing to be correct for the purposes of the Real Property Act, 1900.

EXECUTION
Note (g)

Signed in my presence by the transferor who is personally known to me

Signature of Witness

Name of Witness (BLOCK LETTERS)

J. SOUTHEAST
60 ANTOINE ST. KUDALMERE
TELEPHONEIST.

Address and occupation of Witness

Signature of Transferor

Note (g)

Signed in my presence by the transferee who is personally known to me

Signature of Witness

Name of Witness (BLOCK LETTERS)

Address and occupation of Witness

Signature of Transferee

Solicitor for Transferees.

TO BE COMPLETED
BY LODGING PARTY
Notes (h)
and (i)

LODGED BY		UNITED P. BUILDING SOCIETY		LOCATION OF DOCUMENTS	
74-1		100 ST. PARRAMATTA		CT	OTHER
D.R. 8234 PARRAMATTA		PHONE 635 3888			Herewith.
42G					In L.T.O. with
Delivery Box Number					Produced by
Checked	Passed	REGISTERED - 19		Secondary	
Signature	Extra Fee	22 JAN 1987		Directions	
				Delivery	
				Directions	

OFFICE USE ONLY

\$333
C

Appn. No. 18860
Reference to last certificate
Vol. 4455 Fol. 130
Deposited Plan No. 11865

New South Wales.



[CERTIFICATE OF MORTGAGE]
CANCELLED

REGISTER BOOK.
Vol. 5388 Fol. 94

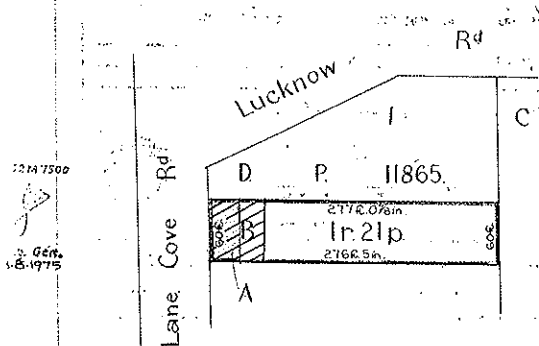
EDMOND HILDRETH, of Hunters Hill, Leading Hand, and ELIZABETH HILDRETH, his wife, Transferees under Instrument of Transfer No. D217901 are now the proprietors of an Estate in Fee Simple as Joint Tenants,

subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated in the Municipality of Ryde Parish of Hunters Hill, and County of Cumberland containing One rood twenty one perches or thereabouts as shown in the plan hereon and therein edged red being Lot B in plan annexed to Instrument of Transfer No. D210958 and being part of 100 acres (Portion 42 of Parish) originally granted to James Weavers by Crown Grant dated the 11th day of August 1804.

In witness whereof I have hereunto signed my name and affixed my Seal, this thirtieth day of August, 1943.

Signed in the presence of W.P. Friend

Reg. W. Wells
Registrar General.



No. D628852 MORTGAGE dated 15th February 1947
from the said Edmond Hildreth, Leading Hand, and Elizabeth Hildreth, his wife
to the said James Weavers
Produced and entered 20th February 1947
at 12 o'clock in the noon.
J. Wells
REGISTRAR GENERAL.

No. D628852 DISCHARGE of within mortgage
No. D628852 dated 14th July 1947
Produced and entered 15th July 1947
at 26 to 11 o'clock in the fore noon.
J. Wells
REGISTRAR GENERAL.

No. D744838 TRANSFER dated 27th December 1946
from the said Edmond Hildreth, Leading Hand, and Elizabeth Hildreth, his wife
to the said James Weavers
Produced 27th December 1946 and entered 28th December 1946
at 12 o'clock in the noon.
J. Wells
REGISTRAR GENERAL.

No. D217901 TRANSFER dated 27th December 1946
from the said Edmond Hildreth, Leading Hand, and Elizabeth Hildreth, his wife
to the said James Weavers
Produced 27th December 1946 and entered 28th December 1946
at 12 o'clock in the noon.
J. Wells
REGISTRAR GENERAL.

The land shown by pink colour in the plan hereon is subject to the user imposed by Section 27E (6) Main Roads Act, 1st February 2005

subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated _____ in the Municipality of Ryde Parish of Hunters Hill, and County of Cumberland containing One rood twenty one perches or thereabouts as shown in the plan hereon and therein edged red being Lot B in plan annexed to Instrument of Transfer No.D210958 and being part of 100 acres (Portion 42 of Parish) originally granted to James Weavers by Crown Grant dated the 11th day of August 1804.

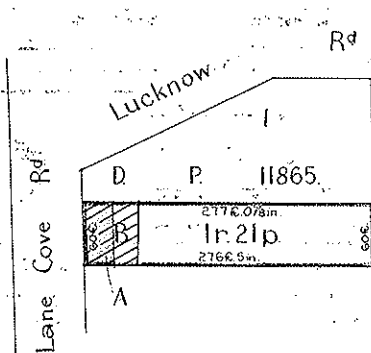
Signed in the presence of *W.P. Friend*

day of August, 1901.

Per W. H. L.

Registrar General.

REGISTRAR GENERAL'S
NEW SOUTH WALES



Scale: 100 ft. to one inch.

NOTIFIED: REFERRED TO.

No. 76026. TRANSFER dated 27th September 1946
from the said Edward M Glick and Eliza Beth
Glick to Kenneth Edgar Manning of
Black River Police Officer and late
Manning was as part of the land within described
Produced as before Def. and entered December 1946
at 12 o'clock in the noon.


REGISTRAR GENERAL.



No. 162 8852 MORTGAGE dated 15th February 1947
from the said Richard Wallace Hannes and
Marie Evelyn Hannes to Commonwealth Bank of Australia 67
Produced and entered 20th February 1947
at 12³⁰ o'clock in the noon.

REGISTRAR GENERAL.


No. D694608 DISCHARGE of within month page
No. D 628852 dated 14th July 1917
Produced and entered 15th July 1917
at 26 to pt. 11 o'clock in the fore noon.
J. Wells
REGISTRAR GENERAL.

No. 2744839 TRANSFER dated 27th November 1947
from the said Fredrick Wallace Munnings Wales
Esq married to Eric Munnings Wales
Wales Wales
of the land within described
Produced 24th November 1947 and entered 26th November 1947
at 12 o'clock in noon
A. W. Ellis
REGISTRAR GENERAL.


The land shown by pink colour in the plan hereon is subject to the restrictions on user imposed by Section 27E (6) Main Roads Act, 1924-1954.

See No. G554108. Entered 29th January 1957.

Cancelled
P296462
13-8-1975

J. H. Pells
REGISTRAR GENERAL

1st February 2008

Te
 296462
 10-01-84
 10-01-84

The Commissioner for Main Roads is

now the registered proprietor of the land within described, ^{at pay} ~~hatched black and~~ ^{coloured} ~~hatched black~~ ^{hatched black} ~~function the plan herein being lot 12 in D.P. 576484, is now road.~~

See TRANSFER No. P296462 dated 30th May 1975

Entered ^{13th August} ~~22nd May~~ 1975

Janatam
 REGISTRAR GENERAL



1752117500
 10-01-84
 10-01-84

7685650
 10-01-84
 10-01-84

REGISTERED PROPRIETOR The Commissioner for Main Roads as regards lot 10 in D.P. 576484, is

Resumption T685650 Registered 18.10.1983.

Blum
 REGISTRAR GENERAL



REGISTERED PROPRIETOR Eric Alfred Smith by Transmissio

V798847 excluding land in T685650 and P296462

Registered 28-6-1985



DP 739172 Registered 12/12/1986

This folio is cancelled as to whole/parts upon creation of computer folios for lots 100 and 101 in the abovementioned plan.



The residue of land in this folio comprises

road in DP 739172.



REGISTERED PROPRIETOR The Commissioner for
Main Roads as regards Lot 10 in D.P. 576484, in
T685650 road by Resumption 7685650. Registered 18.10.1983.

[Signature]

REGISTRAR GENERAL

REGISTERED PROPRIETOR Eric Alfred Smith by Transmission
V798847 excluding land in T685650 and P296662
Registered 28.6.1985

DP 739172 Registered 12/12/1986
This folio is cancelled as to whole/part upon creation
of computer folios for lots 100 and 101 in the
abovementioned plan.

The residue of land in this folio comprises
road in DP 739172.

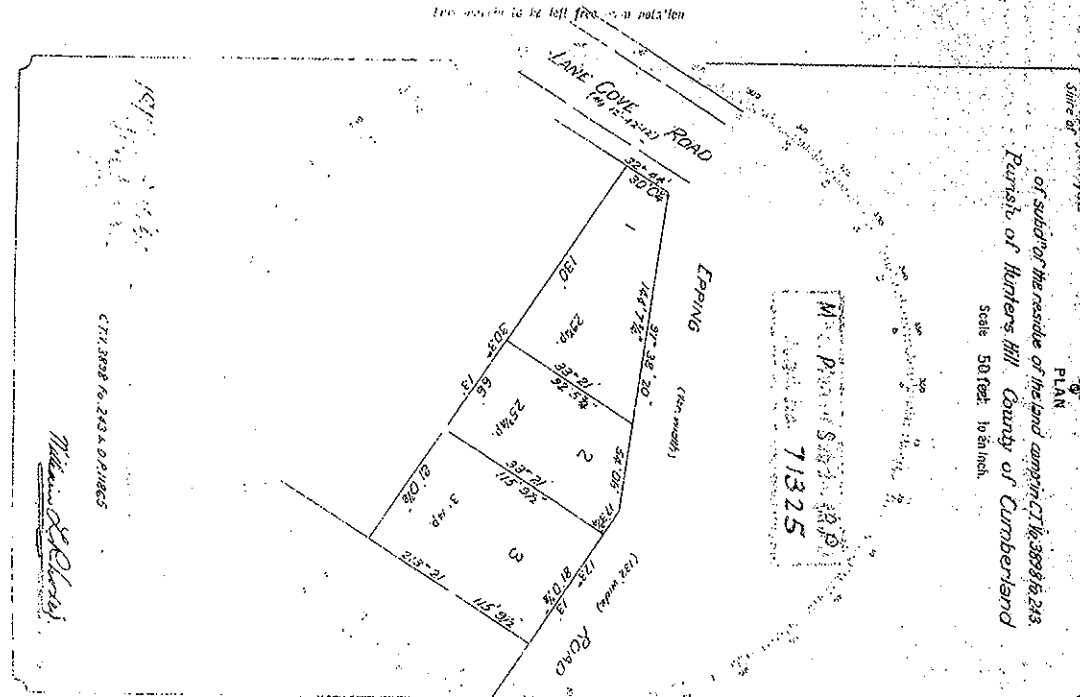
T685650 R4
Lot 10 D.P. 576484
1798847 111
DP 739172 R

F.P. 371325

1341883

PLAN
of the
Municipality of Ryde

of subd of the residue of the land comprised in C.T. 3698 to 243.
Parish of Hunters Hill. County of Cumberland
Scale 50 feet to an inch.



C.T. 3698 to 243 & O.P. 11665

Municipality of Ryde

This is the plan marked referred to in
Dated

to which is made reference in this plan

3/

LAWPOINT COMPUTER FOLIO SEARCH
FOLIO ID 3/371325

05/09/2003 12:14 Page 1

Lawpoint Pty Ltd certifies, for the purposes of Conveyancing (Sale of Land) Regulation 1995, that the information contained in this document has been provided in accordance with Sec 96B(2) of the Real Property Act 1900.

FOLIO: 3/371325

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
5/9/2003	12:15 PM	1	5/6/1991

LAND

LOT 3 IN DEPOSITED PLAN 371325
LOCAL GOVERNMENT AREA: RYDE
PARISH OF HUNTERS HILL COUNTY OF CUMBERLAND
TITLE DIAGRAM: DP371325

FIRST SCHEDULE

KARL HEINZ HEERS
NADIA HEERS
AS JOINT TENANTS
OF LOT 1 IN DP126668
ROADS AND TRAFFIC AUTHORITY OF NEW SOUTH WALES
OF LOT 16 IN DP246473 (T X599295)

SECOND SCHEDULE (5 NOTIFICATIONS)

1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2. N936770, T685650 PART OF THE LAND ABOVE DESCRIBED BEING LOT 16 IN DP246473 IS NOW PUBLIC ROAD
3. X599296 MORTGAGE TO WESTPAC BANKING CORPORATION
4. Z699342 MORTGAGE TO WESTPAC BANKING CORPORATION
- * 5. I403338 ***** FOLIO CANCELLED ***** SEE LOT 16 IN DP246473 & LOT 1 IN DP126668

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

CMIU

PRINTED ON 5/9/2003

PRINTED BY LAWPOINT ON 05 SEP 2003 AT 12:10pm FOR CMW REF CMIU

D. P. 246473

Registered: 944 11.12.1971

No. 5 Share 2 of my place in 3

Shareholders dated 5 - 9 - 1971

W E Scarsby

Shareholders dated January 1972, as recorded

No. 5 Share of the place of

Share owned by my Certificate No. of

Council Clerk

for 1972 Ryde

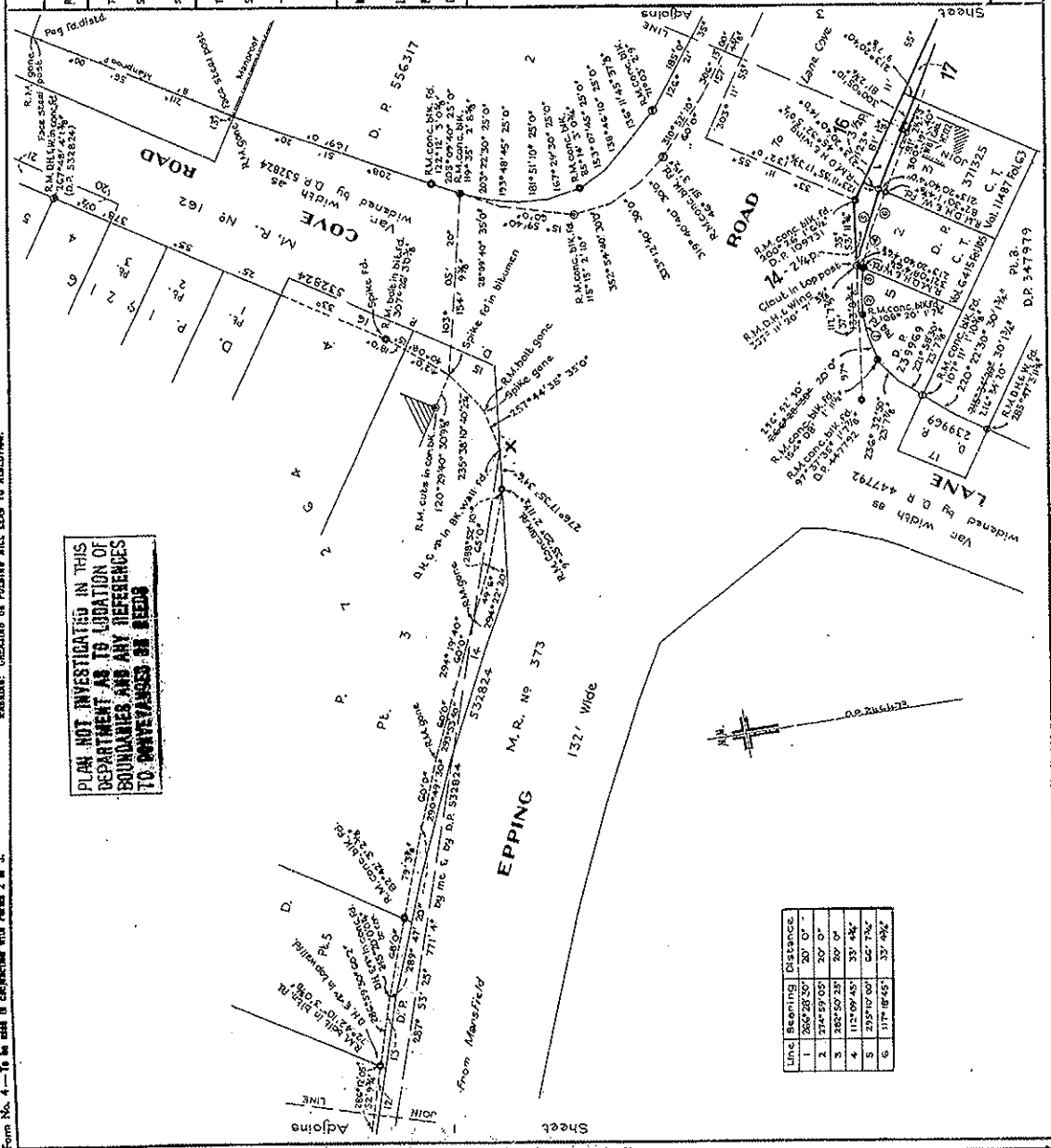
North Ryde

Hunters Hill

Cumberland

Scale: 60 ft. to 1 inch

PLAN NOT INVESTIGATED IN THIS
DEPARTMENT AS TO LOCATION OF
BOUNDARIES AND ANY REFERENCES
TO CONVEYANCES OR DEEDS



Line	Seeing	Distance
1	26° 28' 20"	20' 0"
2	27° 59' 05"	20' 0"
3	28° 50' 25"	20' 0"
4	11° 09' 45"	33' 44"
5	29° 51' 00"	55' 13"
6	11° 18' 45"	33' 44"

PLAN №0373.387 SSO275

WARNING. Please browsing only to appear in this space.

that Jack Hayward Watson, Registrar General for New South Wales, certifies that this negative is a photograph made as a permanent record of a document in my custody this 4th day of April, 1975.

Amendments or additions noted on plan
in Registrar General's Department.

17

2

7-11-70

14

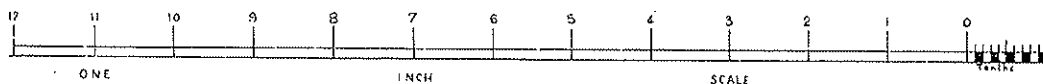
[illegible]

132.0

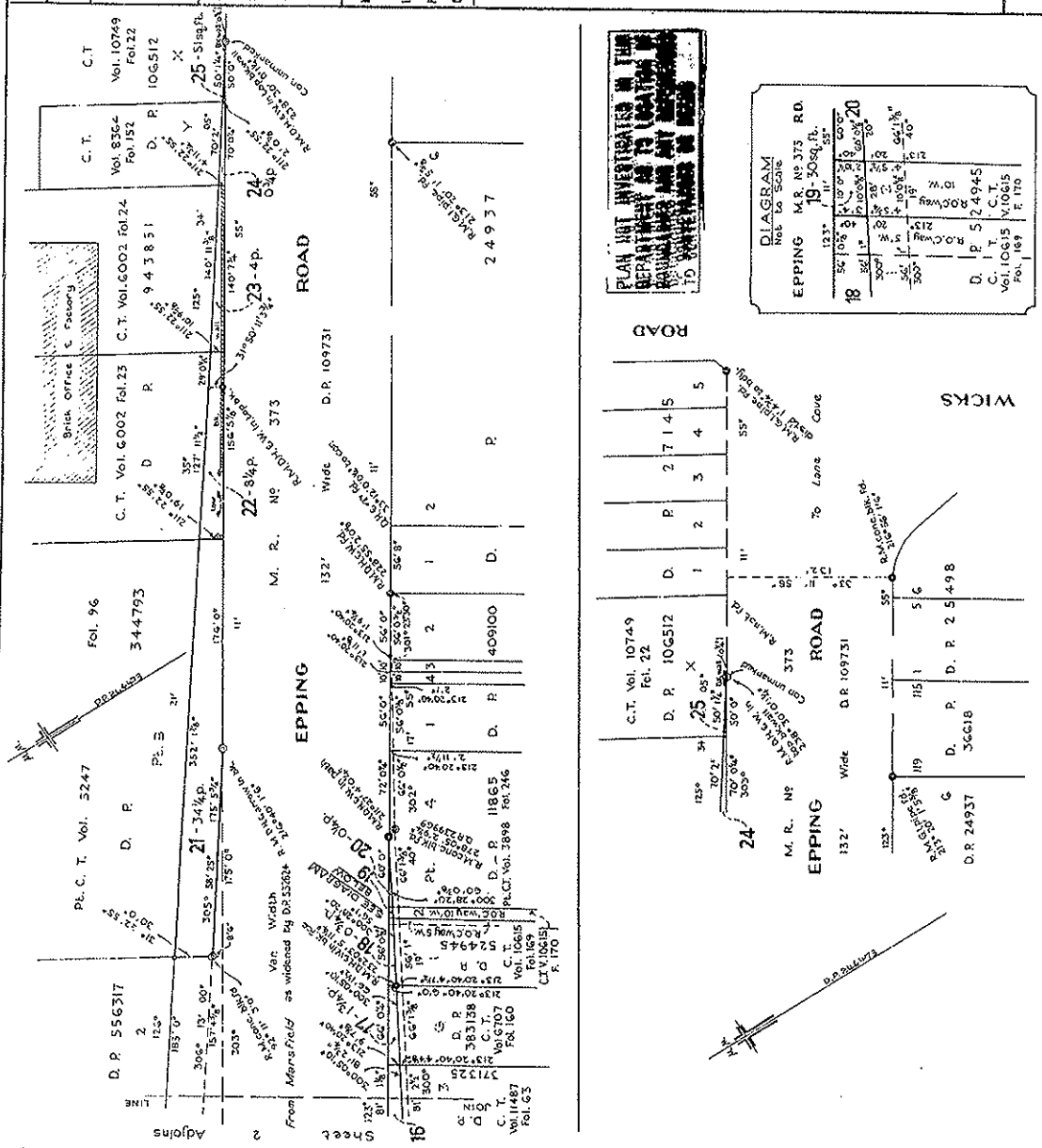
0-9

10

9/8



WARNING. Plan Drawing only to appear in this space.



