

PO Box 660	52 Albion Street	T +61 2 9281 4399
Darlinghurst	Surry Hills	F +61 2 9281 4337
NSW 1300	NSW 2010	info@tannerarchitects.com.au
Australia	Australia	www.tannerarchitects.com.au

tanner Architects

GRAYTHWAITE
20 EDWARD STREET, NORTH SYDNEY

OUTLINE SCHEDULE OF CONSERVATION REPAIR WORKS



Prepared for
Sydney Church of England Grammar School

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GRAYTHWAITE
SCHEDULE OF CONSERVATION REPAIR WORKS

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ISSUE STATUS

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GRAYTHWAITE
SCHEDULE OF CONSERVATION REPAIR WORKS

1 INTRODUCTION

1.1 Background

This report provides an outline schedule of conservation repair works for Graythwaite House, the Coach House and former Tom O'Neill Centre at Graythwaite, North Sydney. The report has been prepared on behalf of Sydney Church of England Grammar School (Shore School), and accompanies the Part 3A Stage 1 Project Application for works.

The three historic buildings on the site are proposed to be conserved, refurbished and adapted for new school-related uses. Graythwaite House is proposed to be refurbished for use as staff administration and reception, the Coach House as a caretaker's residence and staff offices, and the Tom O'Neill Centre for music classrooms for students.

The buildings are currently disused and are variously in fair to poor condition. Graythwaite House in particular is in need of immediate remedial repair; the slate roofs are in deleterious condition and water ingress is particularly evident at first floor. The works listed in this report identifies the priority roof repairs to the House which are proposed to be undertaken as part of an immediate phase of works (priority 1), to prevent ongoing deterioration of the historic fabric. All other works (priority 2) are proposed to be undertaken during the refurbishment of the buildings, and are included in the Part 3A Project Application.

1.2 Location

Located at Union Street, North Sydney (Figure 1), the 2.678 hectare property is bounded on the east and north by Shore School, on the south by Union Street and private residential properties fronting Union Street, and on the west by private residential properties fronting Bank Street. The current street address is 20 Edward Street, although a Union Street address was used throughout the nineteenth century and greater part of the twentieth century.

1.3 Historical background and heritage significance

Graythwaite is a place of exceptional heritage significance. Originally known as Euroka, the site comprises expansive parkland that provides a landscaped setting for the nineteenth century house and associated outbuildings. The two-storey sandstone house is a distinctive and imposing example of a nineteenth century residence, while the c1830s Stables building may be the oldest remaining building of its type in the area and provides the earliest remaining fabric from the early settlement of North Sydney. The grand scale of the House Complex, the mature landscaping and size of the property demonstrate the wealth and aspirations of its owners, particularly the Dibbs family, during the boom period of the later nineteenth century.

Graythwaite is also of social and historical significance for its use as a convalescent hospital for returned soldiers from 1916 and then as a long-term hostel for permanently disabled soldiers. Key buildings from this phase of the site's history include the Ward Building (1918) and Recreation Building (1919)—now known as the Tom O'Neill Centre. More recently the site was used as a nursing home and continued to operate as a dementia care facility until its sale in 2009, when it was purchased by the adjoining Sydney Church of England Grammar School (Shore).

Shore's long term vision for the Graythwaite site is to recognise the cultural heritage significance of the property, including its significant buildings and landscape, while complementing and enhancing its existing school facilities.