PLAN NOT INVESTIGATING IN THE
HEREIN THEY ARE TO OBTAIN IN
TO OBTAIN IN THE

DIAGRAM
NOT TO SCALE

18 EPPING M.B. NO 373 RD.
19 3000 ft.

123° 1' 11" 58"

54° 10' 52" 100° 50' 20" 60° 50' 20" 40° 50' 20" 20° 50' 20" 0° 50' 20" 40° 50' 20" 60° 50' 20" 80° 50' 20" 100° 50' 20" 120° 50' 20" 140° 50' 20" 160° 50' 20" 180° 50' 20" 200° 50' 20" 220° 50' 20" 240° 50' 20" 260° 50' 20" 280° 50' 20" 300° 50' 20"

D. P. 524945
C. T. C. T.
Vol. 10615 V. 10615
Pct. 189 Pct. 189

Scale: 60 ft. 10 in. high

WARNING, Plan drawing only to appear in this spec.

1. Jack Hayward Watson, Registrar General for New South Wales, certify that this negative is a photograph made as a permanent record of a document in my custody this 4th day of April, 1952.

[Signature]

General location views



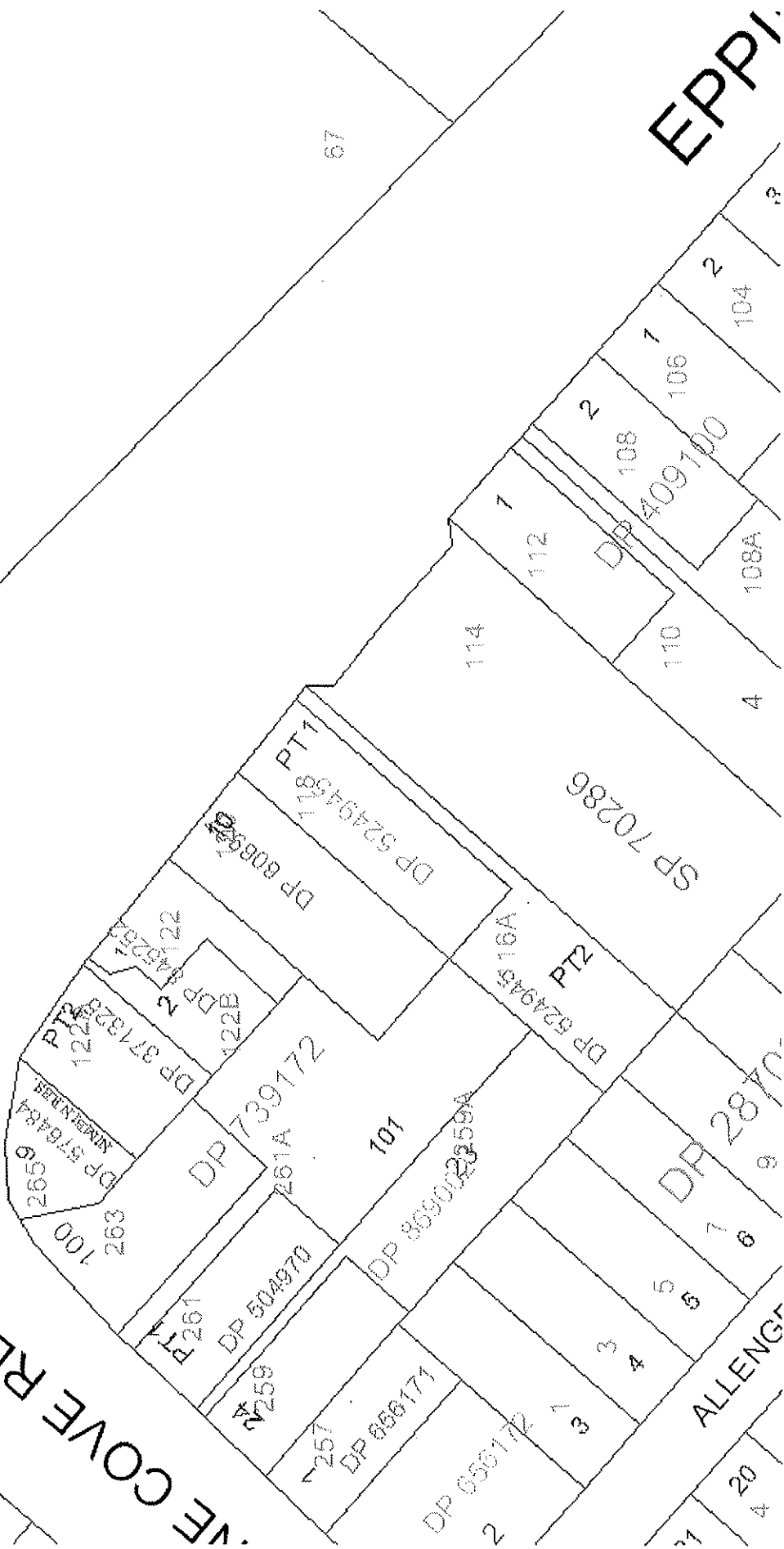
2

0

VE COVE RD

67

EPPI.



CH

14 APR 2008

City of Ryde

ABN 81 621 292 610

Civic Centre

1 Devlin Street Ryde

Locked Bag 2069

North Ryde NSW 1670

DX 8403 Ryde

cityofryde@ryde.nsw.gov.au

www.ryde.nsw.gov.au

TTY (02) 9952 8470

Facsimile (02) 9952 8070

Telephone (02) 9952 8222

Environmental Investigation Services
Attention: Cameron Hollands
115 Wicks Road
MACQUARIE PARK NSW 2113

10 April 2008

Dear Mr Hollands

7 Allengrove Crescent NORTH RYDE
Search Request No. 20/2008

Unfortunately this search request has turned up no results. The only record of any approval is a Building Application number in our register:

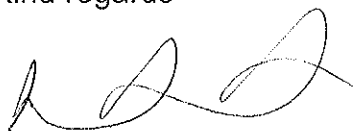
Building Application No. 74/1961, approved 25/1/61.

Unfortunately Council no longer has the plans or any other information relating to this Building Application.

I have requested our Financial Services department to refund the fee you paid; a cheque should follow soon.

If you have any questions, please contact me on 9952 8318.

Kind regards



Sarah Henderson
Technical Support Officer
Assessment Team

CH

14 APR 2008

City of Ryde

ABN 81 621 292 610

Civic Centre

1 Devlin Street Ryde

Locked Bag 2069

North Ryde NSW 1670

DX 8403 Ryde

cityofryde@ryde.nsw.gov.au

www.ryde.nsw.gov.au

TTY (02) 9952 8470

Facsimile (02) 9952 8070

Telephone (02) 9952 8222

Environmental Investigation Services
115 Wicks Road
MACQUARIE PARK NSW 2113

Attn: Cameron Hollands

11 April 2008

Dear Mr Hollands

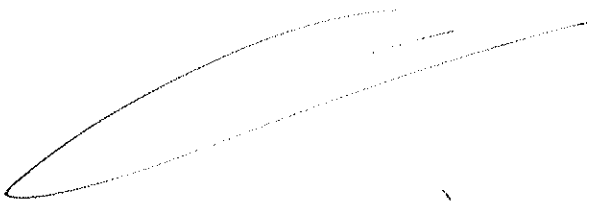
259 Lane Cove Road NORTH RYDE
Search Request No. 22/2008

Following your request regarding the above property, enclosed please find the following:

- Plans for Building Application No. 1029/85 with Conditions of approval dated 4 September 1985.
- Building Application No. 488/80 with Conditions of approval 16 April 1980.
- Site Plan for Development Application No. 1140/2004

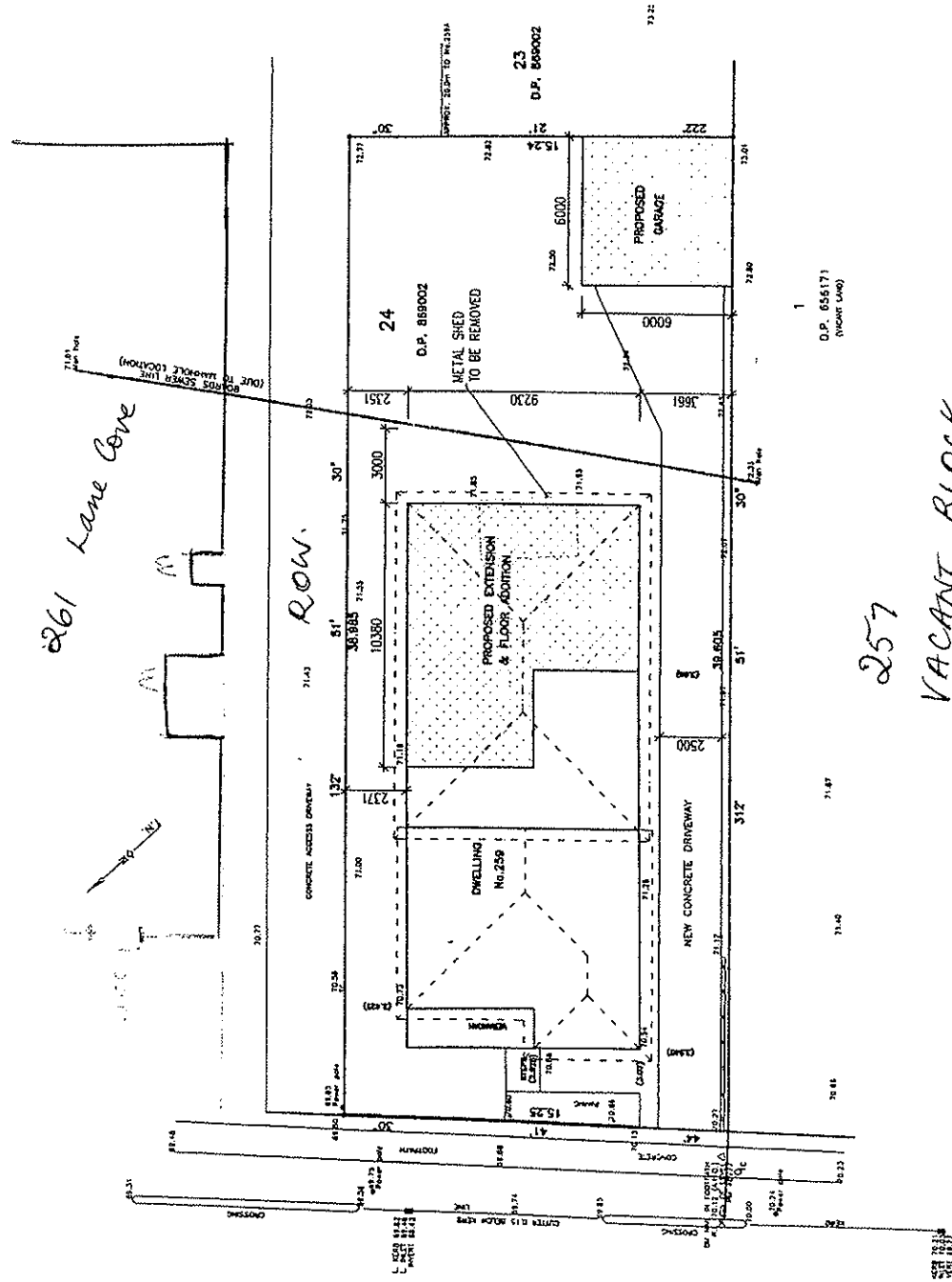
If you have any questions, please contact me on 9952 8186.

Yours sincerely



Elizabeth Blazevska
Technical Support Officer
Assessment Team

SITE AREA: 598.90m²
 EXISTING BRICK DWELLING: 111.85m²
 EXISTING VERANDAH: 7.77m²
 NEW GROUND FLOOR ADDITION: 79.62m²
 NEW 1ST FLOOR ADDITION: 118.33m²
 DRIVE WAY: 85m²
 NEW GARAGE: 36.00m²

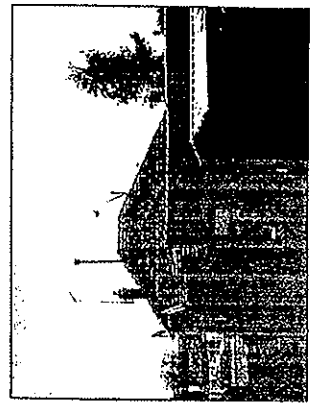


261 Lane Cove

ROW

257
VACANT BLOCK

PHOTO OF EXISTING



PROPOSED SITE PLAN 1:200



COMPANY: CALLDART Pty. Ltd. ARCHITECTURAL DESIGN & PLAN SERVICE 1/18-20 Victoria Parade, North Sydney, NSW 1585 033 063 Phone: 9976 3613, 0407 017 075	
PROJECT: PROPOSED FIRST FLOOR ADDITION No 259 LANE COVE ROAD NORTH RYDE	
CLIENT: MR. KAMEL	
COPYRIGHT: All plans and drawings are subject of copyright and any attempt or actual infringement by using, reproducing or copying some, wholly or in part, without prior written permission will result in legal proceedings.	
DATE: 22/04/2004	SCALE: 1:200
DRAWN: TONY SWEENEY	SHEET: 4 OF: 14
DRAWING No: MKTS_013	
ISSUE: 1	

RECEIVED

MUNICIPALITY OF RYDE

PAGE 1

BUILDING APPLICATION No. 1029/85

Local Government Act, 1919 (Ordinance 70)

THE TOWN CLERK,

Date 18.8.85

I, the undersigned, hereby make application for the approval of Council to plans and specifications lodged herewith of a building which I intend to erect and complete within 12 months from the date of approval.

Class of Building

☒ X ☐
 (Refer to Page 2 of this Form)

Type of Fire Resisting Construction

(Refer to Page 3 of this Form)

Purpose for which the building is to be used

Is Property situated in a Fire Zone?

State whether Primary or Secondary

Lot or Portion 3

Frontage

Depth

Street No. 259A

Street LANE COVE RD

Locality

NAME OF OWNER MR. LETTE J.H. & G.

Telephone No. 888 6510

ADDRESS 259A LANE COVE RD MTH RYDE

33 Permit No.

NAME OF BUILDER METRO AWNINGS

Telephone No. 759 9151

ADDRESS 12 BELMORE RD PUNCHBOWL

Licence No. 28015

Number and description of existing buildings on allotment 1 RES 1 GA

State whether this application is for a new building or alteration or additions to existing building

Are there any easements or drains passing through or over the subject property? No

State whether new or second-hand materials to be used NEW

Contract Price or Council's Valuation, \$ 680

Floor Area:

18

Type of Footings CONCRETE

Materials of outer walls NA

Details of Bricks: Compressive Strength

Transverse Strength

Av. Transverse Strength

Material of roof STEEL

Height of rooms

Method of ventilation

Method of lighting

Method of drainage TO EXIST BY OWNER

Is a septic tank installation proposed?

Particulars of closet accommodation

Floor Construction

Location of proposed closet

If concession clauses of Ordinance 70 have been used, quote clause numbers:

Is concrete footpaving or kerbing and guttering laid in front of the property?

Is concrete footpaving or kerbing and guttering damaged in front of the property?

Description of front fence

Description of side fence PAILING

Is a retaining wall proposed on the street alignment? No

N.B. --- Applicant MUST state whether owner/builder, architect or structural engineer BUILDER

Number of sets of plans and specifications lodged 2

12 BELMORE RD PUNCHBOWL 2196

(Signature of applicant and address)

FOR OFFICE USE ONLY

Fees paid by Builder

Building Fee

\$ 5.00

Fee Paid \$ 5.00

Date

22/8/85

Street Alignment Level Fee

Receipt No.

19112

Damage Deposit

Deposited Plan No.

504970

Old System Title

Assessment No.

312713

TOTAL FEE

\$ 5.00

Street No.

259A

Certificate of Classification No.

issued

Section 317A Certificate No.

issued



4 SEP 1985

IMPORTANT: PLEASE READ CAREFULLY PAGES 2 & 3 OF THIS DOCUMENT BEFORE ANSWERING THE QUESTIONS ON THIS APPLICATION FORM. THIS APPLICATION IS NOT ACCEPTABLE TO COUNCIL UNLESS FULLY COMPLETED, INCLUDING PAGE 3

INSTRUMENTS	DATE
V. C. BLOCK SITE	
3/10/8	
N/L	

4000

- 4 - SEP 1985

D. E. Rutledge
Principal Building Surveyor

Metro-Men

Telephone: 759-9151

DRAWN

T. GILDING

DATE

18.9.85

CUSTOMER

MR. LETTE

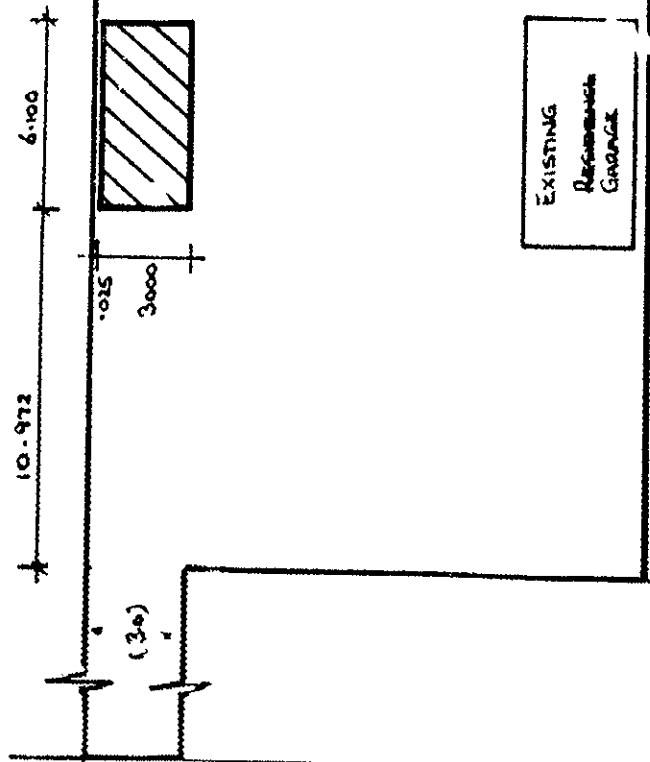
ADDRESS

259A LANE COVE RD

NTH RYDE

Q4254

LANE COVE ROAD



1029/85

Metro-Men

Telephone: 759-9151

DRAWN

T. GILDING

CUSTOMER

MR. LETTE

DATE

18.9.85

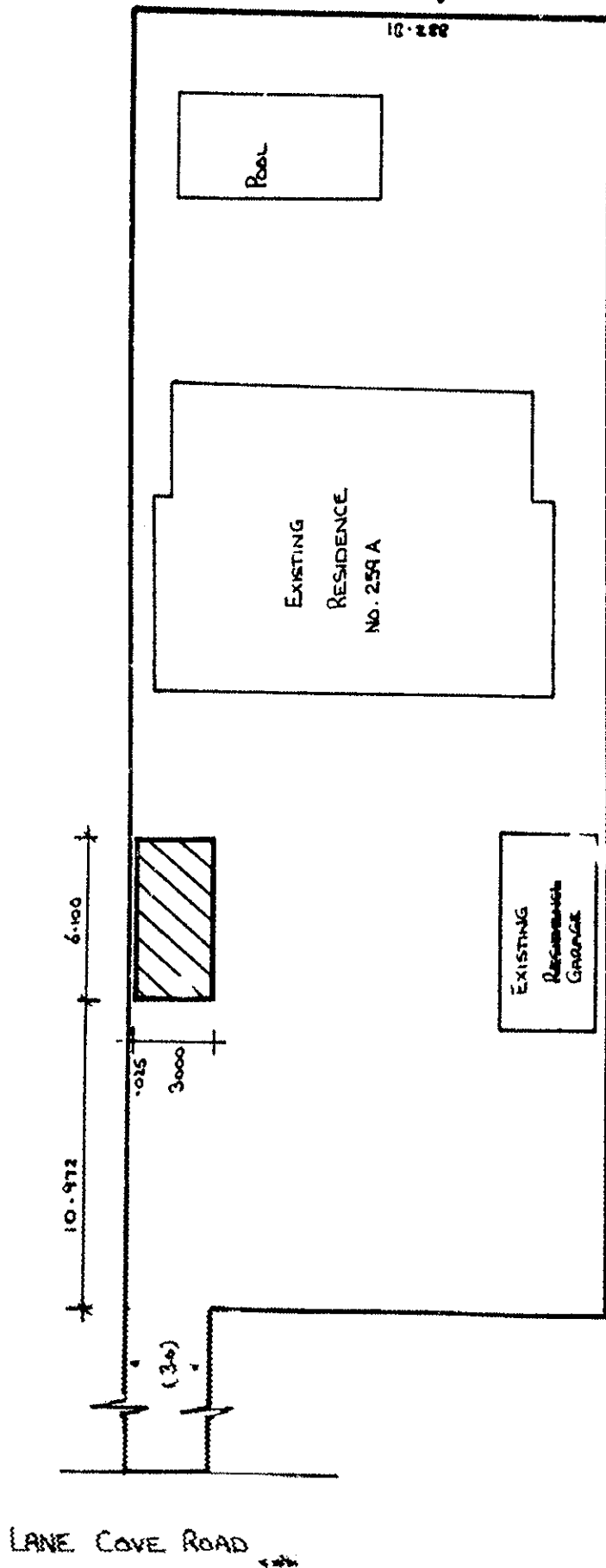
ADDRESS

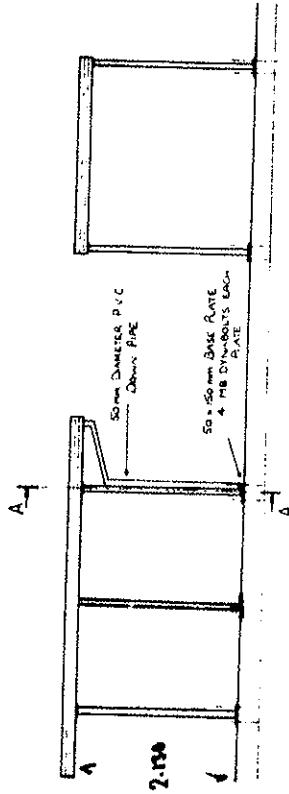
259A LANE COVE RD.

NTH RYDE

Q4254

1029/85





~~SCALE 1:50~~

ELEVATION

STRUCTURAL SECTIONS

PURLINS $51 \times 51 \times 26 \text{ mm}$ S-4.5
SIDE BEAMS (INSIDE GUTTER) LYSAGHTS $78 \times 34 \times 13 \text{ mm}$

SHS 4492 x 15 x 15
SECTION
COLUMNS

NT Box just
85 x 85 x 155 x 6mm Thick
WITH 45 x 45 x 2.6mm SHS

ROOF CLADDING
GUTTER

De 5, 974

Design of the Corport shown on this drawing is based on the following conditions in accordance with American Standards Code ASME, Part 1, 1982
 Root stress level : 0.25 x S_u
 Allowable stress : 0.25 x S_u
 Tensile strength : 3
 Allowable working stress : 3
 (Ref ASME Part 1, 1982) City : Igo
 Chartered Engineer City : Igo
 23 Thompson St, Sydney Phone 524 4535

8350 7th Ave
St. Louis, Mo.
63105

METRO AWNINGS
12 Belmont Road, Pembroke 2196
Telephone: 759-9151

5500 LONG x 3000 WIDE
FREE STANDING CARPORT.

DATE. 24.3.84

SCALE

DRAWING NO.
as shown

SIZE. A2

Tool Cuiding

BUILDING APPLICATION No. 488/80

Local Government Act, 1919 (Ordinance 70)

THE TOWN CLERK,

I, the undersigned, hereby make application for the approval of Council to plans and specifications lodged herewith of a building which I intend to erect and complete within 12 months from the date of approval.

Class of Building I (Refer to Page 2 of this Form) Type of Fire Resisting Construction --- (Refer to Page 3 of this Form)

Purpose for which the building is to be used DWELLING

Is Property situated in a Fire Zone? --- State whether Primary or Secondary ---

Lot or Portion PT 3 Frontage --- Depth --- Street No. 259A

Street LANE COVE RD Locality ---

NAME OF OWNER MR. & MRS. J. LETTE Telephone No. 8886510

ADDRESS 259A LANE COVE RD. NORTH RYDE Permit No. ---

NAME OF BUILDER JONES & FISHER PT. LTD. Telephone No. 681-1300

ADDRESS 33-35 THE PROMENADE YEMMORA Licence No. 5884

Number and description of existing buildings on allotment ONE DWELLING

State whether this application is for a new building or alteration or additions to existing building ADDITIONS

Are there any easements or drains passing through or over the subject property? N/A

State whether new or second-hand materials to be used NEW

Contract Price or Council's Valuation, \$ 8000 Floor Area: --- m²

Type of Footings R/CONCRETE Materials of outer walls BRICK

Details of Bricks: Compressive Strength: --- Transverse Strength --- Av. Transverse Strength ---

Material of roof COLOR BOND RIBBED SHEETING Weight of rooms 2250 PM

Method of ventilation SLIDING DOORS, WINDOWS Method of lighting FLUORESCENT

Method of drainage --- Is a septic tank installation proposed? N/A

Particulars of toilet accommodation N/A

Location of proposed closet N/A

If construction clauses of Ordinance 70 have been used, quote clause numbers: N/A

Is concrete footpaving or kerbing and guttering laid in front of the property? YES KERB & GUTTER ONLY

Is concrete footpaving or kerbing and guttering damaged in front of the property? NO

Description of front fence N/A

Description of side fence TIMBER PALINGS

Is a retaining wall proposed on the street alignment? N/A

N.B. — Applicant MUST state whether owner/builder, architect or structural engineer BUILDER

Number of sets of plans and specifications lodged 3

Ben Edwards 1. Marion N. Sam Halls
(Signature of applicant and address)

FOR OFFICE USE ONLY

Fees paid by --- Fee Paid \$142.00
Building Fee 22.00 Date 31/2/80
Inspection Fee --- Receipt No. 7521 & 7522
Street Alignment Level Fee --- Deposited Plan No. 504970
Damage Deposit 120.00 Old Systems Title ---
Assessment No. 12712

TOTAL FEE \$142.00 Street No. ---

Certificate of Classification No. --- issued Section 317A Certificate No. 3556 issued 1/2/80

IMPORTANT: PLEASE READ CAREFULLY PAGES 2 & 3 OF THIS DOCUMENT BEFORE ANSWERING THE QUESTIONS ON THIS APPLICATION FORM
THIS APPLICATION IS NOT ACCEPTABLE TO COUNCIL UNLESS FULLY COMPLETED, INCLUDING PAGE 3



488 / 80.

1. RUSSELL'S YOLKIES

- (b) All building work and building progress, temporary water closets shall every twenty centimeters or part of that operations.
- (b) A water closet shall be provided for each floor area of 1.1m² and a minimum width of 300mm and 2.100mm high, the door shall be of waterproof material, and shall be constructed so as to be watertight or such other material as may be approved by Council.
- (c) In every water closet a pan shall be connected to the sewerage system and shall be of the Metropolitan Council's Drainage Board.
- (d) The position of the closet shall be determined by Council's Building Inspector and/or the Metropolitan Council's Drainage Board.
2. **FOOTPAVING, HERBING AND GUTTERING**
- (a) The owner shall notify Council of the job.
- (b) A standard footpath and guttering shall be provided prior to the commencement of the owner and/or builder shall take all necessary precautions to ensure that the existing is in position.
3. **FENCES, RETAINING WALLS AND PATHS**
- (a) No fence on any street or along a street alignment shall be erected.
- (b) From and return fences shall be constructed.
- (c) Where a retaining wall is necessary, it shall be of post and paling construction, shall not exceed 1.830m in height, and shall be of post and paling construction.
4. **BOUNDARY FENCES**
- (a) Boundary fences shall be of post and paling construction.
- (b) Boundary fences shall not exceed 1.830m in height, and shall be of post and paling construction.
5. **SEWER PANS**
- Where 230mm x 230mm sewerage pipes are used, the lower portion shall be at least 300mm x 300mm on a 1:4 slope.
6. **DAMP-CROOSTS**
- (a) Damp-croosts shall be made of brick, stone or concrete, or of any material so to be dwarf walls in timber frame construction.
- (b) The area of masonry to be placed on the walls of a new structure and the walls of existing buildings shall be the standard specification approved by the Department of Local Government.
7. **DRAINAGE**
- (a) In the case of unsewered areas, the Council's Inspector before the commencement of drainage work.
8. **ROOF WATER**
- Roof water, surface and sub-surface drainage to be piped to street gutter or easements wherever possible, otherwise to be piped to an approved absorption trench positioned by Council's Inspector.
9. **ENCROACHMENT OF LAND**
- No owner or occupier shall erect any building or structure within the distance of the wall from any boundary line or the width of the space of the lot or the width of the street upon the specified width of the lot or the width of the street.
10. **SEWERAGE NOTIFICATION CASES**
- Building Notification Cases shall be returned to Council by the builder or owner giving all particulars of the following:
- (a) All buildings to be erected or altered.
- (b) All buildings to be altered or extended.
- (c) All buildings to be demolished.
- (d) All buildings to be converted into other uses.
- (e) All buildings to be used for other purposes.
- (f) All buildings to be used for other purposes.
11. **SEWERAGE, STORM OR RAIN CASE**
- Approval granted subject to the following:
- (a) For industrial or business use, the Council shall be notified of the proposed use of the premises.
- (b) For domestic use, the Council shall be notified of the proposed use of the premises.
12. **SEWERAGE**
- Any reference to a sewerage tank shall not be construed as meaning that such tank shall be used.
13. **SEWERAGE**
- A separate application, plan and a deposit of \$100 shall be made to Council.
14. **SEWERAGE**
- The owner is required to give Council notice in writing upon commencing that the garbage and/or sanitary services of the premises shall be provided and pay the necessary charges upon receipt of an account.
15. **SEWERAGE**
- Approved as necessary building for a period of two (2) years, and in the expiration of which the premises shall be demolished or destroyed by the owner, unless an extension is granted by Council.
16. **SEWERAGE**
- Owners and/or building shall ensure that the building is not affected by the installation of watercourses or drains within the jurisdiction of the authority having the right in the easement or watercourse.
17. **SEWERAGE**
- No owner shall be allowed to construct any building or structure on the premises and Council shall be notified before destruction of the building.
18. **SEWERAGE**
- This application is hereby submitted in the right of appeal to the Local Government Appeal Tribunal under the provisions of the Local Government Act, 1910, against any appealable decision of Council.
19. **SEWERAGE**
- This Building Application shall be approved by the Council subject to the above conditions, and any other which may be prescribed by the Council.
20. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
21. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
22. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
23. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
24. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
25. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
26. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
27. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
28. **SEWERAGE**
- The Council shall be notified of the proposed use of the premises and the Council shall be notified of the proposed use of the premises.
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16 APR 1960

Deputy designated by Council:
V. E. Rutherford
 Building Inspector

An. B. B.

MUNICIPALITY OF RYDE
Local Government (As Amended)
Ordinance 70

488 / 80.

BUILDING APPLICATION IN CONDITIONS OF APPROVAL

1. **BUILDER'S TOILETS:**
 - (a) All building work and building operations shall be carried out in a builder's water closet when work is in progress. Temporary water closets shall be provided at the rate of not less than one closet for every twenty persons or part of twenty persons engaged on such land or upon such building operations.
 - (b) A water closet shall be provided with a floor area of 1.1m² and a minimum width of 810mm and 2 100mm high internal doors, with a hinged door capable of being fastened both on the inside and outside, the roof shall be of waterproof material, and shall be constructed so as to ensure privacy. The floor shall be of concrete, or bricks and cement or such other materials impervious to water as may be approved by Council.
 - (c) In every water closet a pedestal pan, fixed with a seat, and a cistern shall be provided and connected to the sewerage mains, and with water laid thereto in accordance with the requirements of the Metropolitan Water Sewerage and Drainage Board.
 - (d) The position of the closet on the site shall be determined by Council's Building Inspector and/or the Metropolitan Water Sewerage and Drainage Board.
2. **FOOTPAVING, KERBING AND GUTTERING.**
 - (a) The owner shall notify Council in writing in the event of any existing damage to footpaving, kerbing and guttering prior to commencement of the job.
 - (b) A standard footpath and gutter crossing shall be provided prior to the commencement of demolition, site works or building operations. The owner and/or builder shall take all necessary precautions to ensure that any crossing facilities during the time that the temporary crossing is in position.
3. **FENCES, RETAINING WALLS AND PATHS**
 - (a) No fence on any street alignment is to be erected or path laid thereto, without first obtaining street alignment levels from the Municipal Engineer.
 - (b) Front and return fences shall not be of timber construction and not exceed 1066mm in height.
 - (c) Where a retaining wall is necessary to the street alignment of any property, the owner shall submit to the Municipal Engineer full details of such retaining wall.
4. **BOUNDARY FENCES:**
 - (a) Boundary fences shall not exceed 1 628mm in height, and shall be of post and paling construction.
 - (b) Boundary fences on side street alignment shall not exceed 1 628mm in height, and shall be of post and lapped paling construction.
5. **SLEEPER PIERS:**

Where 230mm x 230mm sleeper piers exceed 1 621mm in height, the lower portion shall be at least 352mm x 352mm on a base of two courses of 460mm x 460mm brickwork.
6. **DAMPCOURSES:**
 - (a) Dampcourses shall be inserted in walls constructed of brick, stone or concrete, or of any material readily permeable by water, and also in dwarf walls in timber frame construction, and in piers of all buildings. Where approved vermite shields are used on piers, a damp-proof course shall not be required in such piers.
 - (b) The access of moisture to the space between the walls of a new structure and the walls of existing buildings contiguous thereto, shall be prevented by flashings or other approved means.

NOTE: Damp-proof course material must comply with the standard specification approved by the Department of Local Government. Only materials which have been tested and approved under the standard specification shall be used as dampcourses.
7. **DRAINAGE:**
 - (a) In the case of unsewered areas, builders must consult Council's Inspector before the commencement of drainage work.
8. **ROOF WATER:**

Roof water, surface and sub-soil drainage to be piped to street gutter or easements wherever possible, otherwise to be disposed of on the site in an approved absorption trench positioned by Council's Inspector.
9. **ENCROACHMENT OF EAVES:**

(b) The access of moisture to the space between the walls of a new structure and the walls of existing buildings contiguous thereto, shall be prevented by flashings or other approved means.

7. DRAINAGE:

8. ROOF WATER:

9. ENCROACHMENT OF EAVES:

10. BUILDING NOTIFICATION CARDS:

(1) Steel reinforcement in portion, and footings to be poured --- Brick footings laid.

(b) Damp-proof course and 4 in. caps laid

(c) Waste water, roof water drainage lines and disposal trenches ready to be covered.

(d) Building completed.

11. GARAGES, SHEDS OR THE LIKE:

Approval granted subject to the following:—

(a) No industry or business being carried on that in;

(b) The garage is not to be used for purposes of domestic occupation.

12. SEPTIC TANKS

Any reference to a septic tank on the application shall not be construed as meaning that same has been approved.

A separate application, plans and fee of \$30 for a Septic Tank shall be made to Council.

13. SERVICES

The owner is required to notify Council (in writing) upon occupancy that the garbage and/or sanitary services (if unsewered) which are mandatory, are required, and pay the necessary charges upon receipt of an account.

14. 謝安石曰：「此書之妙，不可言喻。」

Approved as temporary building for a period of two (2) years only on the expiration of which the structure shall forthwith be removed or demolished by the owner, unless an extension is granted by Council.

14. **DECLARATION:**

EASEMENTS:
Owners and/or builders must ensure that buildings are not erected on easements or watercourses unless with the permission of the authority having the right to the easement or watercourse.

14. 下投式温盐深仪:

THREE:
No trees should be cut down or damaged unless dead, dying or dangerous and Council should be consulted before destructive action is taken.

12. APPEAL

APPEAL:
The applicant is hereby advised of the right of appeal to the "Local Government Appeals Tribunal" under the provisions of the Local Government Act, Part XII B-Appeals, against any appealable decision of Council.

decision of Council.
This Building Application has been approved by the undersigned subject to the above conditions, and any other which may be specified, under the Provisions of the Local Government Act, 1919 (as amended), and Ordinance, hereto, and in accordance with the powers delegated by Council under Section 530A of the said Act.

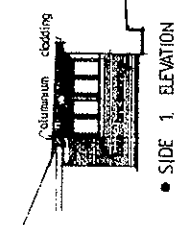
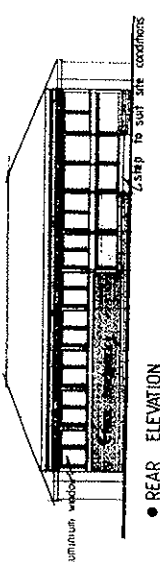
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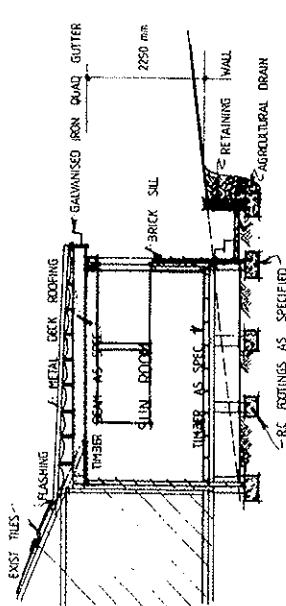
D. E. Rutherford
Building Surveyor

References

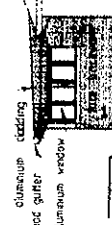
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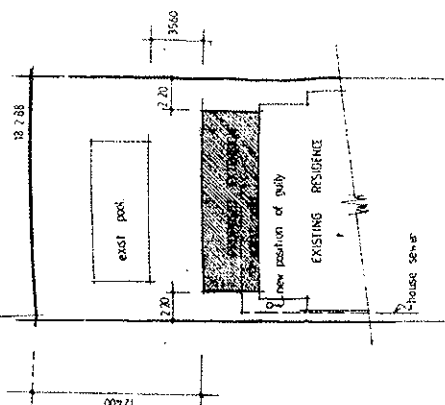
• SECTION A-A Scale 1:50



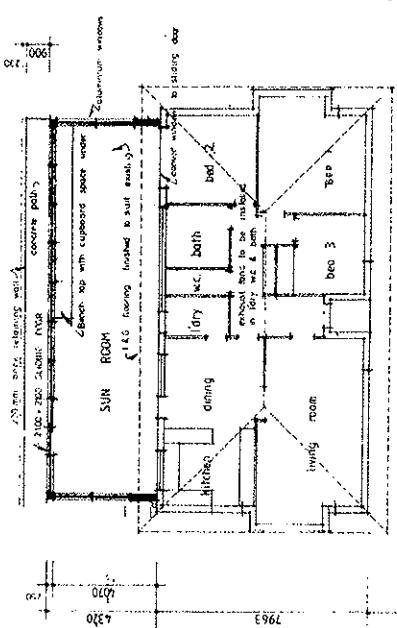
• SIDE ELEVATION 2



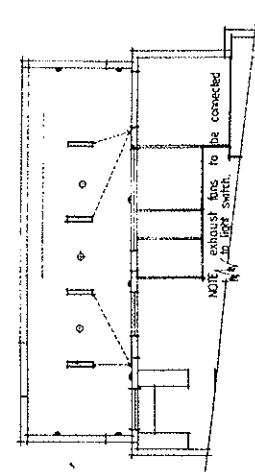
• SITE PLAN Scale 1:200



NOTE: All dimensioning to be checked & verified on site prior to commencement of any building operations



• ELECTRICAL LAYOUT Scale 1:100



ELECTRICAL SCHEDULE

—	FLUORESCENT
•	DOUBLE POWER POINT
○	ELECTRICAL PROVISION FOR CEILING FAN
x	LIGHT SWITCH

488/80

PROPOSED EXTENSION TO RESIDENCE
AT 259 A LANE COVE RD. NORTH RYDE
FOR MR & MRS LETTE

JONES & FISHER PTY. LTD.
33 THE PROMENADE YENORRA
PHD (6811300

ITEM	DESCRIPTION	RECD	MATERIAL	QUANTITY	PAID	DATE	ISSUED	DATE	ISSUED	DATE
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11 APR 2008

City of Ryde

ABN 81 621 292 610

Civic Centre

1 Devlin Street Ryde

Locked Bag 2069

North Ryde NSW 1670

DX 8403 Ryde

cityofryde@ryde.nsw.gov.au

www.ryde.nsw.gov.au

TTY (02) 9952 8470

Facsimile (02) 9952 8070

Telephone (02) 9952 8222

Environmental Investigation Services
Attn: Cameron Hollands
115 Wicks Road
MACQUARIE PARK NSW 2113

9 April 2008

Dear Mr Hollands

122 Epping Road NORTH RYDE
Search Request No. 21/2008

I was allocated that part of your request which asked for an information search to be conducted regarding the above property. After an extensive search of computerised, microfilm and paper based records please find enclosed the following:

- A copy of the front page of Building Application Number 573/93, Conditions of Approval and plans associated with this application.
- A copy of the front page of Building Application Number 773/89, Conditions of Approval and plans associated with this application.
- A copy of a survey plan dated 18 April 1983.
- A copy of the front page of Building Application Number 1863/76 and associated plans.
- Other related material that may be of interest.