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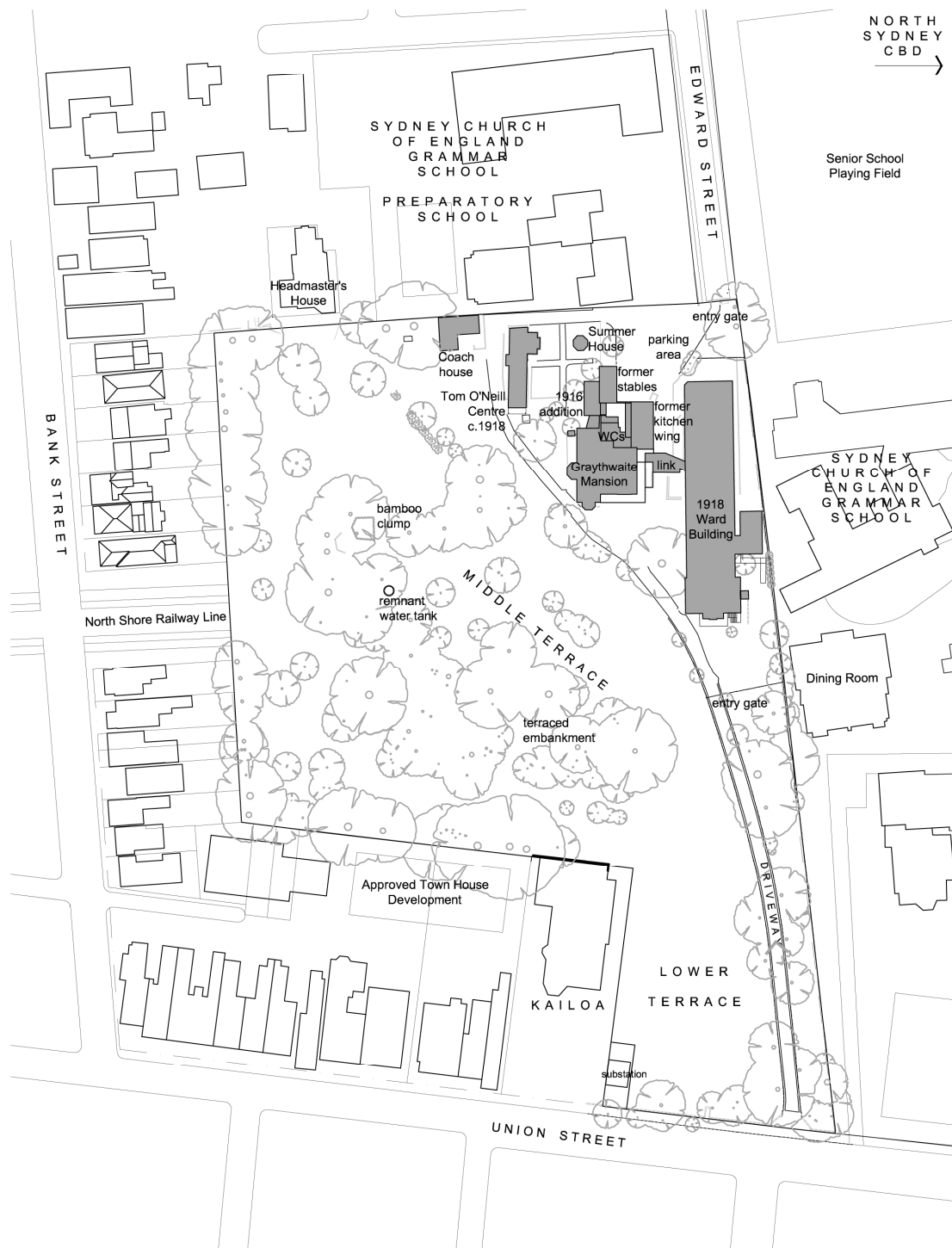


Figure 1 Site plan, not to scale.



1.4 Building descriptions

Graythwaite House

Graythwaite House is a two-storey building of load-bearing sandstone construction with a basement and attic level. The hipped and gabled roofs are slated, with a steeply-pitched mansard rising from the centre of the main part of the house. A cast iron and timber verandah and balcony returns around the south and east elevations, and has a corrugated galvanised steel roof. To the north-east is two-storey sandstone wing, originally comprising the kitchen and staff accommodation, and to the north-west is the single-storey 1830s sandstone stables building, both with slate roofs (Figure 3). Original floor and roof structures are timber-framed, with later concrete slab floors in some of the rear ground floor rooms. Windows are timber-framed, double-hung sashes.