If you have any questions, please contact me on 9952 8188.

Yours sincerely



Daniel Woolcock
Technical Support Officer
Assessment Team



T. STARR

REGISTERED LAND AND ENGINEERING SURVEYOR

T. STARR, M.I.S., AUST.
Incorporating
G. T. SMITH & STARR
H. K. WRIGHT & CO.

REGISTERED BY
THE INSTITUTE OF SURVEYORS, AUSTRALIA
FOR THE USE OF ITS MEMBERS ONLY

~~33 HEOPE AVENUE~~
~~SOUTH STRATHFIELD 2137~~

Phone ~~342-1075~~

MY REF.: 3716/83

YOUR REF.:

Postal Address:
P.O. BOX 249
STRATHFIELD, 2135

18th April 1983

Messrs. John Webb, Symons & Co.
P.O. Box 654
MANLY, 2095



Dear Sirs,

Re: Satz from Watkins

As instructed by you I have surveyed the whole of the land contained in Certificate of Title Volume 11487 Folio 63 being Lot 3 in Deposited Plan 371325 (formerly M.P.S.(R.P.) 71325) situate North Ryde in the Municipality of Ryde, Parish of Hunters Hill, County of Cumberland and shown edged red on the sketch below.

The subject land has a frontage of 24.76 metres to Epping Road. The remaining dimensions are as shown on the sketch below.

I find standing upon the subject land a fibro and weatherboard cottage roofed with tiles together with a fibro garage and an inground swimming pool. The property is known as No.122 Epping Road.

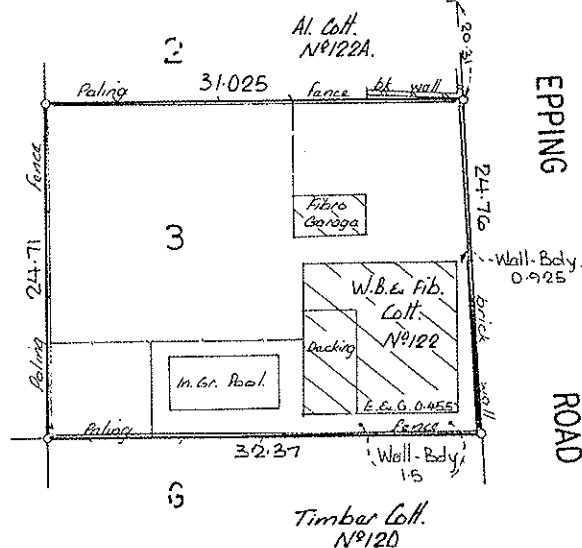
The position of the cottage complies with the relevant provisions of the Local Government Act 1919 as amended in respect of the distances of the walls and eaves and gutters from the boundaries.

LANE COVE ROAD

Apart from any fencing irregularities there are no other apparent encroachments of note by or upon the subject land.

Yours faithfully,

T. Starr.



MUNICIPALITY OF RYDE

PAGE 1

BUILDING APPLICATION No. 1863/76

Local Government Act, 1919 (Ordinance 70)

THE TOWN CLERK,

Date 21/12/76

I, the undersigned, hereby make application for the approval of Council to plans and specifications lodged herewith of a building which I intend to erect and complete within 12 months from the date of approval.

Class of Building INGROUND FIBREGLASS SWIMMING POOL Type of Fire Resisting Construction N/A
(Refer to Page 2 of this Form) (Refer to Page 3 of this Form)

Purpose for which the building is to be used SWIMMING POOL

Is Property situated in a Fire Zone? N/A State whether Primary or Secondary N/A

Lot or Portion 3 Frontage 30m Depth 31m Street No. 122

Street EPING ROAD Locality NTH. RYDE

NAME OF OWNER W. WATKINS

Telephone No.

ADDRESS 122 EPING RD., NTH. RYDE

Permit No.

NAME OF BUILDER R. BOUGHTON

Telephone No.

ADDRESS 120B JAMISON RD., PENRITH

Licence No. N/A

Number and description of existing buildings on allotment RESIDENCE, GARAGE

State whether this application is for a new building or alteration or additions to existing building NEW

Are there any easements or drains passing through or over the subject property? NO

State whether new or second-hand materials to be used NEW

Contract Price or Council's Valuation 3000-00 Floor Area: 29.65 m²

Type of Footings Materials of outer walls

Details of Bricks: Compressive Strength: Transverse Strength: Av. Transverse Strength:

Material of roof Height of rooms

Method of ventilation Method of lighting

Method of drainage SEWER Is a septic tank installation proposed? NO

Particulars of closest accommodation

Location of proposed closet

If concession clauses of Ordinance 70 have been used, quote clause numbers:

Is concrete footpaving or kerbing and guttering laid in front of the property? YES

Is concrete footpaving or kerbing and guttering damaged in front of the property?

Description of front fence

Description of side fence 5ft. paling

Is a retaining wall proposed on the street alignment? NO

N.B. — Applicant MUST state whether owner/builder, architect or structural engineer Builder

Number of sets of plans and specifications lodged TWO

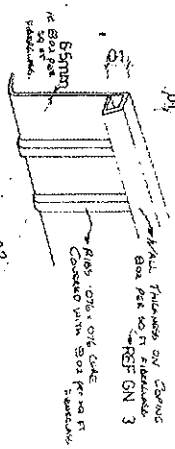
R. Boughton
120B JAMISON RD.
PENRITH
(Signature of applicant and address)

FOR OFFICE USE ONLY

Fees paid by <u>Builder</u>	Fee Paid <u>\$92.00</u>
Building Fee <u>12.00</u>	Date <u>21.12.76</u>
Inspection Fee	Receipt No. <u>33657-8</u>
Street Alignment Level Fee	Deposited Plan No. <u>11865</u>
Damage Deposit <u>80.00</u>	Old Systems Title
	Assessment No. <u>8267</u>
TOTAL FEE <u>\$92.00</u>	Street No. <u>122</u>

IMPORTANT: PLEASE READ CAREFULLY PAGES 2 & 3 OF THIS DOCUMENT BEFORE ANSWERING THE QUESTIONS ON THIS APPLICATION FORM. THIS APPLICATION IS NOT ACCEPTABLE TO COUNCIL UNLESS FULLY COMPLETED, INCLUDING PAGE 3





- DESIGN OF POOL IN MOST CRITICAL CONDITION
IE. EMPTY STATE

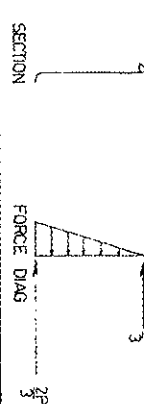
1944-1945

$$P = \frac{W \cdot H^2}{2} \left(\frac{1 - \sin \phi}{1 + \sin \phi} \right)$$

$$H = \text{Queen Height}$$

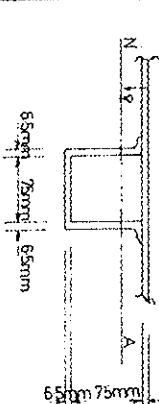
$$W = \text{Unit weight of concrete} = 2005 \text{ kg/m}^3$$

$$\phi = \text{Soil angle of friction} = \text{State 12:1}$$



LA - SIDEWALL RIB SECTION

PITCH BETWEEN RIBS - 0.7



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575	44	42900.0
572	84.75	48477.0
2097		10166.5

7-711000
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330	4580.0	97.36.6
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625	4580.0	97.36.6
630	4580.0	97.36.6
635	4580.0	97.36.6
640	4580.0	97.36

$P = 2085 \times 18.18 \times 0.045 \times 9.8066$
 2×155
 $= 961657 \text{ N/m}$
 Balance and supports used
 M - 0128 Ph.
 - 0128x961657x18
 - 2215.66 N.m/m
 $\delta C = 2215.66 \times 0.7 \times 70.59 \times 10^{-6}$
 4670552.28

PLAN OF SECTION

FORCE DIAG

Record 1120-0200 is at the
 Colorado in N. 15m
 is increasing volume, volume of bottom half
 $P = \frac{2085 \times 15 \times 15 \times 0.45 \times 9.8055}{2 \times 155}$
 $\approx 6678.18 \text{ N/m}$
 $M = \frac{6678.18 \times 7}{12}$

$$R = \frac{208 \times 18 \times 18 \times 45 \times 98000}{3 \times 2 \times 155} = 320552 \text{ N/m}$$

$$R = \frac{208 \times 18 \times 18 \times 45 \times 98000}{3 \times 2 \times 155} = 222606 \text{ N/m}$$

Assume zero surface value of shear force unit stress = 0

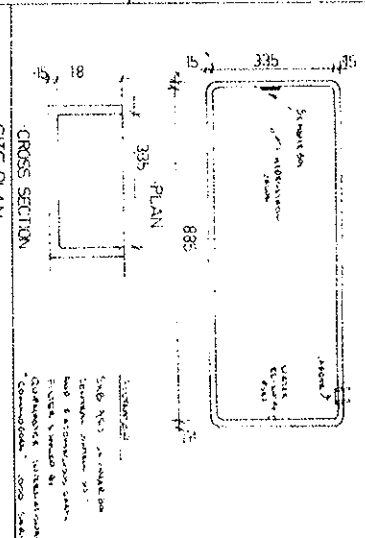
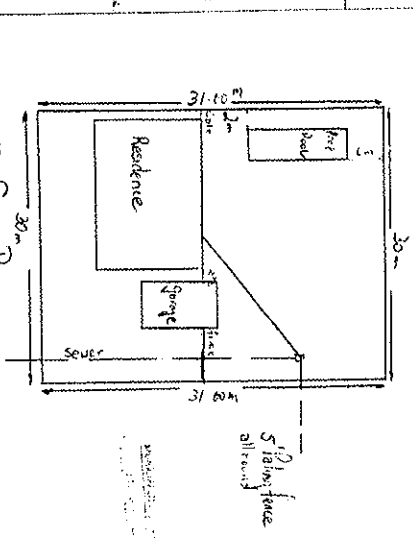
$$M = 24852 \times 889 \times 885 = 3138404 \text{ N-m}$$

M-KED- A-
 $D = \sqrt{\frac{Consolid\ B}{75 \times 185}}$
 $D = 480\text{mm}$
 $A = 31383.04$
 $A = 1323 \times 480$
 $A = 49.19\text{mm}^2$

[illegible]
$$R = \frac{0.667 \times 2085 \times 18 \times 18 \times 0.45 \times 98065}{2 \times 155}$$
[illegible][illegible]

R WILSON
B.Sc(ENG)-ENGINEER

COMPUTATIONS PREPARED BY
R. WILSON B.Sc. (ENG)
11 DALE ST BROOKVALE, NSW
FIBERGLASS INTERNATIONAL PTY LTD

[illegible]

Stained
all round

KINGFISHER POOLS PTY LTD
7 REGENT CR MOOREBANK, NSW
PROPOSED SWIMMING POOL FOR

Mike Mack Whitte's
122 Sparks Road
North Ridge, N.S.W.

B/A No.
1363/70

BUILDING DEPT.

MUNICIPALITY OF RYDE

BUILDING APPLICATION No. **773/89**

Local Government Act, 1919 (Ordinance 70)

THE TOWN CLERK,

Date 7 Aug '89

I, the undersigned, hereby make application for the approval of Council to plans and specifications lodged herewith of a building which I intend to erect and complete within 12 months from the date of approval.

Class of Building 1 (1) Type of Fire Resisting Construction N/A
(Refer to Page 2 of this Form) (Refer to Page 3 of this Form)Purpose for which the building is to be used PRIMARY DWELLINGIs Property situated in a Fire Zone? 3 State whether Primary or Secondary 12Lot or Portion 3 Frontage 12 Depth 12 Street No. 12Street 122 Epping Rd Locality NORTH RYDENAME OF OWNER KARL & NADA HEERS Telephone No. 888 3180ADDRESS 122 EPPING RD Permit No. NORTH RYDE Post Code 215NAME OF BUILDER O/S Telephone No. ADDRESS Licence No. DWELLING Post code Number and description of existing buildings on allotment 1 SINGLE STORY W.B. 2 FIB. CORRUG.

Is this application for a new building or alteration or additions to an existing building?

ALTERATION & ADDITIONS TO DWELLINGAre there any easements or drains passing through or over the subject property? YESState whether new or second-hand materials to be used NEW / SECOND HANDContract Price or Council's Valuation, \$ 12,000 Floor Area: 74 28 m²
(Clause 9.1(2) Ordinance 70)Material of Footings TIMBER Material of Outer Walls TIMBERMaterial of roof ALUMINIUM METAL Material of Floor TIMBERMethod of ventilation WINDOW / DOOR Method of lighting Is the sewer available to the property? YESIs a septic tank installation proposed? NOHeight of rooms 2400 mmStormwater to be discharged to If concession clauses of Ordinance 70 have been used quote clause numbers: Is concrete footpaving or kerbing and guttering laid in front of the property? YESIs concrete footpaving or kerbing and guttering damaged in front of the property? NODescription of front fence TRUNK GATEDescription of side fence TIMBER PANELEDIs a retaining wall proposed on the street alignment? NO

N.B. Applicant MUST state whether owner/builder, architect or structural engineer

OWNER / BUILDERNumber of sets of plans and specifications lodged 2

(Signature of applicant and address)

FOR OFFICE USE ONLY

Fees paid by owner
Building Fee \$ 46.00
Street Alignment Level Fee \$
Damage Deposit \$ 245.00TOTAL FEE \$ 291.00Certificate of Classification No. Section 317AE Certificate No. Requirements of Building Services Corporation: ☐Requirements of Long Service Leave Corporation: ☐

Building Application Approved by Building Surveyor

Fee Paid \$ 291.00
Date 8.8.89
Receipt No. 10414 + 10915
Deposited Plan No. 11865
Assessment No. 1.08267
Street No. 122 EppingIssued /19Issued /19

Approved by Council

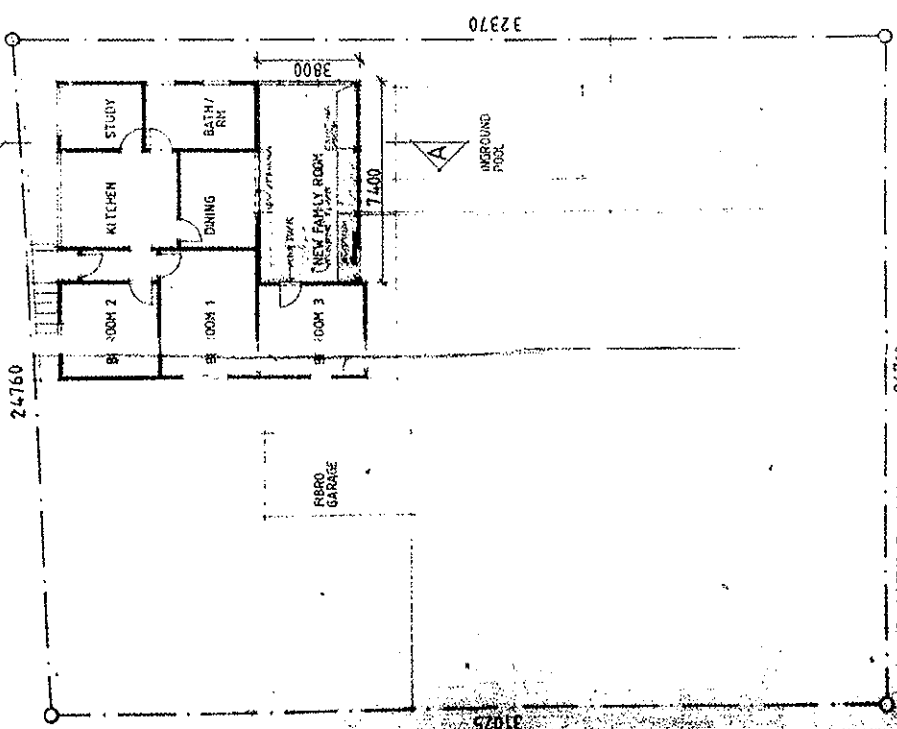
IMPORTANT: PLEASE READ CAREFULLY PAGES 2 & 3 OF THIS DOCUMENT BEFORE ANSWERING THE QUESTIONS ON THIS APPLICATION FORM.
THIS APPLICATION IS NOT ACCEPTABLE TO COUNCIL UNLESS FULLY COMPLETED, INCLUDING PAGE 3.