1.4.1 The Coach House

Constructed in the 1890s, the Coach House is a small building of blond brick construction with timber-framed floor and roof structures (Figure 5). L-shaped in plan, the building is single-storey with an attic level, and has gabled roofs clad in corrugated galvanised steel. Windows are timber-framed double-hung sashes, and there are two large, timber ledged and braced barn doors at ground floor. A verandah, not original, extends across part of the south elevation.

1.4.2 The former Tom O'Neill Centre

The Tom O'Neill Centre was constructed in 1918, shortly after the site's acquisition by the State for use as a convalescent home. The single storey brick building has a gabled roof clad in corrugated galvanised steel (Figure 6), and concrete and timber-framed floors.



Figure 2 Graythwaite House, south elevation.



Figure 3 Graythwaite House, north elevation.



Figure 4 Graythwaite House, west elevation.



Figure 5 The Coach House, from the south.



Figure 6 The former Tom O'Neill Centre, west elevation.

1.5 Works Priorities

The works have been categorised into two priorities as follows:

Priority 1 works are urgent roof repair works to Graythwaite House which are required to ensure weather-tightness and structural integrity of the roof structure. Associated roof works include replacement of rainwater goods, flashings, valleys, ridge and hip cappings, eaves and soffit linings, and reconstruction of roof and verandah elements including cast iron balustrading.

These works are proposed to be carried out in the short time as a high priority, to address immediate problems of water ingress.

Priority 2 works are the remaining urgent and other conservation repair works for Graythwaite House, the Tom O'Neill Centre and the Coach House. Urgent works to the Tom O'Neill Centre and the Coach House include roofing repairs and damp rectification works. The other conservation repair works to all three buildings are those required to rectify defects to prevent future deterioration of non-structural elements, e.g. render and stone repairs, exterior and interior joinery repairs, window and door repairs, repainting and repair of interior fabric and finishes.

Priority 2 works are proposed to be carried out during the adaptation and refurbishment of the buildings, and comprise part of the Part 3A Stage 1 Project Application.

1.6 Exclusions

These schedules of repair do not include landscaping; electrical and mechanical services; lighting; security; and refurbishment works for new uses (e.g. new floor coverings, partitions, suspended ceilings, WCs).

2 GRAYTHWAITE HOUSE

2.1 Exterior repair works

Building element/ area	Required works	Priority
RENDER		
Render chimneys	Cut out and replace cracked and drummy render; re-render chimney caps.	1
	Prepare and paint.	1
North courtyard garden wall	Cut out and replace drummy and damaged render; prepare and paint.	2
Former massage room (room G8)	Cut out and replace drummy and damaged render.	2
	Remove creeper.	2
	Replace render window sills,	2
	Prepare and paint.	2
BRICKWORK		
	Repoint brick chimney to 1830s stables.	1
TIMBERWORK		
Eaves	Install new timber eaves lining, paint finish.	1
Fascias	Install new timber beaded fascias, paint finish.	1
Gutter mouldings	Install new scotia profile eaves moulding to underside of guttering, paint finish.	1
MAIN VERANDAH		
– Roof and floor structures	Repair defective and rotted verandah roof and floor structure including beams, rafter ends and joints; prepare and paint.	1
– Cast ironwork	Demolish infill balustrade panels and timber framing.	1
	Install new cast iron balcony balustrading to and new handrail at BCA compliant height. Prepare and paint.	1
	Treat cast iron columns and frieze brackets for rust; prepare and paint.	
– Flooring	Ground floor: remove concrete slab and lay new sandstone paving.	2
	First floor: remove sheet malthoid flooring. Allow to replace all timber verandah boards; stain and clear finish.	1
– Mouldings	Replace missing and deteriorated timber mouldings and dentils to timber fascias.	1
– Roofing	Install new corrugated galvanised steel roofing.	1
KITCHEN VERANDAH		
– Roof structure	Repair defective and rotted verandah roof and floor structure including beams, rafter ends and joints; prepare and paint.	2
– Timber posts	Install new timber posts to kitchen verandah.	2
– Flooring	Remove concrete slab and lay new sandstone paving.	2
– Roofing	Install new corrugated galvanised steel roofing.	2
STONework		
– Generally	Remove cement mortar pointing and repoint with lime rich mortar.	
	Remove weed overgrowth.	1

GRAYTHWAITE
SCHEDULE OF CONSERVATION REPAIR WORKS

Building element/ area	Required works	Priority
	Remove redundant surface mounted conduit and services.	2
	Clean all stonework.	2
	Remove overpainting.	2
	Indent repair minor defects to stonework and where redundant services and fixtures are removed.	2
	Replace severely damaged and missing stonework with sandstone to match original.	2
	Consolidate deteriorated stonework.	2
	Apply biocide solution to remove lichen and fungal growth.	2
	Remove all hard cement mortar. Repoint all stonework.	2
	Re-caulk window and door frames.	2
– South elevation (main house)	Poultice damp-affected areas of stonework to lower wall.	2
	Remove garden beds and make good stonework to verandah plinth.	2
	Poultice damp affected areas of stonework.	1
	Install new damp-proof course.	2
– South elevation (1830s stable)	Remove paint and repair sandstone.	2
	Repair sandstone where corridor link demolished.	2
	Poultice damp-affected areas of stonework.	2
	Install new damp-proof course.	2
– East elevation (main house)	Poultice damp-affected areas of stonework to lower wall.	2
	Demolish concrete verandah ramp and repair stonework to verandah plinth.	2
	Remove kitchen exhaust vent and install new stonework to match existing.	2
– East elevation (1830s stable wing)	Install new damp-proof course.	2
– North elevation (main house)	Remove kitchen exhaust vent and install new stonework to match existing.	2
	Install new damp-proof course.	2
	Poultice damp-affected stonework.	2
	Replace severely deteriorated sandstone window sills.	2
	Repair sandstone where 1918 WC annexe removed.	2
– North elevation (1830s stable)	Poultice damp-affected stonework.	2
	Remove overgrown vegetation.	1
– West elevation (main house)	Remove paint from window sills.	2
	Replace missing sub-floor grille.	2
	Install new damp-proof course.	2
– West elevation (kitchen wing)	Install new damp-proof course.	2
	Remove render to lower walls and repair sandstone.	2
	Repair sandstone where 1918 WC annexe demolished.	2
WINDOWS AND EXTERIOR DOORS		
Windows	Reputty glazing.	1

GRAYTHWAITE
SCHEDULE OF CONSERVATION REPAIR WORKS

Building element/ area	Required works	Priority
	Replace cracked and missing glazing.	1
	Replace rotted timber window sills to match existing.	1
	Make operable all sash windows: replace all sash cords, free all pulleys, and make both sashes operable. Install felt seals as required to prevent sash rattle. All sash cords are to be in natural fibre or wire to match existing. Supply new weights where heavier glass is installed.	1
	Remove all redundant fittings, blinds and other window coverings; remove security grilles and insect screens; repair and patch frames and sashes where damaged and replace all missing or damaged mouldings.	1
	Existing historic hardware to be retained (sash lifts, fitch fasteners) shall be cleaned and re-polished.	1
	Remove steel sheeting from attic windows.	1
	Reconstruct north stair window where 1918 WC annexe demolished.	2
Doors	Install new timber-panelled door, glazed sidelights and highlight to ground floor east elevation, where c.1980s link structure demolished.	2
	Replace non-original floor door ground floors with timber-panelled doors.	2
	Generally: prepare and paint.	2
ROOFING		
Gutters	Replace all guttering with galvanised steel ogee profile guttering, paint finish.	1
Downpipes	Replace all downpipes with galvanised steel circular downpipes, paint finish.	1
Attic roof	Remove solar panel installation and associated pipework and tanks.	1
	Remove roofing; inspect condition of roofing timbers and repair.	1
	Install new roof insulation.	1
	Install new standing seam sheet copper roofing (or sheet lead roofing: to be confirmed).	1
	Install new guttering; configuration and outlets to be confirmed.	1
	Repair timber parapet wall framing.	1
	Install new cast iron widow's walk balustrading; height to be BCA compliant.	1
	Install new fish-scale Penrhyn Welsh slate to vertical face of parapet, to match existing.	1
	Install new moulded timber parapet capping mouldings and decorative timber corbels, to match original detail.	1
	Install new lead parapet flashings.	1
	Install new roof access doors / hatch; prepare and repaint.	1
	Repair timber glazed attic clerestory window joinery; prepare and repaint.	1
Main roof	Replace all slates to all roof slopes with new Penrhyn Welsh slates.	1
	Install new lead ridge and hip cappings.	1
	Install new lead valley gutters.	1
	Install new lead flashings to chimneys, dormer windows and all roof penetrations.	1