/19

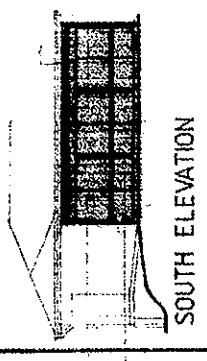
/19

see 30/8/89

122 EPPING ROAD NORTH RYDE



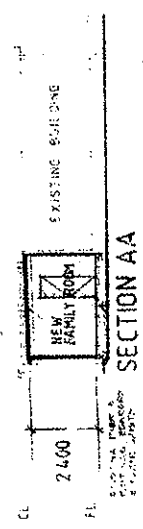
PLAN & SITE PLAN



SOUTH ELEVATION



EAST ELEVATION

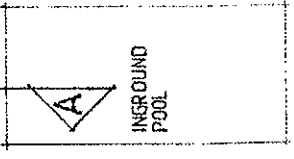
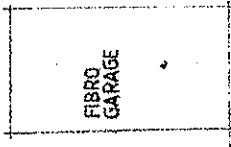
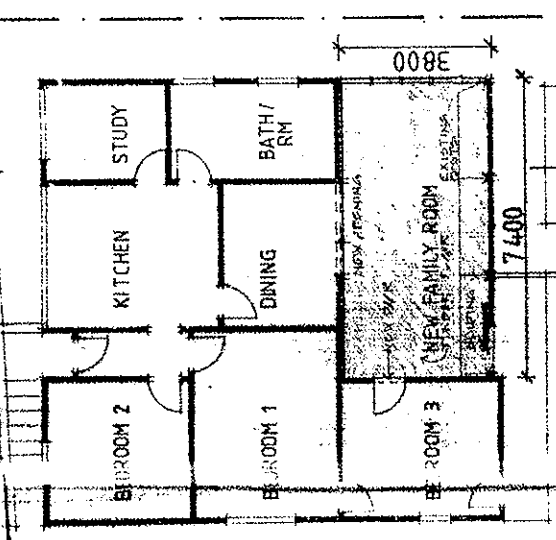


SECTION AA

773/89

EPPING ROAD

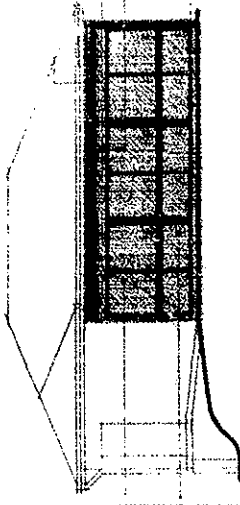
24760



32370

24710

PLAN & SITE PLAN

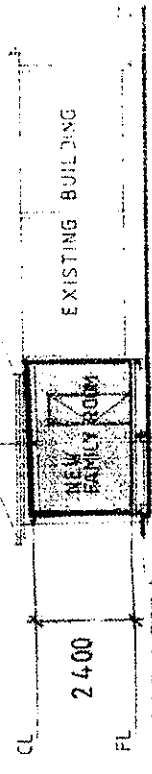


EXISTING GLASS
DOOR
PREF ABANDON
FANCL WINDING

EXISTAL DECK ROOF
& GUTTING
GUTTER &
DOWNPIPE
SLAPPING TO
MATCH EXISTING

EAST ELEVATION

CONVERT EXISTING PORCH AREA
STRUCTURE INTO NEW FAMILY ROOM



EXISTING BUILDING

NEW FAMILY ROOM

2400

EXISTING FLOOR &
FUTURING PLANS
& FUTURE JOISTS

773/89

BUILDING APPLICATION No.
CONDITIONS OF APPROVAL

- 1. WATER CLOSET:**
- (a) Every building and building site must have a builder's water closet when work is in progress.
 - (b) A water closet shall be provided for every person or part of twenty persons engaged on a building site.
 - (c) A water closet shall be provided with a minimum floor area of 1.1 m² and a minimum water supply of 1.1 m³ per day.
 - (d) A door capable of being fastened both on the inside and outside, the roof shall be of concrete, or bricks and cement or such other materials impervious to water.
 - (e) In every water closet a pedestal pan, fitted with a seat, and a cistern shall be provided in accordance with the requirements of the Metropolitan Water, Sewerage and Drainage Board.
 - (f) The position of the closet on the site shall be determined by Council's Building Surveyor.
- 2. FOOTPATH, KERBING AND GUTTERING:**
- (a) The owner shall notify Council in writing in the event of any existing damage to footpath, kerbing or guttering.
 - (b) A standard footpath and gutter crossing shall be provided prior to the commencement of work on the site.
 - (c) The owner shall take all necessary precautions to ensure the safety of all parties during the construction of the site.
- 3. FENCES, RETAINING WALLS AND PATHS:**
- (a) No fence on any street alignment is to be erected, or path laid thereto, without first obtaining the approval of Council.
 - (b) Where a retaining wall is necessary to the street alignment of any property, the owner shall submit a plan of the wall to Council for approval.
- 4. BOUNDARY FENCES:**
- (a) Boundary fences should not exceed 1 800mm in height, and shall conform with Council's Fencing By-law.
- 5. SLEEPER PIERS:**
- (a) Where 230mm x 230mm sleeper piers exceed 1 524mm in height, the lower portion shall be at least 152mm in diameter.
- 6. DAMPCOURSES:**
- (a) Dampcourses shall be inserted in walls constructed of brick, stone or concrete or of any material used in masonry construction, and in piers of all buildings.
 - (b) The excess of moisture to the space between the walls of a new structure and the walls of existing buildings shall be removed by other approved means.
 - (c) NOTE: Damp-proof course material must be a material approved by the Department of Local Government under Ministerial Specification No. S, A5 INT. 326 and A5 INT. 327, shall be used as damp-proof course.
- 7. ROOF WATER DRAINAGE:**
- (a) Roof water, surface and subsoil drainage to be piped to street gutter or easements wherever possible, otherwise to French drain positioned by Council's Building Surveyor.
- 8. ENCROACHMENT OF EAVES:**
- (a) Eaves or attachments shall be maintained at a distance of 675mm or 1 125mm, as the case may be from any boundary, as required by a specific resolution of Council.
 - (b) Building Certificates will not be issued where encroachments occur as a result of non-compliance with the above, unless the owner is found necessary.
- 9. BUILDING NOTIFICATION CARDS:**
- (a) Building Notification Cards supplied by the Council shall be returned to Council by the builder or owner given to the owner at the time of the building.
 - (b) Damp-proof course and ant caps laid.
 - (c) Where water, roof water drainage lines and disposal trenches ready to be covered.
 - (d) Building completed.
 - (e) NOTE: No building shall be occupied or used prior to the final inspection by the Council's Building Surveyor.
- 10. GARAGE, SHED OR THE LIKE:**
- (a) Approval granted subject to the following:-
 - (b) No industry or business being carried on therein.
 - (c) The garage is not to be used for purposes of domestic occupation.
- 11. SEPTIC TANKS:**
- (a) No septic tank on the application shall not be constructed or meaning that same has been approved.
- 12. WASTE MATERIALS:**
- (a) The burning of waste materials is strictly prohibited. "On-the-spot" infringement notices may be issued by Council's Building Surveyor.
 - (b) \$200.00
- 13. GARBAGE AND/OR SANITARY SERVICES:**
- (a) The owner is required to notify Council (in writing) upon occupancy that the garbage and/or sanitary services (if sewerage is not available) are required, and pay the necessary charges upon receipt of an account.
- 14. BUILDERS' SHED:**
- (a) Any shed or temporary building during the construction of the development only, on the completion of which the shed or temporary building shall be removed from the site.
- 15. EASEMENTS:**
- (a) Owners and/or builders must ensure that buildings are not erected on easements or watercourses unless with the permission of Council.
- 16. TREES:**
- (a) No tree should be cut down or damaged unless dead, dying or dangerous and Council should be consulted before destruction of any tree.
- 17. APPEAL:**
- (a) The applicant is hereby advised of the right of appeal to the "Land and Environment Court" under the provisions of the Local Government Act, 1919 (as amended), Division 4C.
 - (b) Appeal against any appealable decision of Council.
- 18. GUTTERING:**
- (a) If a gutter crossing does not exist, the applicant and/or owner shall make application to Council for a permit to install a gutter crossing.
 - (b) NOTE: Where the land/driveway falls to the street, an intercepter drain is to be provided within the property. This drain is to be a minimum of 150mm wide and is to be installed in the street table drain or Council's piped drainage system.
- 19. TIMBER FRAMING:**
- (a) Timber framing to comply with the provisions of Ordinance No. 70, Part 41.
- 20. LIGHTING AND VENTILATION:**
- (a) Lighting and ventilation to comply with the provisions of Ordinance No. 70, Part 50, Divisions 1 and 2.
- 21. FLOORING:**
- (a) The ground floor level of the building will be at sufficient height above the existing ground level to prevent the flooding of the building during periods of exceptionally heavy rainfall.
- 22. DIVISIONS:**
- (a) Division not to be used or adapted for separate occupation in two or more parts.
- 23. REINFORCED CONCRETE AND STRUCTURAL STEEL WORK:**
- (a) Working Structural Engineer's certified details/certification of reinforced concrete work and structural steel work to be submitted to Council and approved before work commences.
 - (b) Ordinance No. 70, Part 40, Ordinance 70, Clause 8.2 (a) and (b) are applicable.
- 24. GLAZING MATERIALS:**
- (a) The provisions of Ordinance No. 70, Clauses 53.4 (1) and (2) (glazing materials) are to be complied with. Particular attention to be paid to the requirements listed in Table 53.4.

This Building Application has been approved by the undersigned subject to the above conditions, and any other which may be specified under the Local Government Act, 1919 (as amended), and Ordinances thereto, and in accordance with the powers delegated by Council under Section 536A of the said Act.

30 AUG 1989

Date of Approval

B. Smagg
Principal Building Surveyor
P. J. Langan



City of Lifestyle Technology®
Ryde City Council
Civic Centre, Devlin Street
PO Box 23, Ryde NSW 2112
DX:8403, Ryde
Facsimile 952 8070
Telephone 952 8222

Mrs N Heers
122 Epping Road
North Ryde NSW 2113

Development Consent under Environmental Planning and Assessment Act, 1979

Consent No: 12/93

Consent Date: 7 April 1993

Ryde City Council as the consent authority under the provisions of the Environmental Planning and Assessment Act, 1979 hereby consents to the development set out in Schedule A of this Consent, under Section 92 of the Act subject to the conditions specified in Schedule B.

This Consent does not relieve the applicant of the obligation to obtain further consents with reference to engineering, health and/or building regulations or any other Acts, including the Local Government Act, 1919, as amended.

The failure to observe any condition of approval which is set out in this Consent is an offence and if any condition is not complied with, proceedings to recover the prescribed penalties or to obtain an injunction restraining the use, may be instituted by Council.

You are advised of your right of appeal to the Land and Environmental Court, under Section 97 of the Act, against any of the conditions which form part of this Consent, within a period of 12 months after receipt of the Consent.

To ascertain:

- (a) the date upon which the Consent becomes effective refer to Section 93 of the Act
- (b) the extent to which the Consent is liable to lapse refer to Section 99 of the Act.

KJ King
K J King
General Manager

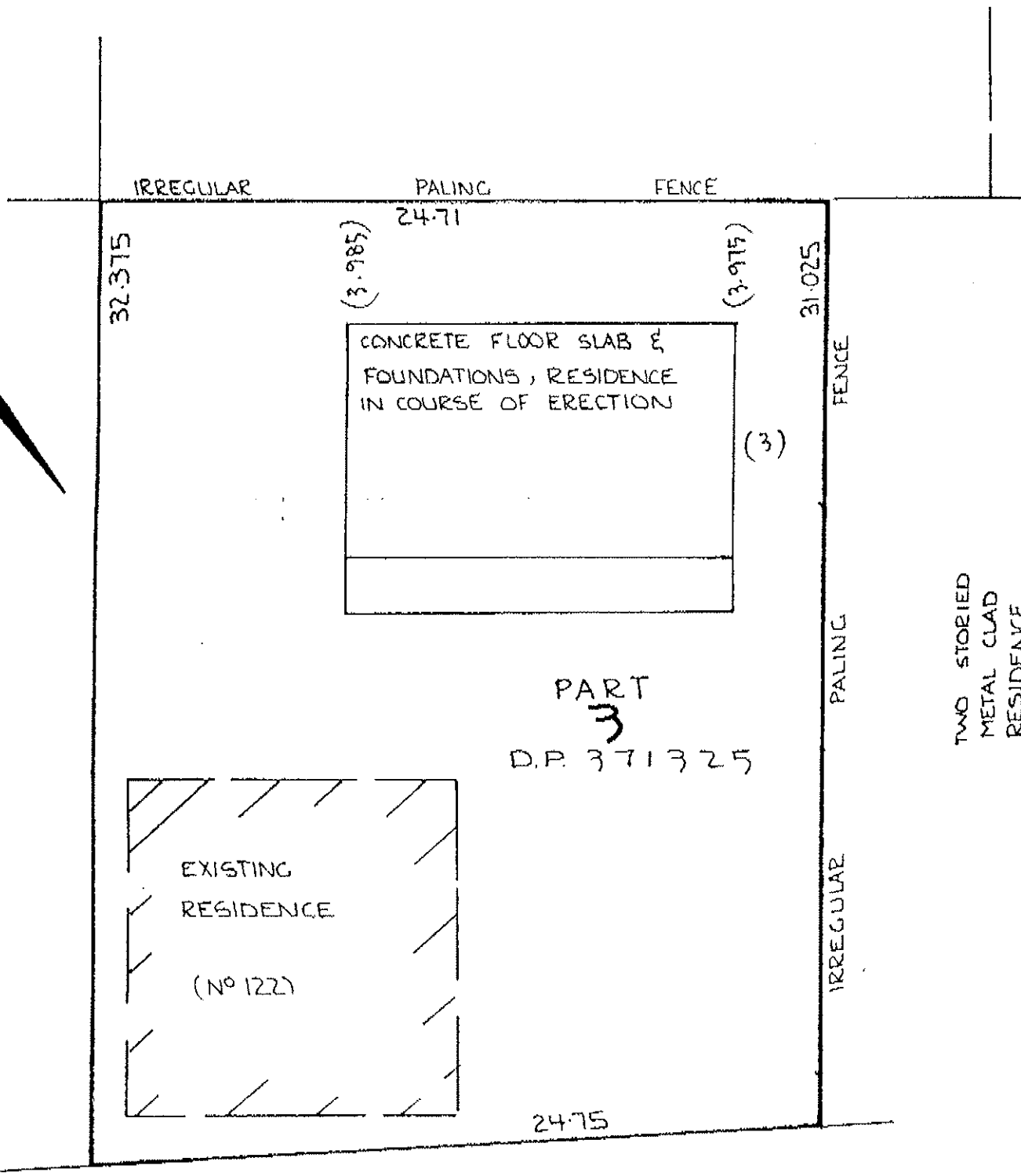
SCHEDULE A:

Property: 122 Epping Road, North Ryde. Part Lot 3, D.P. 371325.

Development: To erect a detached dwelling-house for the purposes of dual occupancy and to subdivide the resultant development into 2 lots.

SKETCH

Scale: 1:200



EPPING

ROAD

REFERENCE 8569-92

CHRISTOPHER KERRY NEWTON, surveyor registered under the Surveyors Act, 1929, hereby certify that the survey represented by this sketch has been made in accordance with Regulation 28 of the Survey Practice Regulations, 1990, and is correct.

Chunh

Surveyor registered under The Surveyors Act, 1929.

Development Consent

Consent No: 12/93

SCHEDULE B:

Conditions of Approval -

- 1 The development being carried out substantially in accordance with Sheet 1 submitted to Council on 11 March 1993 with the application for development approval.
- 2 A minimum of 2 off-street car parking spaces being provided, paved and maintained at all times to Council's satisfaction and in accordance with Council's standards with 1 car parking space being allocated for use in respect to each dwelling-house.
- 3 All car parking spaces having a clear width of 2.5m for uncovered spaces and 3m for covered spaces; a clear depth of 5.5m and a clear height of 2.2m with a clear manoeuvring area in accordance with Council's "Parking Code" and Council's publication entitled **"Engineering Requirements for Development Projects"**.
- 4 A plan for the landscaping of the site, prepared by a qualified Landscape Architect, being submitted to and approved by Council prior to the release of building approval; details as to all existing landscape features, including trees which are proposed to be removed, shall be given. Particular attention being given to the provision of appropriate screen planting around the perimeter of the site.
- 5 The landscaping of the site being carried out in accordance with the approved plan and being maintained at all times to Council's satisfaction.
- 6 All mature trees not requiring removal to permit the erection of the building being retained.
- 7 All demolition, construction and associated work necessary for the carrying out of the development being restricted to between the hours of 7 a.m. and 7 p.m. on Mondays to Fridays and between 8 a.m. and 4 p.m. on Saturdays. No work is to be carried out on Sundays.
- 8 No burning of demolition or construction material being carried out on the site.
- 9 No spoil, excavated or demolition material from the site being deposited on any public road, footpath, public place or Council owned property without Council's approval.
- 10 A detailed plan showing the height, colour and material of any fencing to be used, being submitted to and approved by Council prior to the erection of such fencing.
- 11 Fencing being placed on top of all existing or proposed retaining walls which are located on or adjacent to a boundary.
- 12 All fencing, other than within the front building line, having a minimum height of 1.8m and being at least the equivalent of lapped and capped fencing.
- 13 Details of all finished surface materials, including colour and texture to be used in construction being submitted to and approved by Council prior to the release of building approval.
- 14 Details regarding all hard paved areas within the development being submitted to and approved by Council prior to the release of building approval. Preference should be given to the use of an exposed aggregate finish.
- 15 Clothes drying facilities being provided to Council's satisfaction, either by way of external clothes lines or fixed internal clothes dryers. If external drying facilities are to be provided, such areas must be suitably screened from public areas.
- 16 The height of the building not exceeding 3.6m when measured vertically from any point on the ceiling of the building to natural ground level immediately below that point. In this regard, it will be necessary to indicate the finished floor level of the building, prior to release of building approval.

Development Consent

Consent No: 12/93

SCHEDULE B:

Conditions of Approval -

- 17 Compliance with the requirements included in paragraphs 1 to 5 inclusive of the engineering conditions, Annexure 'A' hereto, all of which paragraphs shall be deemed to be included in and form part of the conditions attached to this Consent.
- 18 Compliance with the requirements included in paragraphs 1 to 8 inclusive of the health conditions, Annexure 'B' hereto, all of which paragraphs shall be deemed to be included in and form part of the conditions attached to this Consent.
- 19 A Building Application being submitted to Council for the proposed Dual Occupancy Dwelling in the prescribed manner complying with the provisions of the Building Code of Australia.
- 20 The submission to Council of a Survey Plan certified by a registered surveyor indicating the proposed reduced level of the ground/first floor prior to installing floor timbers/forming up for concrete.
- 21 Perimeter of slabs to be provided with a drop-edge beam so as to provide face brickwork from the natural ground level.
- 22 All retaining walls where required by Council to be completed at the earliest possible stage and prior to the erection of the timber and masonry frame work. Details are to be submitted to Council for consideration with the Building Application.
- 23 The submission of a final survey plan and 10 copies.
- 24 Submission of a compliance certificate under Section 27 of the Water Board Act, 1987.
- 25 The subdivision being carried out substantially in accordance with the plan submitted with the application.
- 26 The payment of \$500 for the approval of the final plan under the terms of Part XII of the Local Government Act.
- 27 The driveway, parking spaces and manoeuvring areas being subject to reciprocal rights of way which provide that such rights may not be revoked or modified without the prior approval of Council and the owners benefiting being equally liable for the cost of maintenance of such areas.
- 28 The development being substantially completed prior to the release of the final plan of subdivision.
- 29 The roof-plan being redesigned in accordance with a plan to be submitted to and approved by Council prior to release of building approval, in order to provide variation in roof line and enhance the presentation of development.

BUILDING APPLICATION NO.

Local Government Act, 1974 (Ordinance 74)

THE TOWN CLERK

Date 31.5.1975

I, the undersigned, hereby make application for the approval of Council to place and specifications subject herewith of a building which I intend to erect and complete within 12 months from the date of approval.

Class of Building **1A** Type of Proposed Construction **NEW**

Purpose for which the building is to be used **RESIDENCE (BUNGALOW)**

Is Property situated in a Free Zone? **NO** State whether Primary or Secondary

Lot or Portion **3** Section **17B** Plan **12.57** Sheet No. **121**

Block **125/125** Locality **NORTH DYDE**

Name of Owner **MILLER & SONS** Address **122 CITY ROAD**

Address **NORTH DYDE** Telephone No. **2667**

Name of Builder **MILROY FRANK** Telephone No. **2667**

Address **55 CLAYTON ROAD** Telephone No. **3754**

Post Code **2140**

Number and description of existing buildings on site **ONE**

Is this application for a new building or extension or addition to an existing building **NEW BUILDING**

Is there any statement or order passing through or over the proposed property? **NO**

State whether any or several kind materials to be used **CONCRETE**

Ground Floor or Ground Floor Extension **110.75** sq. ft. Floor Area

Material of Footings **CONCRETE** Material of Outer Walls **BRICK**

Material of Roof **CONCRETE** Material of Floor **CONCRETE**

Material of Windows **GLASS** Material of Siding **BRICK/NATURAL**

Is the building to be used for the purpose? **YES**

Is a separate land subdivision proposed? **NO**

Height of main structure **10.00** m.

Is the building to be constructed on a slope? **NO**

Is the building to be constructed on a slope? **NO**

Is the building to be constructed on a slope? **NO**

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Is the building to be constructed on a slope? **NO**

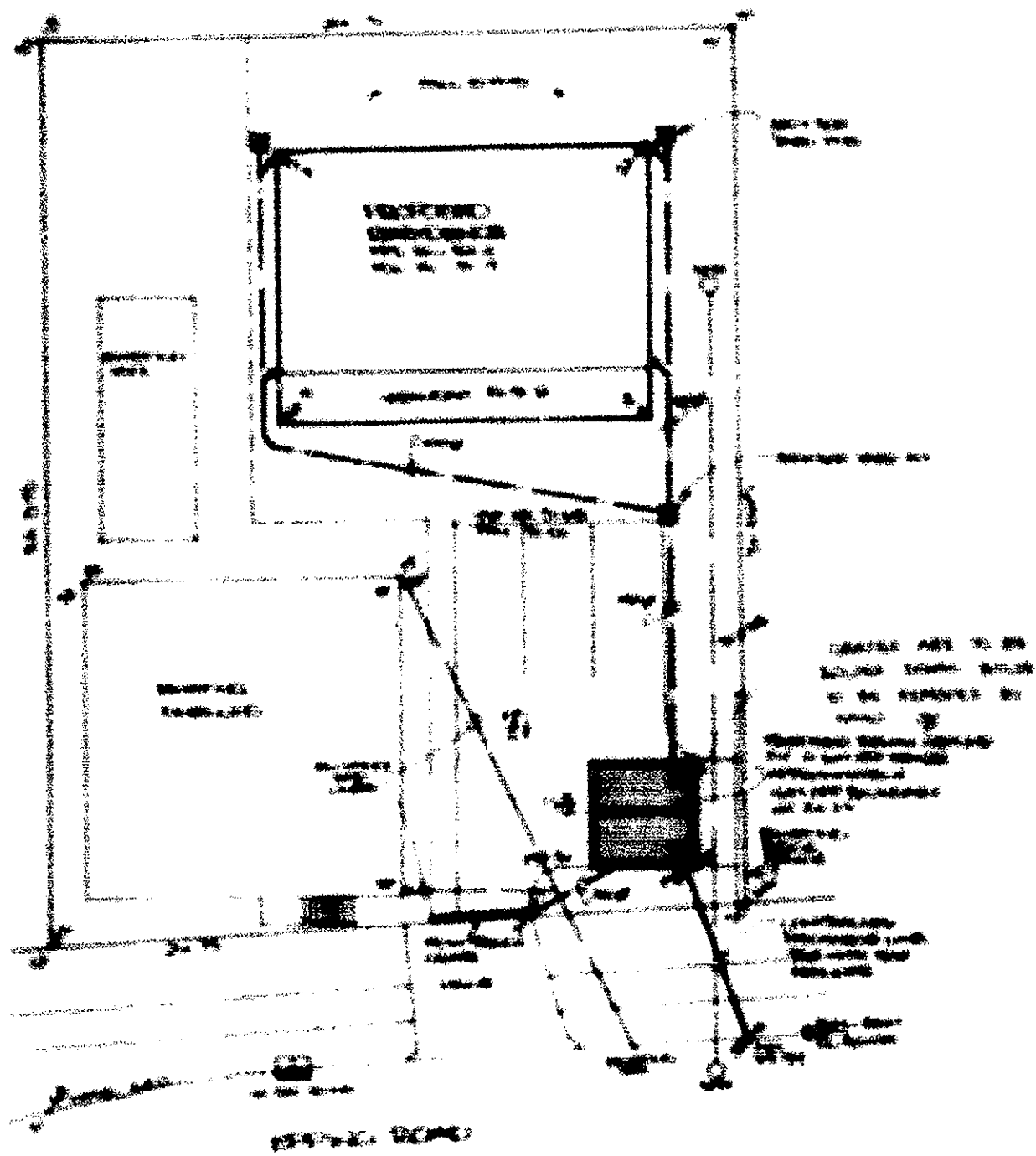
Is the building to be constructed on a slope? **NO**

Is the building to be constructed on a slope? **NO**

Is the building to be constructed on a slope? **NO**

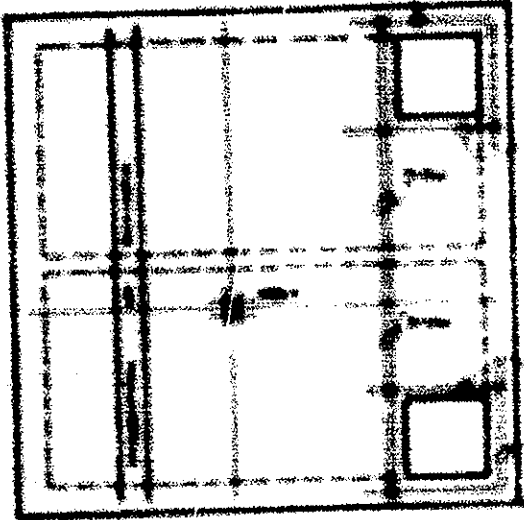
Is the building to be constructed on a slope? **NO**

573/93

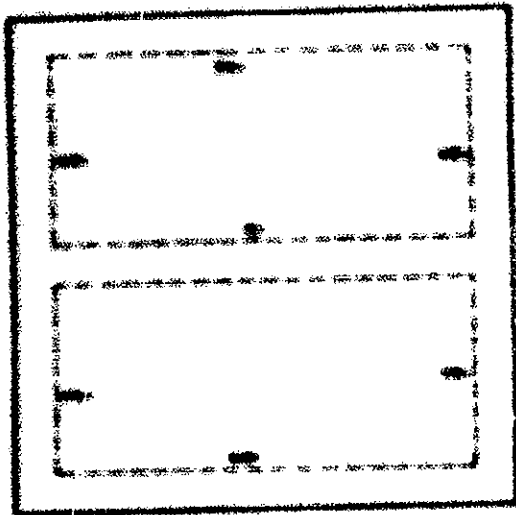


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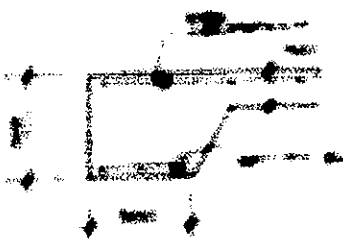
Reference: 1987.2
 Lot 3 122 Spring Road
 New York



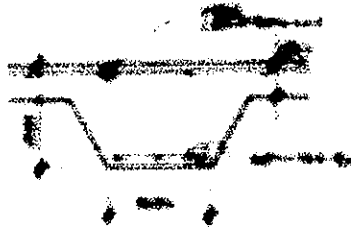
FIRST FLOOR



SECOND FLOOR



FRONT ELEVATION



REAR ELEVATION

GENERAL NOTES

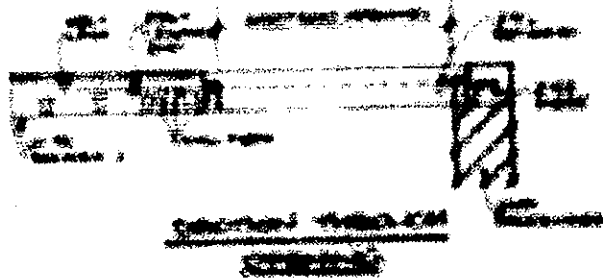
1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK CITY DEPARTMENT OF BUILDINGS SPECIFICATIONS AND THE LATEST EDITIONS OF THE NEW YORK CITY DEPARTMENT OF BUILDINGS CODES.

FINISHES

WALLS: 1/2" PLASTER OVER GYPSUM BOARD
 CEILING: 1/2" PLASTER OVER GYPSUM BOARD
 FLOORS: 1/2" PLASTER OVER CONCRETE
 ROOF: 4" ASPHALT/FLY ASH

DOOR SCHEDULE

ALL DOORS TO BE 1 1/2" SOLID CORE WITH 1 1/2" GLASS INSET.

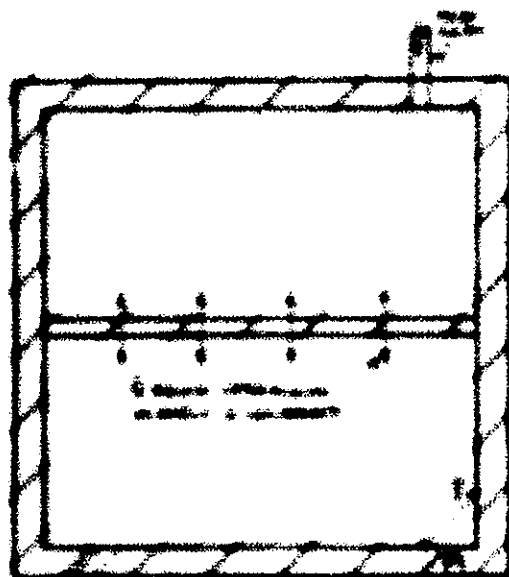


DOOR SCHEDULE

ALL DOORS TO BE 1 1/2" SOLID CORE WITH 1 1/2" GLASS INSET.

573/93

Reference: 573/93
 Lot 2 123 (Spring Road)
 North Side



SECTION
 (1) SECTIONAL ELEVATION OF THE
 WALL

SECTIONAL ELEVATION
 (2) SECTIONAL ELEVATION OF THE
 WALL

SECTIONAL ELEVATION
 (3) SECTIONAL ELEVATION OF THE
 WALL

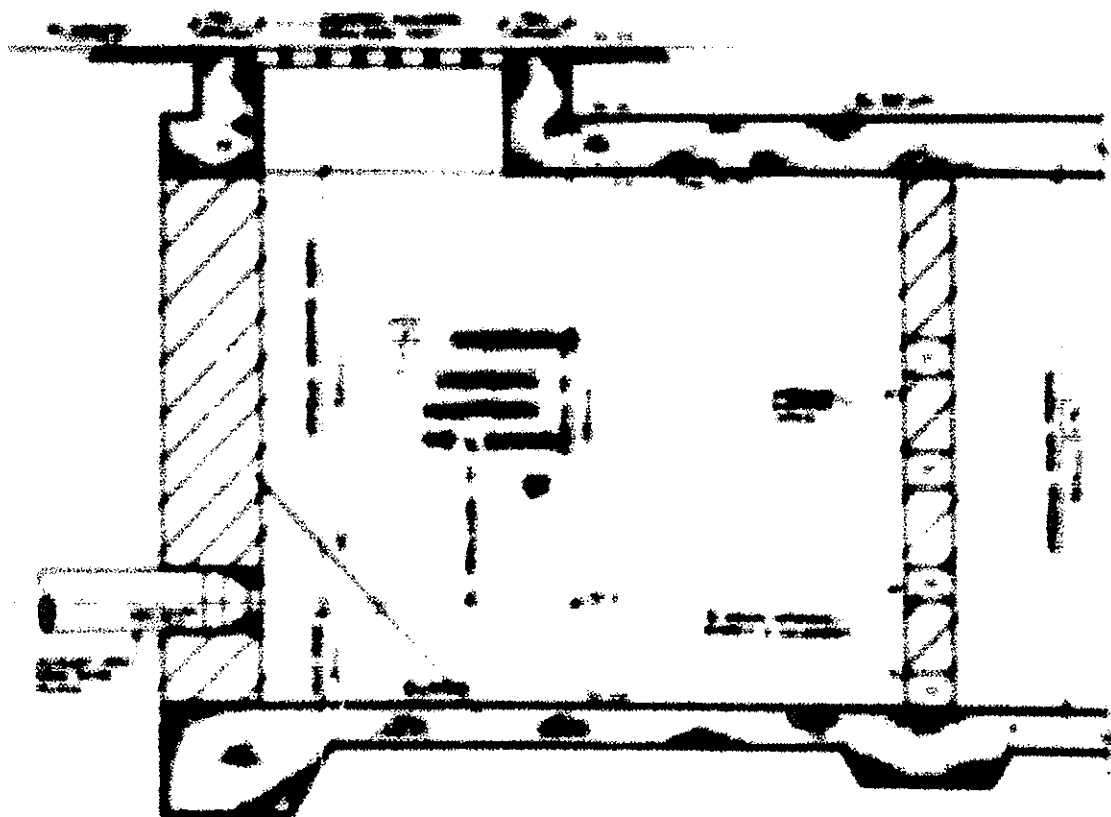


FIGURE 1. SECTIONAL ELEVATION OF THE WALL

Ryde

TYPE OF
CONCERN

- BUILDER'S TOILETS** Builder's toilets are to be provided to Council's satisfaction.
- FOOTPATHING, KERBS AND GUTTERING** (a) The owner is to notify Council as the extent of any existing damage to footpathing, kerbing and guttering before work commences. (b) Temporary crossings are to be established to protect footpathing, kerbing and guttering from damage during the construction phase prior to the commencement of any work. (c) The owner and/or builder is to take all necessary precautions to ensure the safety of all parties during the time the temporary crossing is in position. (d) The cost of repair of any damage sustained during the above operations will be deducted from the security deposit.
- FENCES, RETAINING WALLS, PATHS AND DRIVEWAYS** No fence on any street alignment is to be erected, or path or driveway laid thereon, without first obtaining street alignment levels from the Engineering Service Division.
- BOUNDARY FENCE** Boundary fences are to conform with Council's Fencing Code.
- CLADDING REQUIREMENTS** - Minimum 200mm x 200mm clamping posts spaced 1800mm on centre, the lowest post shall be at least 200mm x 200mm on a base of two courses of 400mm x 400mm dimension.
- DAMP COURSE** (a) Dampcourses are to be inserted in walls constructed of brick, stone or concrete, or of any material readily permeable by water, in dwarf walls or timber frame construction and in part of all building. (b) The access of moisture to the space between the wall of a new structure and the walls of existing buildings contiguous thereto, is to be prevented by flashing or other approved means.
- STORMWATER DRAINAGE** Roof water, surface and subsoil drainage is to be piped to street gully or manhole, wherever possible, otherwise discharged to a rubble trench at a position on the allotment approved by Council's Building Surveyor.
- EAVES OR ATTACHMENTS** The distance of eaves or attachments from any boundary is to be maintained at a distance of 675 mm in the case of a building containing one or two storeys and 1125 mm in the case of a building containing more than two storeys.
- BUILDING NOTIFICATION CARDS** 48 hour notice is to be given for the following inspections: (a) Footings (b) Damp-proof course and ant caps laid (c) Frame work prior to cladding (d) Wet areas i.e. shower recess areas, laundries etc. (e) Stormwater drainage; and (f) Building fully completed. Note: No building is to be occupied or used prior to the final inspection by the Council's Building Surveyor.
- USE** The building is not to be used or adapted for separate occupation in 2 or more parts or used for any commercial or industrial purpose. Carports, sheds, and the like are not to be used for any industrial or commercial purpose, or for domestic occupation.
- WASTE MATERIALS** The burning of waste materials is strictly prohibited. "On-The-Spot" infringement notices may be issued by Council's Officers to offenders. Maximum penalty is \$500.00.
- BUILDER'S SHED** Builder's sheds are to be removed forthwith upon completion of the building.
- EASEMENTS** Owners and/or builders must ensure that buildings are not erected on easements or encroachments unless with the permission of the authority having the right to the easements or encroachments.
- TREES** Council's approval is to be obtained before cutting down or damaging any tree.
- CONCRETE VEHICLE CROSSING** Applicant or owner is to make application to Council and pay the applicable fee to have an approved gutter crossing installed.
- ROOF FRAMING** Timber framing is to comply with the Australian Standard AS4454 (1997) "National Timber Framing Code."
- LIGHTING AND VENTILATION** All rooms in buildings are to comply with the provisions of the Building Code of Australia Part 14 relating to light and ventilation.

8/1/87

Ryde

- 18 **FLOODING** The ground floor level of the building is to be of sufficient height above the existing ground level to prevent the flooding of the building during periods of exceptionally heavy rainfall.
- 19 **STRUCTURAL STEELS** Practising Structural Engineer's certification of reinforced concrete work, all steelwork and associated work is to be submitted to Council and approved before work commences (B.C.A. - Part B1). The application of this work is to be submitted upon completion.
- 20 **GLAZING** The provision of the Building Code of Australia - Part B1.3 concerning the selection and installation of glass in buildings is to be complied with.
- 21 **HOURS OF BUILDING WORK** All demolition, which is to be carried out in accordance with Council's demolition restrictions, and all construction and associated works necessary for this development is to be restricted to between the hours of 7 am and 7 pm Mondays to Fridays and between 8 am and 4 pm on Saturdays. No work is to be carried out on Sundays or Public Holidays.
- 22 **WASTE CONTAINERS** A waste container used for building or property clean-up is not to be placed or cause or permit to be placed upon any road, including footpaths, without the prior written approval of Council. Clause 6, Ordinance 10 - Local Government Act.
- 23 **DEMOLITION OF EXISTING BUILDINGS** The demolition of materials, such as fittings and other materials, is to comply with the requirements of the Building Code of Australia - Part B1.3.
- 24 **SURVEY PLAN** A survey plan, certified by a registered surveyor, indicating reduced levels of ground, from datum and/or benchmark prior to pouring concrete is to be submitted to Council and approved by the Building Surveyor.
- 25 **GARBAGE SERVICE** Arrangements are to be made with Council's Environmental Health Services Division for the provision of garbage services to the property.
- 26 **STREET NUMBER** The appropriate street number is to be displayed in figures at least 100mm high in a prominent position on the front alignment of the premises.
- 27 **DEMOLITION OF EXISTING BUILDING** Practising Structural Engineer's certification of the existing building to carry the proposed loading is to be submitted to Council before work commences.
- 28 **RETAINING WALLS** When site works necessitate the construction of retaining walls, details are to be submitted prior to construction and all work completed simultaneously with the building.
- 29 **LEANS, RAILS AND BALUSTRADES** to comply with the Building Code of Australia Part D1.1 and Part D2.16.

This Building Application has been approved by the undersigned subject to the above conditions, and any other which may be specified, under the provisions of the Local Government Act, 1919 (as amended), and Ordinance 10, the Building Code of Australia and in accordance with the powers delegated by Council under Section 533A of the said Act.

The applicant is advised of the right of appeal to the Land and Environment Court of NSW concerning the conditions of this approval. (Local Government Act, Part 11, Division 4C)

17. 1. 87

Date of Approval

A. R. Riggall
Mayor
P. D. ...

573/93

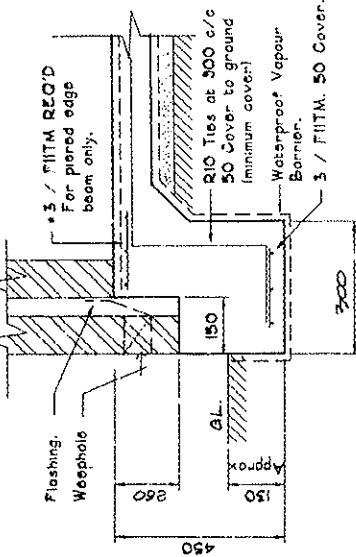
CONDITIONS OF APPROVAL "CONTINUED"

- 30 The conditions of Development Consent No 12/03 of 26/02 to be complied with. A copy of this consent is attached to the approved plans.
- 31 The Director of Environmental Health Services' Standard Conditions of Approval, numbered 1 to 8 inclusive are to be complied with. A copy of these conditions is attached to the approved plans.
- 32 The Director of Engineering Services' Standard Conditions of Building Approval numbered 1 to 6 inclusive are to be complied with. A copy of these conditions is attached to the approved plans.

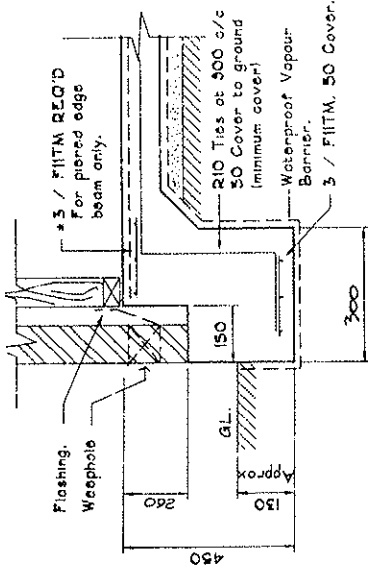
~~33 The Standard Development Conditions of Building Approval numbered 1 to 4 are to be complied with. A copy of these conditions is attached to the approved plans.~~

~~34 Copies of the Conditions of Approval are to be submitted to the relevant authorities for their approval.~~

BT Briggs
Manager Building Approvals



B1 BEAM DETAIL



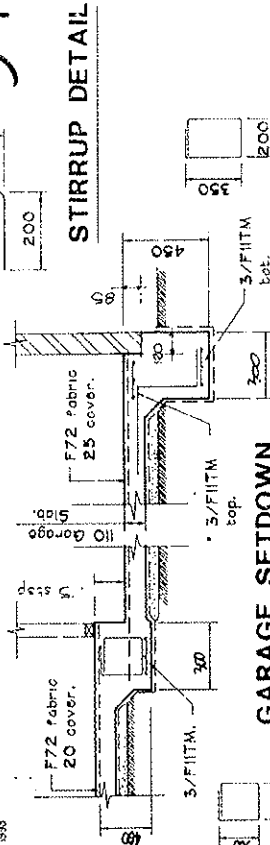
TYPICAL BEAM DETAIL

573/93

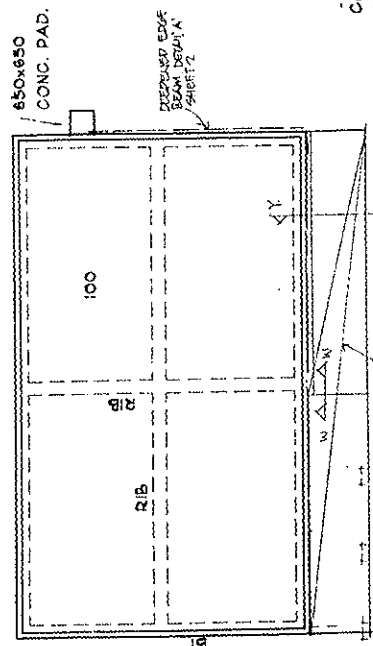
10 AUG 1993

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STIRRUP DETAIL

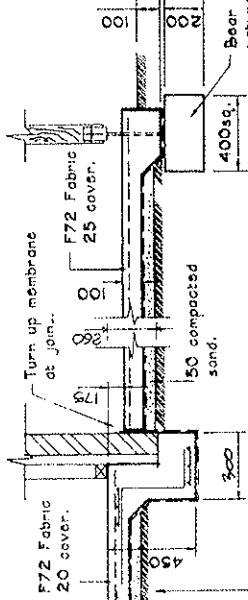


SLAB PLAN.