GRAYTHWAITE
SCHEDULE OF CONSERVATION REPAIR WORKS

Building element/ area	Required works	Priority
1830s stable roof	Replace all slates to all roof slopes with new Penrhyn Welsh slates.	1
	Install new lead ridge capping.	1
	Install new lead flashings to chimney and roof penetrations.	1
Bay windows, west and south	Remove existing roofing; inspect condition of timber roof structure and boarding and repair.	1
	Install new lead sheet roofing with timber core rolls (to be confirmed).	1
Dormers	Remove roofing and install new curved corrugated galvanised steel roofing.	1
	Repair decorative curved timber barge boards; replace where missing. Prepare and paint.	1
1830s stables	Replace rusted metal roof vents to match existing.	1
EXTERIOR PAINTING	Prepare and repaint all new and existing timber window joinery.	1
	Prepare and repaint all timber roof joinery including fascias, eaves soffits, dormers.	1
	Prepare and repaint all new and existing door joinery.	2
	Prepare and repaint all new and existing cast iron.	1
	Prepare and repaint all rainwater goods.	1
	Prepare and repaint metal wall vents.	2

2.2 Interior repair works

Generally

Building element/ area	Required works	Priority
Interior doors	Unpainted doors: revive French polish finish.	2
	Painted doors: prepare and repaint.	2
	Remove all nails, hooks and other fixtures from doors, fill holes.	2
	Fill timber defects and holes.	2
	Timber used in replacement of door components for painted doors shall be select kiln-dried Oregon, finish to match existing.	2
	Timber used in replacement of door components for French polished or lacquered doors shall be select Kalantis, finished to match existing.	2
	Make all doors fully operable.	2

Basement

Building element/ area	Required works	Priority
Generally	Desalinate all sandstone foundation walls.	2
	Install new drainage sump	2
	Repair timber stair.	2
	Repair timber floor structure to ground floor hallway.	2
	Investigate termite activity and rectify.	2

Ground floor

Building element/ area	Required works	Priority
G1, G2, G3, G4, G6		
Skirtings	Repair where scuffed and chipped; replace where severely missing to match existing.	2

GRAYTHWAITE
SCHEDULE OF CONSERVATION REPAIR WORKS

Building element/ area	Required works	Priority
	Remove timber rails at base of skirting.	2
	Prepare and paint.	2
Floor	Remove floor coverings and repair tongue and grove timber floorboards.	2
Walls	Remove surface mounted conduit, redundant services and make good; cut out and fill cracked plaster.	2
	Repair plaster where new damp-proof course installed.	2
	Prepare and paint.	2
Ceilings	Remove surface mounted conduit, redundant services and lighting and make good.	2
	Cut out and replace cracked and drummy plaster.	2
	Repair cracked and damaged areas of cornices.	2
	Prepare and paint.	2
Fireplaces	Rejuvenate French polish finish.	2
	Replace missing hearth tiles; install new cast iron grate.	2
Doors	Prepare and re-finish.	2
G5 + G13 entry		
Geometric and encaustic floor tiles	Structural engineer to investigate integrity of the floor structure; undertake structural repairs as required.	2
	Allow to carefully lift up and replace all tiles.. Replace where missing, damaged and replaced with mismatching tiles, to match original.	2
	Remove vinyl sheeting at north end, inspect condition of tiles and repair.	2
Skirtings	Repair where scuffed and chipped; replace where missing or severely damaged to match existing.	2
	Remove surface-mounted wiring and make good.	2
	Remove timber quad moulding and make good.	2
	Prepare and paint.	
Walls	Remove surface mounted conduit, fire hose reel, redundant services and make good; cut out and fill cracked plaster.	2
	Poultice damp-affected areas of lower wall.	2
	Prepare and paint.	2
Cornices	Remove surface-mounted conduit and make good; repair where cracked, uneven and damaged.	2
	Prepare and paint.	2
Ceiling	Remove surface mounted conduit, redundant services and lighting and make good.	2
	Prepare and paint.	2
Doors	Prepare and re-finish.	2
Staircase	Revive French polish finish to handrail and balustrading.	2
	Sand, oil and wax timber treads and risers.	2
G14 + G15 corridor		
Floor	Remove floor covering and demolish floor slab. Install new concrete floor slab on membrane.	2
Walls	Cut out and replace damaged plaster.	2
	Remove surface-mounted wiring and redundant services and make good.	