F72 Fabric 20 Cover 100 Thk. U.N.O

POUR VERANDAH SLAB SEPARATE.

GARAGE SETDOWN.



VERANDAH SETDOWN.

Compacted inert material to u/side of slab to be compacted in layers not exceeding 100mm thk.

Huxley Homes
so nice to come home to
 53-55 Shilton Road, Tongareva
 Telephone 624 2865 P.O. Box 702
 Tongareva NSW 2145

BARRY T. SYME & ASSOCIATES
 CONSULTING STRUCTURAL ENGINEERS
 1ST FLOOR
 30-41 HARRIS STREET
 PH. 726 7665

PROJECT	FOR: MRS N. HERRIS	SCALE: 1:100 2D
AT: LOT 9/141 JERRIS ROAD NORTH RYDE.	JOB No. 7866	REV.
TITLE	RAFT SLAB	E-OI
APPROVED	B.T. SYME	SHEET 1 OF 1
DATE	OCT 1990	
DRAWN	S	
CHECKED		

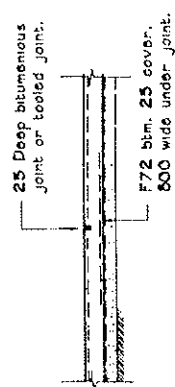
GENERAL NOTES.

1. Strip top soil and vegetation. Bench site by cut and fill to required level.
2. Fill to be placed in layers of 150mm thick using compacted material. The surface of the fill should be compacted to a minimum of 95% relative compaction. The surface should be finished to a minimum of 1:100 slope. The surface should be finished to a minimum of 1:100 slope. The surface should be finished to a minimum of 1:100 slope.
3. 50mm chain to edge beams. 50mm to slab.
4. Conc. joints to be staggered to achieve an even distribution of reinforcement. The reinforcement should be staggered to achieve an even distribution of reinforcement. The reinforcement should be staggered to achieve an even distribution of reinforcement.
5. Use 0.2mm polythene vapour barrier. make waterproof at all joints and drainage pipes etc. Site is to be properly drained to eliminate surface and sub-surface water flow.
6. Edge beams are a minimum depth only and may be increased to suit site conditions.
7. Concrete 20 MPa or 28 days. 80mm slump.
8. Keep slab continuously wet for 7 days minimum plastic or wet liquid sprays may be used.
9. THIS DRAWING IS SOLELY SUBJECT TO CERTIFICATE OF INSPECTION ISSUED BY ENGINEER.
10. Minimum ground bearing capacity 100 KPa.
11. Lap - Fabric - one square + 50mm 450mm 20 x bar dia
12. Steelwork design as per AS1250 Steel Structures Code and AS1170 Load and Live Loads
13. Steelwork - finish one coat - R.O.Z.C.
14. Sub design as per AS1250 1986 Code for Residential Slabs and Footings.
15. Site classification "M" See site report
16. Classification by Barry T. Syme B.E.M.I.E (Aust.)

Special Note.

Attention is drawn to Appendix "A" of AS2870 "Performance Requirements and Foundation Maint."

RIB DETAIL.



C.J. CONTRACTION JOINT

SITE CLASSIFICATION: M

DESIGN: STOCKADE 3. RH

GENERAL NOTES.

1. Strip top soil and vegetation. Bench site by cut and fill to required level.
2. Fill to be placed in layers of 150mm thick using multiple passes of equipment. Engineer to be advised should fill extend 450mm deep before proceeding with further work.
3. 50mm chips to edge beams, 65mm to slab.
4. Conc. piers to be adopted to occlude an even bearing as required by site conditions.
5. 400mm dia. to clay beating at 2000mm c/c.
6. 300mm dia. to polythene bearing at 2000mm c/c.
7. Use 0.2mm polythene vapour barrier, make waterproofed of all joints and drainage pipes etc. Site to be properly drained to eliminate surface and subsoil water flow.
8. Edge beams on a minimum depth.
9. Concrete to site site conditions.
10. Be covered 20 MPa at 28 days 80mm slump.
11. Keep site continuously wet for 7 days minimum.
12. All work to be completed before any further work.

10. Minimum ground bearing capacity 100 KPa.
11. Lap
 - Fabric - one square + 50mm
 - Trench Mesh 450mm
 - Bore 20 x bore dia
12. Steelwork design as per "AST250 Steel Structures Code and AS1170 Dead and Live Loads"
13. Steelwork - finish one coat - R.O.Z.C.
14. Slab design as per "AS2870 1988 Code for Residential Slabs and Footings."
15. Site classification "B" See site report.
16. Classification by "Ry. S. Site R.M.U.E. (Aust.)"

Special Note.

Attention is drawn to Appendix "A" of AS2870 "Performance Requirements and Foundation Moin."

573/93

SITE CLASSIFICATION "M"

ROOF PITCH: 26°

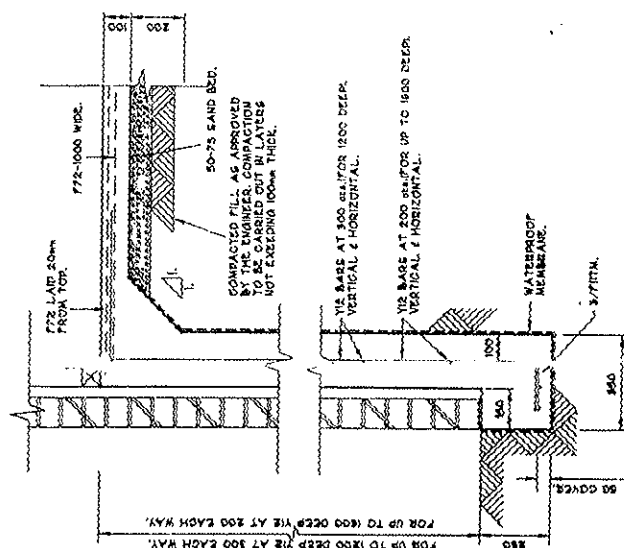
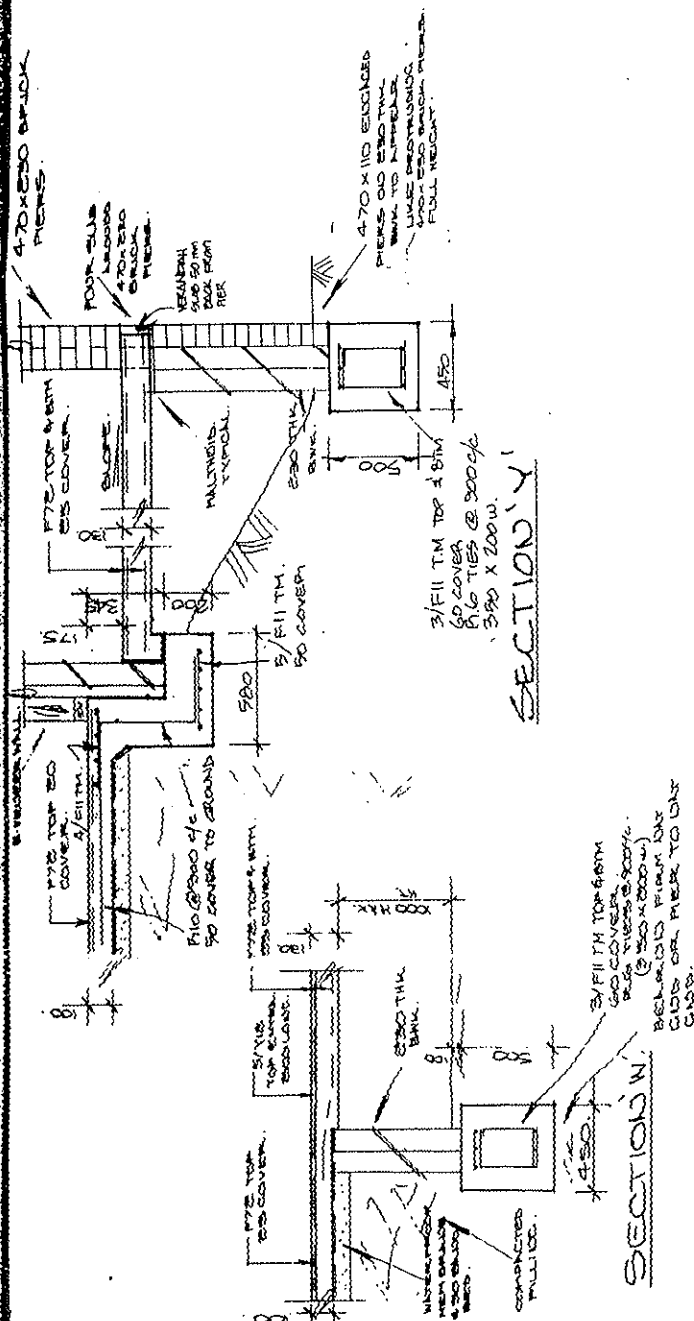
 BARRY T. SYME & ASSOCIATES CONSULTING STRUCTURAL ENGINEERS ACN 000 084 357 70 - 41 HARRIS STREET FAIRFIELD 2165	DATE	CHKD	DES.	PROJECT FOR: MRS N. HEERS LOT 2 (N/2) EPPING ROAD AT : NORTH RIDE.	SCALE	1:100. 2010
	APPROVED B.T. SYME P.E.	1992	BS		CS	JOB NO. 7066
				TITLE	DWG. NO.	SHEET 1 OF 1
				RAFT SLAB	E 01	
				REV		

HUDER.

4

Hudex Homes
so nice to come home to.

53-55 Station Road, Tongatapu
Telephone 69499 P.O. Box 207
Tongatapu N.S.N. 248.



EXTERNAL B.V. WALL. DETAIL A.

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All research conducted on the
 subject must be approved by the
 Institutional Review Board (IRB)

SENIOR LECTURE
1988-1989
GRADUATE

573/93

SSAN	DATE	NOTE
63	10-10-54	10-10-54

Huxley Homes
1800-222-2222

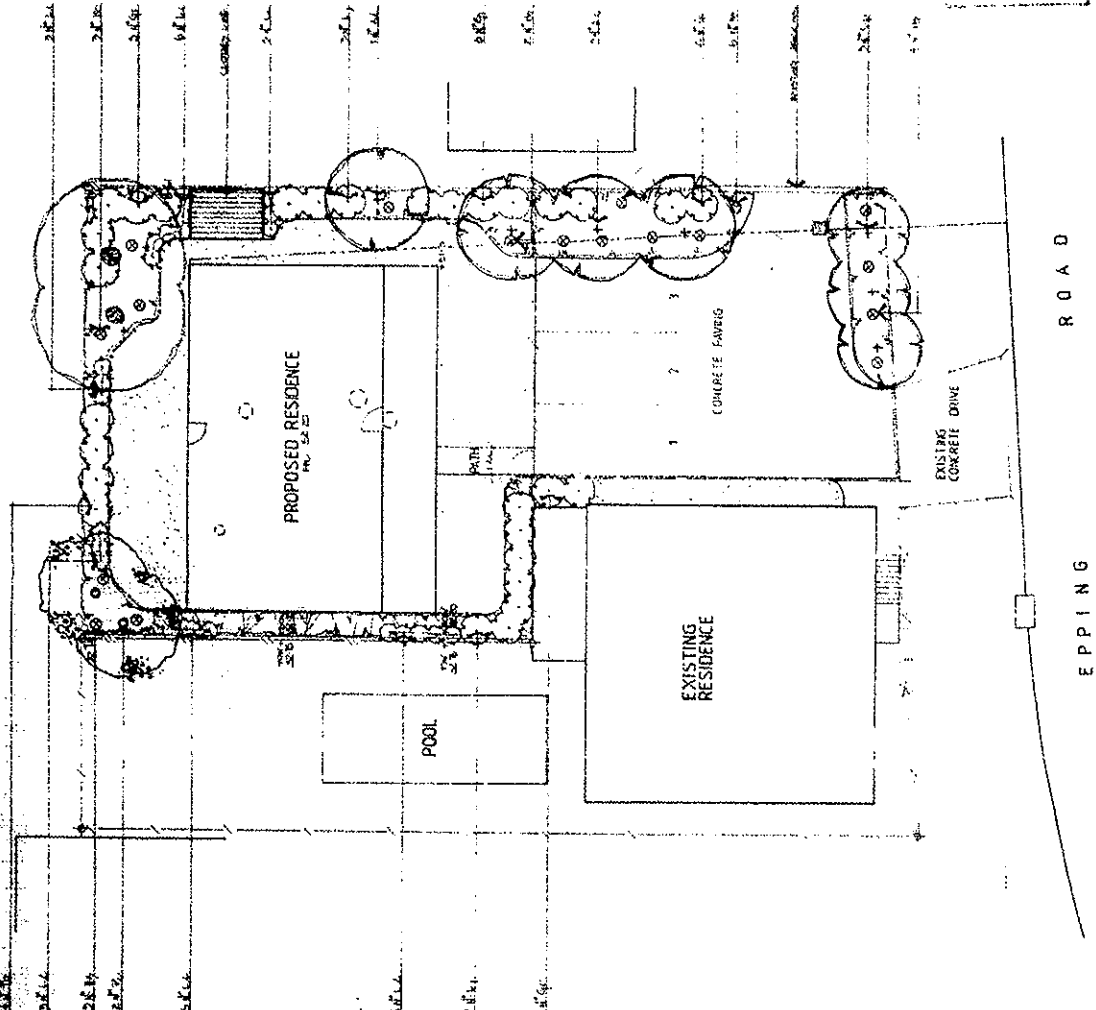
ATTHEW FRAWLEY DESIGN
GARDEN AND LANDSCAPE DESIGNERS
1001 N. 10TH AVE. SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.FRAWLEYDESIGN.COM

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11 6th June 1993

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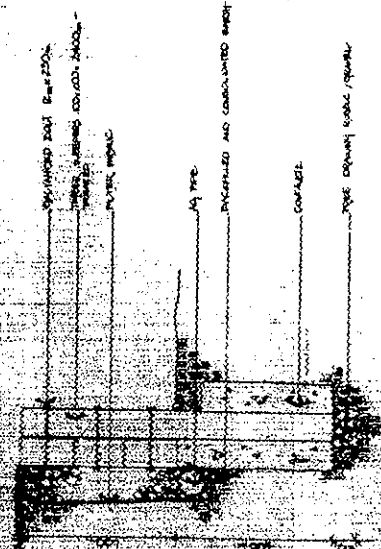


ROAD
SUPPLYING

LANDSCAPE PLAN



TYPICAL SLEEPER RETAINING WALL SCALE 1:80



SCHEDULE OF PLANT MATERIAL

[illegible]

DOOR SCHEDULE LEVEL 1

D1	
D2	
D3	
D4	
D5	
D6	
D7	
D8	
D9	
D10	
D11	
D12	
D13	

WINDOW SCHEDULE STAIRS/STAIRWAYS

NO	CODE
W1	
W2	
W3	
W4	
W5	
W6	
W7	
W8	
W9	
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W12	
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NOTE
A. FRAME OVERLAP HEIGHT
- TO BE 3MM MIN
B. UNDERSIDE OF HEAD FROM
TOP OF PLATE TO BE 225 mm

DATE _____

PROPOSED WORK TO BE COMPLETED
AT 100% BY 22/07/2018

FOR MR. N. SETHI

GP LOCALITY SKETCH

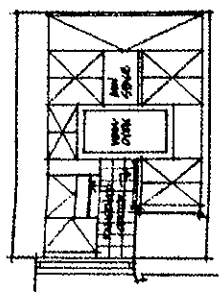
DESIGN NO. 150
R 150

STOCKADE 3 RANCH

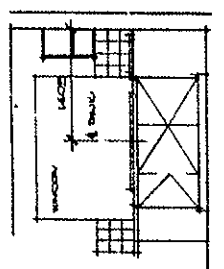
Representing the Client, I hereby certify that the drawings are correct and complete as shown on the drawings.

Huxley Homes
so nice to come home to

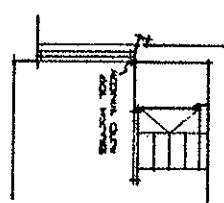
7066



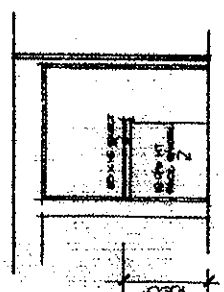
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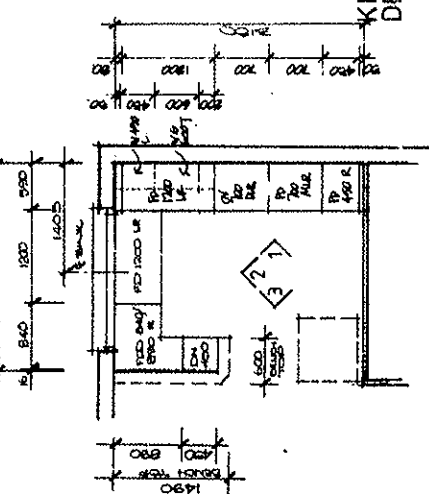
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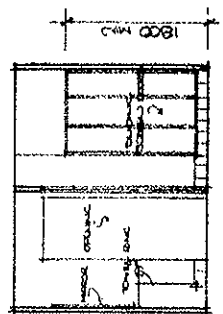
ELEVATION 3



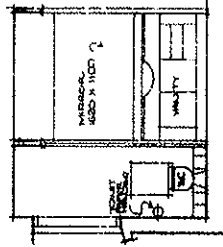
BAR DETAIL



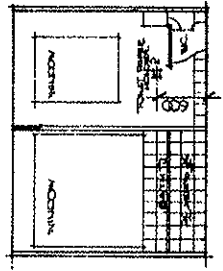
KITCHEN DETAIL



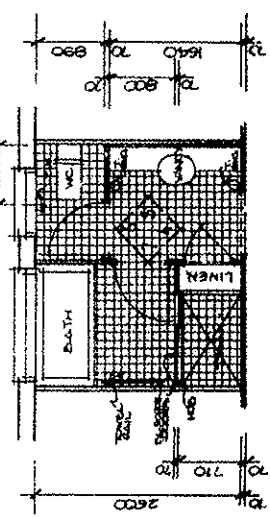
ELEVATION 4



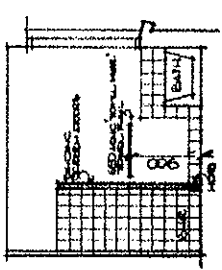
ELEVATION 5



ELEVATION 6



BATHROOM DETAIL



ELEVATION 7

PRINTED
01 JAN 1988
HUXLEY HOMES

WALL LIGHT

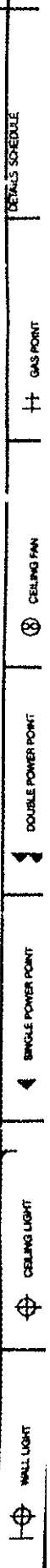
CEILING LIGHT

SINGLE POWER POINT

DOUBLE POWER POINT

CEILING FAN

GAS POINT

[illegible]



Our Ref: D08/029587
Your Ref: Cameron Hollands

28 March 2008

Attention: Cameron Hollands
EIS
115 Wicks Rd
MACQUARIE PARK NSW 2113

Dear Cameron,

RE SITE: 7 Allengrove Cr, North Ryde

I refer to your search request of 25th March 2008 requesting information on licences to Keep Dangerous Goods for the above site.