GRAYTHWAITE
SCHEDULE OF CONSERVATION REPAIR WORKS

Building element/ area	Required works	Priority
	Install new damp-proof course to south wall; poultice damp-affected sandstone.	2
	Prepare and paint.	2
Doors	Prepare and paint.	2
G9, G9a, G10, G11, G12, G18		
–	No works: to be demolished.	–
G16		
Floor	Remove floor covering and demolish floor slab. Install new concrete floor slab on membrane.	2
Walls	Remove surface-mounted wiring and redundant services and repair sandstone.	2
Ceiling	De-rust corrugated galvanised steel ripple iron sheeting; prepare and paint.	2
Door	Prepare and paint.	2
G7a, G7, G17		
Floor	Remove concrete floor slab. Install new concrete slab on membrane.	2
Walls	Remove non-original redundant services; remove wall tiles and cement render.	2
	Remove all fitted kitchen fittings and fixtures.	2
	Install new damp-proof course to all walls.	2
	Install new hard plaster finish; prepare and paint.	2
Ceiling	Remove suspended tile ceiling and repair original lath and plaster ceiling.	2
Doors	New timber-panelled doors: prepare and paint.	2
G8		
Floor	Remove concrete floor slab. Install new concrete slab on membrane.	2
Walls	Install damp-proof course to all walls.	2
	Poultice damp-affected plaster to lower walls.	2
	Remove redundant services, fixtures; shelving and surface-mounted conduit and make good plaster.	2
	Remove linoleum wall linings and make good plaster.	2
	Prepare and paint.	2
Ceiling	Replace drummy and damaged lath and plaster.	2
	Prepare and paint.	2
G19a, G19b, G19c and attic		
Floor	Remove concrete floor slab; investigate original floor finish. Allow to install new sandstone flags.	2
Walls	Remove paint from walls.	2
	Poultice damp-affected wall surfaces.	2
	Remove cement pointing and repoint with lime rich pointing.	2
	Install new damp-proof courses to all walls.	2

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SCHEDULE OF CONSERVATION REPAIR WORKS

Building element/ area	Required works	Priority
	Remove non-original fixtures and fittings and repair affected sandstone.	2
Ceiling / attic floor	Remove non-original ceiling to room G19b.	2
	Replace missing timber floor boards to attic.	2
	Prepare and repaint (lime-wash) exposed timber floor / ceiling structure.	2
Doors	Remove roller door and install new pair ledged and braced timber doors; prepare and paint.	2

FIRST FLOOR

Floors	Remove floor coverings and repair tongue and groove floorboards to match original.	2
Skirtings	Remove redundant services and make good; replace where missing and badly damaged.	2
	Remove timber rails from skirtings and make good.	2
	Prepare and paint.	2
Walls	Remove surface mounted conduit, redundant services and make good; cut out and fill cracked plaster.	2
	Remove non-original partitions, fixtures and fittings and make good affected plaster surfaces.	2
	Prepare and paint.	2
Cornices	Cut out and replaced cracked cornices, profile to match existing.	2
Plaster ceilings	Remove redundant services, light fittings and surface-mounted conduit.	2
	Repair all lath and plaster ceilings with Westox RAP system.	
	Cut out replace missing, cracked and drummy plaster.	2
	Prepare and paint.	
Pressed metal ceilings	Remove redundant services, light fittings and surface-mounted conduit.	2
	De-rust, prepare and paint.	2
Doors	Replace missing original hardware to match.	2
	Refurbish all original hardware to working order.	2
	Prepare and refinish timberwork.	2
Fireplaces	Remove paint from timber mantelpieces and provide stain and clear finish.	2
	Remove paint from cast iron grates.	2
Ceiling and roof framing	Structural engineer to inspect timber ceiling and roof framing and advise required repair works.	2