A search of the Stored Chemical Information Database (SCID) and the microfiche records held by WorkCover has not located any records pertaining to the above-mentioned premises.

If you have any further queries, please contact Dangerous Goods Licensing staff on (02) 4321 5500.

A handwritten signature in black ink, appearing to read 'Naomi James', written over the printed name.

Naomi James
**A/Senior Licensing Officer
Dangerous Goods**

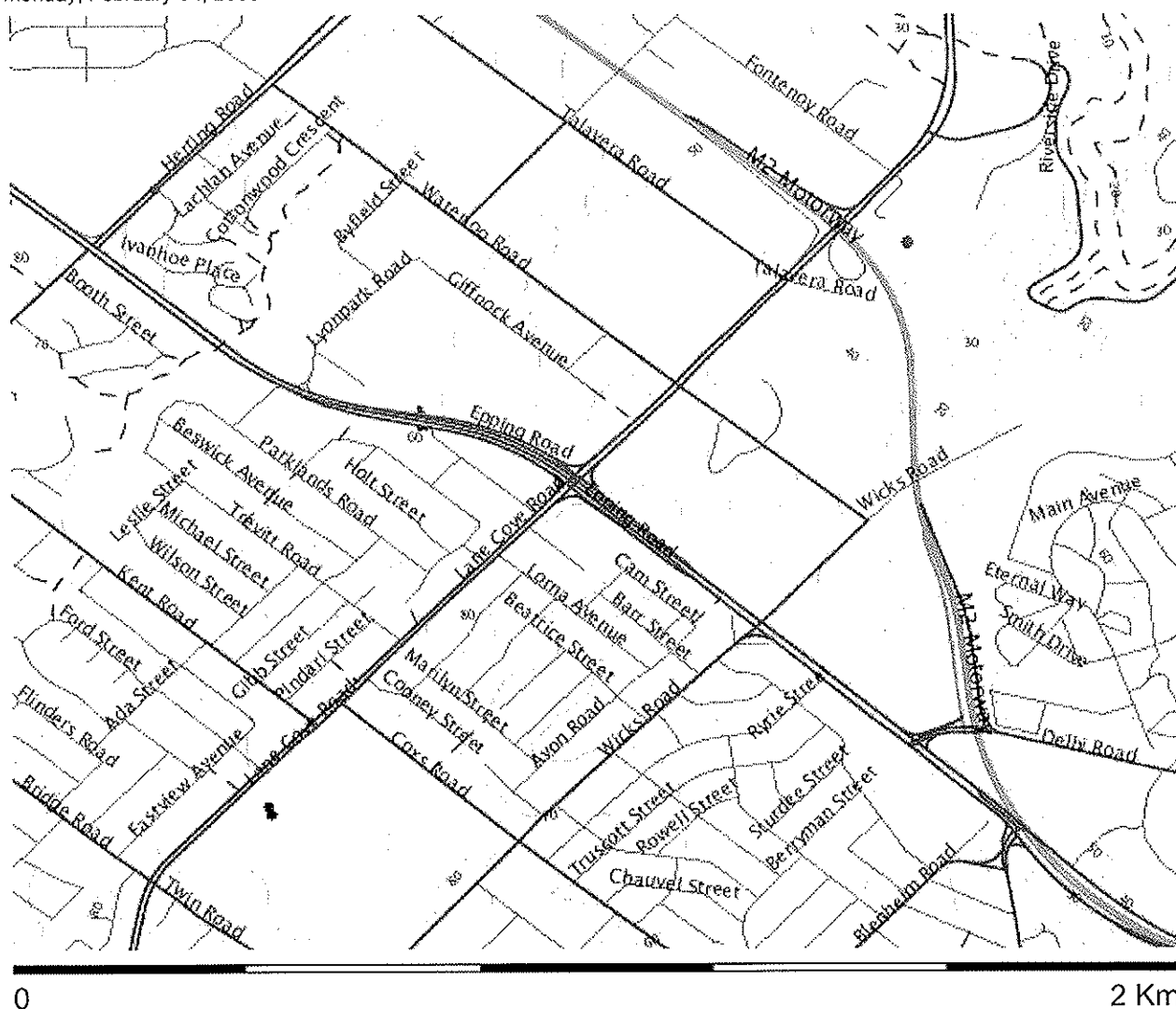
WorkCover. **Watching out for you.**

WorkCover NSW ABN 77 682 742 966 92-100 Donnison Street Gosford NSW 2250 Locked Bag 2906 Lisarow NSW 2252
Telephone 02 4321 5000 Facsimile 02 4325 4145 WorkCover Assistance Service **13 10 50**
DX 731 Sydney Website www.workcover.nsw.gov.au

Map from the NSW Natural Resource Atlas

Map created with NSW Natural Resource Atlas - <http://nratlas.nsw.gov.au>

Monday, February 04, 2008



Legend

Symbol

Layer

Custodian



Cities and large towns renderImage:
Cannot build image from features



Populated places renderImage: Cannot
build image from features



Towns



Groundwater Bores



Catchment Management Authority
boundaries



Major rivers



Primary/arterial road



Motorway/freeway



Railway



Runway



Contour



Background

Topographic base map

omissions. No representation is made as to its accuracy or suitability.

Groundwater Works Summary

For information on the meaning of fields please see Glossary
Document Generated on Monday, February 4, 2008

[Print Report](#)

[Works Details](#) [Site Details](#) [Form A Licensed Construction](#) [Water Bearing Zones](#) [Drillers Log](#)

Work Requested -- GW107998

Works Details (top)

GROUNDWATER NUMBER GW107998
LIC-NUM 10BL600207
AUTHORISED-PURPOSES INDUSTRIAL
INTENDED-PURPOSES INDUSTRIAL
WORK-TYPE Bore
WORK-STATUS
CONSTRUCTION-METHOD Rotary
OWNER-TYPE
COMMENCE-DATE
COMPLETION-DATE 2004-10-05
FINAL-DEPTH (metres) 180.00
DRILLED-DEPTH (metres) 180.00
CONTRACTOR-NAME
DRILLER-NAME
PROPERTY THUNDERBIRDS ARE GO P/L
GWMA - TOMAGO TOMAREE STOCKTON
GW-ZONE - STOCKTON
STANDING-WATER-LEVEL 38.00
SALINITY 2080.00
YIELD 0.17

Site Details (top)

REGION 10 - SYDNEY SOUTH COAST
RIVER-BASIN
AREA-DISTRICT
CMA-MAP
GRID-ZONE
SCALE
ELEVATION
ELEVATION-SOURCE
NORTHING 6260503.00
EASTING 327255.00
LATITUDE 33 46' 54"
LONGITUDE 151 8' 3"
GS-MAP
AMG-ZONE 56
COORD-SOURCE
REMARK

Form-A (top)

COUNTY CUMBERLAND
 PARISH HUNTERS HILL
 PORTION-LOT-DP 10 1071734

Licensed (top)

COUNTY CUMBERLAND
 PARISH HUNTERS HILL
 PORTION-LOT-DP 10 1071734

Construction (top)

Negative depths indicate Above Ground Level;H-Hole;P-Pipe;OD-Outside Diameter;
 ID-Inside Diameter;C-Cemented;SL-Slot Length;A-Aperture;GS-Grain Size;Q-Quantity

HOLE- NO	PIPE- NO	COMPONENT- CODE	COMPONENT- TYPE	DEPTH- FROM (metres)	DEPTH- TO (metres)	OD (mm)	ID (mm)	INTERVAL	DETAIL
1		Hole	Hole	0.00	2.50	208			Down Hole Hammer
1		Hole	Hole	2.50	120.00	159.5			Down Hole Hammer
1		Hole	Hole	120.00	180.00	155			Down Hole Hammer
1	1	Casing	Steel	-0.50	2.50	168	158.4		C: -1-2.5m; Driven into Hole
1	1	Casing	PVC Class 9	-0.50	17.50	140			Screwed and Glued; Suspended in Clamps

Water Bearing Zones (top)

FROM- DEPTH (metres)	TO- DEPTH (metres)	THICKNESS (metres)	ROCK- CAT- DESC	S-W- L	D- D- L	YIELD	TEST- HOLE- DEPTH (metres)	DURATION	SALINITY
108.70	109.00	0.30				0.08	114.00	0.25	1340.00
158.00	160.00	2.00		38.00		0.25	180.00	0.25	2080.00

Drillers Log (top)

FROM	TO	THICKNESS	DESC	GEO-MATERIAL	COMMENT
0.00	1.00	1.00	FILL		
1.00	6.50	5.50	SANDSTONE L/BROWN		
6.50	8.00	1.50	SHALE		
8.00	108.70	100.70	SANDSTONE GREY		
108.70	109.00	0.30	SANDSTONE FINE QUARTZ		
109.00	153.00	44.00	SANDSTONE GREY		
153.00	158.00	5.00	SANDSTONE D/GREY		
158.00	160.00	2.00	SANDSTONE FINE QUARTZ		

160.00 180.00 20.00

SANDSTONE GREY

Warning To Clients: This raw data has been supplied to the Department of Infrastructure, Planning and Natural Resources (DIPNR) by drillers, licensees and other sources. The DIPNR does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

APPENDIX D



SOIL AND GROUNDWATER SAMPLING PROTOCOLS

These protocols specify the basic procedures to be used when sampling soils or groundwater for environmental site assessments undertaken by Environmental Investigation Services. The purpose of these protocols is to provide standard methods for: sampling, decontamination procedures for sampling equipment, sample preservation, sample storage and sample handling. Deviations from these procedures must be recorded.

SOIL SAMPLING

- (i) prepare a test pit/borehole log.
- (ii) Layout sampling equipment on clean plastic sheeting to prevent direct contact with ground surface. The work area should be at a distance from the drill/rig excavator such that the drill rig/excavator can operate in a safe manner.
- (iii) Ensure all sampling equipment has been decontaminated prior to use.
- (iv) Remove any surface debris from the immediate area of the sampling location.
- (v) Collect samples and place in a glass jar with a Teflon sea. This should be undertaken as quickly as possible to prevent the loss of volatiles. If possible, fill the glass jars completely.
- (vi) Label the jar with the EIS job number, sample location (eg. TP1), sampling interval and date. If more than one sample container is used, this should also be indicated (eg. 2 = Sample jar 1 of 2 jars).
- (vii) Photoionisation detector (PID) screening of volatile organic compounds (VOCs) should be undertaken on samples using the soil sample headspace method. Headspace measurements are taken following equilibration of the headspace gasses in partly filled glass jars. PID headspace data is recorded on the borehole/test pit log and the chain of custody forms.
- (viii) Record the lithology of the sample and sample depth on the borehole/test pit log in accordance with AS1726-1993.
- (ix) Store the sample in a sample container cooled with ice or chill packs. On completion of the sampling the sample container should be delivered to the lab immediately or stored in the refrigerator prior to delivery to the lab.
- (x) Check for the presence of groundwater after completion of each borehole using an electronic dip metre or water whistle. Boreholes should be left open until the end of fieldwork. All groundwater levels in the boreholes should be rechecked on the completion of the fieldwork.
- (xi) Backfill the boreholes/test pits with the excavation cuttings or clean sand prior to leaving the site.

DECONTAMINATION PROCEDURES FOR SOIL SAMPLING EQUIPMENT

- (i) All of the equipment associated with the soil sampling procedure should be decontaminated between every sampling location.
- (ii) The following equipment and materials are required for the decontamination procedure:
 - Phosphate free detergent (Extran 100)
 - Tap water
 - Two buckets
 - Stiff brushes
 - Plastic sheets
- (iii) Ensure the decontamination materials are clean prior to proceeding with the decontamination.
- (iv) Fill both buckets with clean tap water and add phosphate free detergent to one bucket.
- (v) In the bucket containing the detergent scrub the sampling equipment until all the material attached to the equipment has been removed.

- (vi) Rinse sampling equipment in the bucket containing tap water.
- (vii) Place cleaned equipment on clean plastic sheets.

If all materials are not removed by this procedure, high-pressure water cleaning is recommended. If any equipment is not completely decontaminated by both these processes that equipment should not be used until it has been thoroughly cleaned.

GROUNDWATER SAMPLING

Groundwater samples are more sensitive to contamination than soil samples and therefore adhesion to this protocol is particularly important to obtain reliable, reproducible results. The recommendations details in AS2306.1 are considered to form a minimum standard.

The basis of this protocol is to maintain the security of the borehole and obtain accurate and representative groundwater samples. The following procedure should be used for collection of groundwater samples from previously installed piezometers.

- (i) After piezometer installation, at least four bore volumes should be pumped from the piezometers to remove any water introduced during the drilling process. Piezometers should then be left to recharge for at least five days before purging and sampling. Prior to purging or sampling the condition of each well should be observed and any anomalies recorded on the field data sheets. The following information should be noted: the condition of the well, noting any signs of damage, tampering or complete destruction; the condition and operation of the well lock; the condition of the protective casing and the cement footing (raised or cracked); and, the presence of water between protective casing and well.
- (ii) Take the groundwater level from the collar of the piezometer using an electronic dipmeter. The collar level should be taken during the site visit using a dumpy level and staff.
- (iii) Purging and sampling of piezometers should generally be done on the same site visit. Layout and organize all equipment

associated with groundwater sampling in a location where they will not interfere with the sampling procedure and will not pose a risk of contaminating samples. Equipment generally required includes:

- New disposable polyethylene bailer and sufficient cord OR submersible pump.
 - Micropore filtration system (for heavy metals samples).
 - Filter paper (glass fibre and 0.45µm).
 - Buckets with volume increments.
 - Sample containers – at least 1 x Teflon bottle with 1ml nitric acid, 1 x 75mL glass vial and 2 x 1L amber glass bottles for each piezometer.
 - pH/Cond/Eh/T meters.
 - Glass jars for purged samples.
 - Esky and ice.
 - Latex gloves.
 - Distilled water (for cleaning).
 - Electronic dipmeter.
 - Groundwater sampling forms and notebook.
 - Aluminium foil and labels.
- (iv) Clean the Micropore filtration system thoroughly with distilled water prior to use and between each sample. Filter paper should be changed between samples. 0.45µm filter paper should be placed below the glass fibre filter paper in the filtration system.
 - (v) Ensure all non-disposable sampling equipment is decontaminated or that new disposable equipment is available prior to any work commencing at a new location. The procedure for decontamination of groundwater equipment is outlined at the end of this section.
 - (vi) Disposable gloves should be used whenever samples are taken to protect the sampler and to assist in avoidance of contamination.

- (vii) Purge at least four bore volumes from the well. Take pH, conductivity, redox potential, and temperature measurements of the purged groundwater at regular intervals during purging. (Say, every 5-10 litres if abundant groundwater and every 1 litre if only limited groundwater is encountered). Groundwater condition measurements should be taken from a sample in a clean glass jar which has been taken directly from the sampling equipment (either pump or bailer). Electrodes should be placed in the sample after the electrodes have been rinsed with distilled water. Purged volumes and groundwater measurements should be recorded on the field sampling sheet. An assessment of the turbidity of the sample should also be made based on three categories: silty, opaque and clear.
- (viii) Prepare all sample bottles. Label bottles with EIS job number, borehole number and date of collection.
- (ix) Fill amber sample bottles and BTEX vial directly from pump or bailer. Ensure sampling equipment does not touch sample containers. Sample bottles and vials must be filled to the brim, so that a reverse meniscus is formed, seal with aluminium foil and then cap. Check that no air has entered the sample invert and check for bubbles.
- (x) Fill vacuum filtration system and turn on filter pump.
- (xi) Undertake pH/Cond/Eh/T of a sample taken in a clean glass jar used only for groundwater condition measurements. Turn the meters on and insert the electrodes into the sample. Record the measurements when the instruments have stabilized, then discard the sample. Clean the electrodes with distilled water between measurements.
- (xii) When the sample filtering is complete (note: at least 50mL of filtered sample is required for heavy metal analysis), decant the filtered sample into a Teflon bottle containing nitric acid. Check label of sample bottle to ensure container has been treated with nitric acid and not sulfuric acid. Clean the filtration system with distilled

water and replace the filters ready for the next sample.

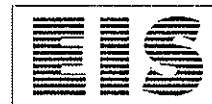
- (xiii) Photoionisation detector (PID) screening of volatile organic compounds (VOC) should be undertaken on groundwater samples using the sample headspace method during fieldwork. VOC data is obtained from partly filled glass jar samples following equilibration of the headspace gases. The PID headspace data should be included on the chain of custody forms and borehole logs.
- (xiv) Store the sample in a sample container cooled with ice or chill packs. On completion of the sampling the sample container should be delivered to the lab immediately or stored in the refrigerator prior to delivery to the lab.
- (xv) Record the sample on the appropriate log in accordance with AS1726-1993. At the end of each water sampling complete a chain of custody form.

DECONTAMINATION PROCEDURE FOR GROUNDWATER SAMPLING EQUIPMENT

- (i) All of the equipment associated with the groundwater sampling procedure should be decontaminated between every sampling location.
- (ii) The following equipment and materials are required for the decontamination procedure:
 - Phosphate free detergent (Extran 100).
 - Tap water.
 - Distilled water.
 - Two buckets.
 - Plastic sheets.



- (iii) Fill one bucket with clean tap water and phosphate free detergent, and one bucket with distilled water.
 - (iv) Flush tap water and detergent through pump. Wash sampling equipment and pump head using brushes in the bucket containing detergent until all materials attached to the equipment are removed.
 - (v) Flush pump with distilled water.
 - (vi) Change water and detergent solution after each sampling location.
 - (vii) Rinse sampling equipment in the bucket containing distilled water.
 - (viii) Place cleaned equipment on clean plastic sheets.
- If all materials are not removed by this procedure that equipment should not be used until it has been thoroughly cleaned.
-



QA/QC DEFINITIONS

The QA/QC terms used in this report are defined below. The definitions are in accordance with current US EPA SW-846 (1994) methods and those described in Environmental Sampling and Analysis, A Practical Guide, (H. Keith 1991).

Practical Quantitation Limit (PQL), Limit of Reporting (LOR) and Estimated Quantitation Limit (EQL)

These terms all refer to the concentration above which results can be expressed with a minimum 95% confidence level. The laboratory reporting limits are generally set at ten times the standard deviation for the Method Detection limit (MDL) for each specific analyte. For the purposes of this report the LOR, PQL, and EQL are considered to be equivalent.

When assessing laboratory data it should be borne in mind that values at or near the PQL have two important limitations.

"The uncertainty of the measurement value can approach, and even equal, the reported value. Secondly, confirmation of the analytes reported is virtually impossible unless identification uses highly selective methods. These issues diminish when reliably measurable amounts of analytes are present. Accordingly, legal and regulatory actions should be limited to data at or above the reliable detection limit", Keith (1991).

Accuracy

The proximity of an averaged result to the true value, where all random errors have been statistically removed. Accuracy is measured by percent recovery. Acceptable limits for accuracy generally lie between 70% to 130% recoveries. Certain laboratory methods may allow for values that lie outside these limits.

Precision

The degree to which data generated from repeated measurements differ from one another due to random errors. Precision is measured using the standard deviation or Relative Percent Difference (RPD). Acceptable targets for precision in this report will be less than 50% RPD for concentrations greater than ten times the PQL, less than 75% RPD for concentrations between five and ten times the PQL and less than 100% RPD for concentrations that are less than five times the PQL.

Blanks

The purpose of laboratory and field blanks is to check for artifacts and interferences that may arise during sampling and analysis.

Matrix Spikes

Samples are spiked with laboratory grade standards to detect interactive effects between the sample matrix and the analytes being measured. Matrix Spikes are reported as a percent recovery and are prepared for 1 in every 20 samples. Sample batches that contain less than 20 samples



may be reported with a Matrix Spike from another batch. The percent recovery is calculated using the formula;

$$\frac{(\text{spiked sample result} - \text{sample result})}{\text{concentration of spike added}} \times 100$$

Acceptable recovery limits are 70% to 130%.

Surrogate Spikes

Samples are spiked with a known concentration of compounds that are chemically related to the analyte being investigated but unlikely to be detected in the environment. The purpose of the Surrogate Spikes is to check the accuracy of the analytical technique. Surrogate Spikes are reported as percent recovery.

Duplicates

Laboratory duplicates measure precision, expressed as Relative Percent Difference. Duplicates are prepared from a single field sample and analysed as two separate extraction procedures in the laboratory. The RPD is calculated using the formula:

$$\frac{|D1 - D2|}{|(D1 + D2)/2|} \times 100$$

where D1 is the sample concentration and D2 is the duplicate sample concentration.