F14a, 14b, F15, F16a, F16

—	No works: to be demolished.	—
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ATTIC

Floors	Remove floor coverings and repair tongue and groove floorboards to match original.	2
Skirtings	Remove redundant services and make good; replace where missing and badly damaged.	2

GRAYTHWAITE
SCHEDULE OF CONSERVATION REPAIR WORKS

Building element/ area	Required works	Priority
	Prepare and refinish.	2
Walls	Cut out and replace cracked, damaged and damp affected plaster.	2
	Replace missing areas of plaster.	2
	Prepare and paint.	2
Lath + plaster ceilings	Repair all lath and plaster ceilings with Westox RAP system.	
	Replace missing plaster above stair.	2
	Remove surface-mounted wiring and repair plaster.	2
	Cut out and replace cracked and drummy plaster.	2
Battened fibrous plaster ceilings	Remove and install new plasterboard ceilings.	2
	Prepare and paint.	2
Doors	Replace missing original hardware to match.	2
	Refurbish all original hardware to working order.	2
	Prepare and refinish timberwork.	2
Cedar joinery	Revive French polish finish.	2

3 COACH HOUSE

Exterior repair works

Building element/ area	Required works	Priority
Roofing	Install new corrugated galvanised steel roofing and galvanised steel ridge cappings, rolled barge ends and valley gutters.	2
Rainwater goods	Install new roof gutters and downpipes; clean out stormwater drains.	2
Brickwork	Remove redundant fixtures and fittings and repair.	2
Windows	Make all operable.	2
	Replace decayed window sills.	2
Painting	Prepare and paint timber barge boards, exposed rafter ends, verandah, eaves and soffits, doors and windows.	2
	Prepare and repaint render window sills and lintels.	2
Generally	Investigate for termite activity and rectify.	2

Interior repair works

Building element/ area	Required works	Priority
Walls	Remove redundant services, fixtures and fittings and repair hard plaster.	2
	Prepare and paint.	2
Ceilings	Prepare and paint.	2
Doors	Prepare and paint.	2
Windows	Remove window coverings and brackets and make good frames.	2
	Prepare and paint.	2

4 TOM O'NEILL CENTRE

Exterior repair works

Building element/ area	Required works	Priority
Roofing	Install new corrugated galvanised steel roofing and galvanised steel ridge capping and valley gutters.	2
Rainwater goods	Install new roof gutters and downpipes; clean out stormwater drains.	2
Perimeter drainage	Excavate ground levels to the north and east; install surface drainage and connect to stormwater.	2
Brickwork	Remove cement render from lower walls.	2
	Install damp proof course to all walls.	2
	Poultice damp-affected brickwork to lower walls.	2
	Improve sub-floor ventilation beneath timber floor.	2
	Repoint brickwork to lower walls.	2
Windows	Make all operable.	2
	Replace decayed window sills.	2
Painting	Prepare and paint timber barge boards, exposed rafter ends, verandah, eaves and soffits, doors and windows.	2
Generally	Investigate for termite activity and rectify.	2

Interior repair works

Building element/ area	Required works	Priority
Walls	Repair hard plaster where damp proof courses installed.	2
	Remove redundant services, fixtures and fittings and repair hard plaster.	2
	Prepare and paint.	2
Ceilings	Prepare and paint.	2
Doors	Prepare and paint.	2
Windows	Remove window coverings and brackets and make good frames.	2
	Prepare and paint.	2